



**City of Belle Isle**  
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811  
 Tel. 407-581-8161 \* Fax 407-581-0313 \* [www.universallengengineering.com](http://www.universallengengineering.com)

**PERMIT CARD - PLEASE POST AT JOB SITE**

THIS DOCUMENT BECOMES YOUR PERMIT WHEN PROPERLY VALIDATED

Per FBC 105.3.3: An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies." The issuance of this permit does not grant permission to violate any applicable City, Orange County, State of Florida and/or Federal codes and/or ordinances. Separate permits are required for Signs, Roofing, Electrical, Gas, Plumbing and Mechanical services. This permit becomes VOID if the work authorized is not commenced within 6 months, or is suspended or abandoned for a period of 6 months after commencement. **WORK SHALL BE CONSIDERED SUSPENDED IF AN APPROVED INSPECTION HAS NOT BEEN MADE WITHIN A 6 MONTH PERIOD. PERMISSION IS GRANTED TO DO THE FOLLOWING WORK ACCORDING TO THE CONDITIONS HEREON AND THE APPROVED PLANS AND SPECIFICATIONS, SUBJECT TO COMPLIANCE WITH THE ORDINANCES OF THE CITY OF BELLE ISLE, FLORIDA.**

**Scope of Work:** BUILDING: masonry wall separating properties per Belle Isle requirements

**Comments:** None

**Project Information**

**Address:** 7818 Holiday Isle Dr, Belle Isle, FL 32812  
**Parcel ID:** 29-23-30-9376-00-001  
**Property Owner:** Windward on Lake Conway COA Inc  
**Phone Number:** 407 694 5824  
 \*\*\*\*\*  
**Company Name:** Seminole Masonry  
**Contractor Name:** Hodges, James  
**License Number:** CBC1252956  
**Address:** PO Box 1290, Geneva, FL 32732  
**Phone Number:** 407 212 5516

**Permit Number: 2015-12-008**

**Date of Application: 12/05/2014**

**Date Permit Issued: 12/11/2014**

**WARNING TO OWNER:** "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT." ON THE JOB INSPECTION(S) MUST BE MADE BEFORE PROCEEDING WITH SUBSEQUENT WORK. THIS CARD MUST BE DISPLAYED OUTSIDE AND BE PROTECTED FROM THE WEATHER WHILE BEING VISIBLE FROM THE STREET UNTIL THE FINAL INSPECTIONS HAVE BEEN APPROVED.

**BUILDING FEATURES**

**IMPACT FEES**

School \$  
 Traffic \$

**ZONING FEES**

Zoning Fee \$30.00

**UNIVERSAL ENG - BUILDING FEES**

Cert of Occ \$  
 Demo \$  
 Building \$232.50  
 Fence \$  
 Driveway \$  
 Shed \$  
 Window(s) \$  
 Door(s) \$  
 PrePower \$  
 Electrical \$  
 Temp Pole \$  
 Plumbing \$  
 Mechanical \$  
 Gas \$  
 Roofing \$  
 Boat Dock \$  
 Screen Encl \$  
 Swimming Pool \$  
 Sign \$

**SURCHARGE FEES**

Surcharge Fee \$3.50  
 Surcharge Fee \$3.50

**TOTAL FEES \$269.50**

**Date Paid** 12-12-14

**CC or Check #** VISA 6818

**Amount Paid** 269.50

The person accepting this permit shall conform to the terms of the application on file and construction shall conform to the requirements of the Florida Building Code (FS 553).

**BUILDING INSPECTOR USE ONLY**

IF APPLICABLE:

Have Zoning Approval Conditions Been Met? YES NO Have Stormwater Approval Conditions Been Met? YES NO Silt fencing in place? YES NO Turbidity Barrier in place? YES NO

BUILDING

1<sup>st</sup> \_\_\_\_\_ (Footing/Foundation)

Survey specific foundation plan must be onsite before slab pour. Approved Plan on Site? \_\_\_\_\_

2<sup>nd</sup> \_\_\_\_\_ (Slab)

3<sup>rd</sup> \_\_\_\_\_ (Lintel)(Wall Reinforcing on Masonry Building)

4<sup>th</sup> \_\_\_\_\_ (Exterior Framing)(Roof/Wall Sheathing)

5<sup>th</sup> \_\_\_\_\_ (Framing) (To be made after Plumbing/Mechanical/Electrical Rough-Ins & Windows/Doors Installed)

6<sup>th</sup> \_\_\_\_\_ (Insulation to be Made After Roof Installed)

7<sup>th</sup> \_\_\_\_\_ (Drywall)

8<sup>th</sup> \_\_\_\_\_ (Sidewalk/Driveway)

9<sup>th</sup> \_\_\_\_\_ (Other)

10<sup>th</sup> \_\_\_\_\_ (Final - After MEP and Other Applicable Finals)

ROOFING

1<sup>st</sup> ROOFING Deck Nailing/Dry-in/Flashing \_\_\_\_\_

2<sup>nd</sup> ROOFING Covering In-Progress \_\_\_\_\_

3<sup>rd</sup> ROOFING Covering Final \_\_\_\_\_

PLUMBING (Pool-Piping, Solar, Irrigation, Water Treatment Equip, Etc...)

1<sup>st</sup> \_\_\_\_\_ (Underground) 2<sup>nd</sup> \_\_\_\_\_ (Sewer)

3<sup>rd</sup> \_\_\_\_\_ (Rough-In/Tub Set) 4<sup>th</sup> \_\_\_\_\_ (Final)

**CHECK APPROPRIATE BOX**

GAS \_\_\_ Natural \_\_\_ LP  MECHANICAL  ELECTRICAL  LOW VOLTAGE

1<sup>st</sup> \_\_\_\_\_ (Rough-In) 2<sup>nd</sup> \_\_\_\_\_ (Final)

Inspection requests are to be emailed to [BI scheduling@UniversalEngineering.com](mailto:BI scheduling@UniversalEngineering.com); a confirmation email will be sent back to you upon scheduling. Next-Day Inspection requests must be made by 1pm. Please include the following in your request: Permit #, project address, type of inspection, date of the requested inspection, a contact name & a contact phone number. AM or PM may be requested but cannot be guaranteed.

For a copy of your permit, or to check inspection results, please visit <https://universallengengineering.sharefile.com/ff094ed4-832d-44bd-9809-ecf32f9e2e63>

login ID = [cobi@universallengengineering.com](mailto:cobi@universallengengineering.com)

password = universal13

CITY OF BELLE ISLE  
Permit Application Review Sheet

Permit Number	<u>2015-12-008</u>
Property Owner	<u>Windward on Lake Conway COA</u>
Address	<u>7818 Dreywiler Dr. Holiday Isle Dr.</u>
Nature of Improvement	<u>COA community wall</u>
Received Application	<u>12-4-14</u>
Sent for Stormwater Review	
Stormwater Approved	
Sent for Zoning Review	<u>to CBI 12-5-14</u>
Zoning Approved	<u>approved 12-9-14</u>
Applied for Variance	
Variance Approved	
Sent to BO for Review	<u>12-9-14</u>
Building Official Approved	<u>RLJ 12-10-14</u>
Comments	
1.	<u>Susan 12-4-14 GIC will bring NOC when he picks up</u>
2.	<u>GIC WCV local tax rec ✓ FL Gen Cat. ✓</u>
3.	<u>Susan 12-9-14 review wo # 44780</u>
4.	<u>Rafael 12-10-14 Reviewed</u>
5.	
6.	
7.	
8.	
9.	
10.	
11.	
12.	



# City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811  
Tel 407-581-8161 \* Fax 407-581-0313 \* [www.universaleengineering.com](http://www.universaleengineering.com)

RECEIVED  
12-04-14

## Building Permit (Land Use) Application

DATE: \_\_\_\_\_ PERMIT # 205-12-008  
PROJECT ADDRESS 7818 Daetwyler Dr Holiday Isle Drive, Belle Isle, FL  32809  32812  
PROPERTY OWNER Windward on Lake Conway Condominium Association PHONE 407 694-5824 VALUE OF WORK (labor & material) \$ 26,825.00

### PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

Construction of masonry wall separating properties per Belle Isle requirements

Please provide information, if applicable.

- Survey specific foundation plan required to show compliance with zoning setbacks
- **BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- **SEPTIC SYSTEM (RESIDENTIAL):** - Provide verification of OC Health Dept approval for on-site septic tank system, per FAC Chap. 64E-6
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: \_\_\_\_\_

To obtain this information, please visit <http://www.ocpafl.org/Searches/ParcelSearch.aspx>

**SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCRoACH INTO ANY EASEMENT OR REQUIRED SETBACK.** Note, this Zoning Approval **MAY** or **MAY NOT** be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

Attached Survey \_\_\_\_\_ SETS and Construction Plans \_\_\_\_\_ SETS  
PLANNING & ZONING APPROVAL: 12/14 DATE BY [Signature]

PLEASE COMPLETE for Building Review  
CONSTRUCTION TYPE  Comm  Res:  Single Fam  Multi Fam  
OCCUPANCY GROUP #BLDG. #UNITS #STORIES TOTAL SQ.FT.  
MAX. FLOOR LOAD \_\_\_\_\_ MAX. OCCUPANCY \_\_\_\_\_  
MIN. FLOOR ELEV. \_\_\_\_\_ LOW FLOOR ELEV. \_\_\_\_\_  
WATER SERVICE \_\_\_\_\_ WELL \_\_\_\_\_ SEPTIC \_\_\_\_\_

BUILDING REVIEWER [Signature] DATE 12-10-14  
VERIFIED CONTRACTOR'S LICENSE & INSURANCE ARE ON FILE [Signature] DATE 12-10-14

Per FSS 105.3.3:  
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Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC.

Wind Exposure Category:	B	<input type="checkbox"/>	C	<input type="checkbox"/>	D	<input type="checkbox"/>
SPRINKLERS REQ'D	Y	<input type="checkbox"/>	N	<input type="checkbox"/>	N	<input type="checkbox"/>
If Required - SUBMIT COPY OF PLANS FOR FIRE						
REVIEW	Date:	Sent	RCD			
ZONING	Y	N	\$			
CERT OF OCC	Y	N	\$			
TRAFFIC	Y	N	\$			
SCHOOL	Y	N	\$			
FIRE	Y	N	\$			
SWIMMING POOL	Y	N	\$			
SCREEN ENCLOSURE	Y	N	\$			
ROOFING	Y	N	\$			
BOAT DOCK	Y	N	\$			
BUILDING	Y	N	\$			
WINDOW(S)	Y	N	\$			
DOOR(S)	Y	N	\$			
FENCE	Y	N	\$			
SHED	Y	N	\$			
DRIVEWAY	Y	N	\$			
OTHER	Y	N	\$			
3% FL SURCHARGE						
TOTAL						
By Owner Form	Y	NA				
Notice of Commencement	Y	NA				
Power of Attorney	Y	NA				
Contractor Packet Included?	Y	N				
<b>OTHER PERMITS REQUIRED:</b>						
ELECTRICAL	Y	NA				
PREPOWER	Y	NA				
MECHANICAL	Y	NA				
PLUMBING	Y	NA				
ROOFING	Y	NA				
GAS	Y	NA				



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**Building Permit (Land Use) Application**  
 To be completed as required by State Statute Section 713 and other applicable sections.

**PERMIT #** 205-12-008

Windward on Lake Conway Condominium Association

Owner's Name \_\_\_\_\_  
 Owner's Address 7818 Daetwyler Dr Belle Isle, Fl 32812

Contractor Name James Hodges	Company Name Seminole Masonry
License # CBC1252956	Company Address PO Box 1290
Contact Phone/Cell Adam Siegel 407-212-5516	City, State, ZIP Geneva, FL 32732
Contact Email ASIEGEL@SEMINOLEMASONRY.COM	Contact Fax 407-971-2464

**WARNING TO OWNER:** Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations ([www.floridabuilding.org](http://www.floridabuilding.org)) and City Ordinances ([www.municode.com](http://www.municode.com)) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ROOFING, ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, SCREEN ENCLOSURES, ETC.

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

**Owner Signature** Stan Kaczmarek  
 The foregoing instrument was acknowledged before me this 11/14/14 by STAN KACZMAREK who is personally known to me and who produced Florida Driver's License as identification and Karen Suwalski Notary as to Owner State of Florida County of Orange  


**Contractor Signature** \_\_\_\_\_  
 COMPANY NAME Seminole Masonry  
 The foregoing instrument was acknowledged before me this 12/14/14 by James Hodges who is personally known to me and who produced \_\_\_\_\_ as identification and who did not take an oath.  
 Notary as to Owner State of Florida County of Orange  


**Impervious Surface Ratio Worksheet**  
 Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per City Code, Section 50-74: Impervious Surface Ratio

1. Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).  
 Total Lot Area \_\_\_\_\_ X 0.35 =  
 Allowable Impervious Area (BASE) \_\_\_\_\_

2. Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater.  
 Examples include house, pool, deck, driveway, accessory building, etc

- House \_\_\_\_\_
- Driveway \_\_\_\_\_
- Walkway \_\_\_\_\_
- Accessory Buildings \_\_\_\_\_
- Pool & Spa \_\_\_\_\_
- Deck & Patio \_\_\_\_\_
- Other \_\_\_\_\_

Actual Impervious Area (AIA) \_\_\_\_\_

3. If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.

4. If AIA is greater than BASE, then onsite retention must be provided.  
 Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: 7.5 inches rainfall/12 inches p/foot X (result from line 4) = cubic feet of storage volume needed



# COBI Permit Fee Calculation Form



Reviewer Signature: [Signature] Date: 12-16-14

Permit Type:	<u>MASONRY WALL</u>	Job Cost:	<u>\$ 26,825</u>
Permit Fee:	<u>\$ 155.00</u>		
Plans Review Fee:	<u>\$ 77.50</u>	(50% of permit fee – excluding ReRoofs)	
1.5% State Fee:	<u>\$ 3.50</u>		
1.5% State Fee:	<u>\$ 3.50</u>		
<b>TOTAL BUILDING FEE:</b>	<b>\$ <u>240.50</u></b>	(does not include Zoning fees or Deposits)	

Note: Total gets doubled for SWO/AFT permits

Handwritten calculations:

$$\begin{array}{r} 155. - \\ 77.50 \\ \hline 232.50 \\ 7. - \\ \hline 239.50 \\ 30. - \\ \hline 269.50 \end{array}$$

Handwritten calculations:

$$\begin{array}{r} 26,825 \\ - 1,000 \\ \hline 25,825 \sim 26 \\ 26 \\ \underline{13} \\ 130 + 25 = 155.00 \\ 155 \div 2 = 78.50 \\ 155 + 78.50 = 233.50 \end{array}$$

$$\begin{array}{r} 233.50 \times 0.015 = 3.50 \\ 233.50 + 3.50 + 3.50 = 240.50 \end{array}$$

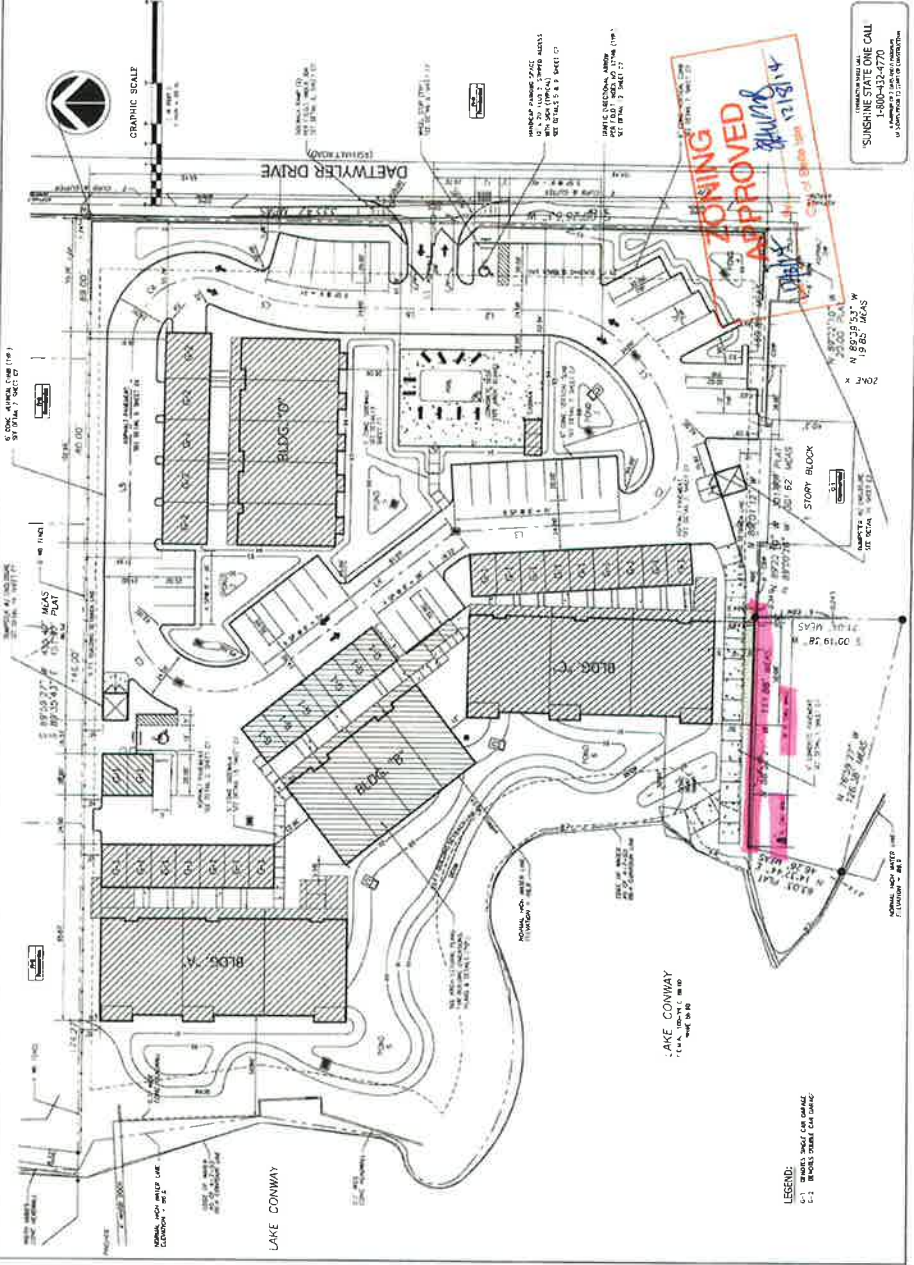
<b>Civil Solutions</b> 1177 E. Colonial Suite 100 Orlando, FL 32801 407-847-1111 www.civilsolutions.com	<b>CONWAY CREST CONDOMINIUMS, BELLE ISLE, FLORIDA</b>

SUNSHINE STATE ONE CALL  
 1-800-432-7770  
 A Mandatory Pre-Construction Requirement

**ZONING APPROVED**  
 11/14/18  
 City of Orlando

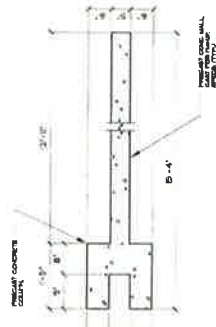
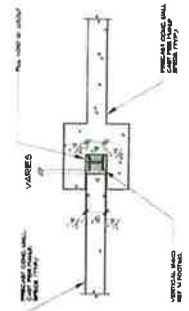
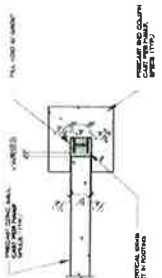
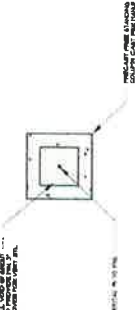
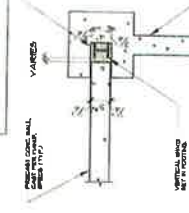
**SITE DIMENSION PLAN**

Overall Site Dimensions	1112.00' X 892.00'
Overall Building Footprint	865.00' X 865.00'
Overall Site Area	992,800 sq. ft.
Overall Building Area	740,250 sq. ft.
Overall Site Coverage	74.6%
Overall Site Density	0.75 units/sq. ft.
Overall Site Yield	743 units



LEGEND: - - - - - 12' BUREAU OF WATER UTILITIES --- --- --- 12' PUBLIC WATER - - - - - 6" BUREAU OF WATER UTILITIES - - - - - 6" PUBLIC WATER	<b>C4</b> CONWAY CREST DEVELOPMENT, LLC 7710 Daetwyler Drive Orlando, Florida 32812
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# WINWARD HOA BELLE ISLE, FL

<p><b>APPLICABLE CODES</b></p> <p>1. INTERNATIONAL BUILDING CODE (IBC) 2006 EDITION          2. INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC) 2006 EDITION          3. INTERNATIONAL FIRE CODE (IFC) 2006 EDITION          4. ALL OTHER APPLICABLE CODES</p> <p><b>MATERIALS (U. O. N. ON PLANS)</b></p> <p>CONCRETE          1. ALL STRUCTURAL CONCRETE TO BE 4000 PSI COMPRESSIVE STRENGTH          2. ALL FINISH CONCRETE TO BE 3500 PSI COMPRESSIVE STRENGTH</p> <p><b>DESIGN CRITERIA AND LOADS</b></p> <p>WIND          1. AS PER LOCAL BUILDING DEPARTMENT          2. AS PER ASCE 7-02          3. AS PER IBC 2006          4. AS PER IBC 2006          5. AS PER IBC 2006          6. AS PER IBC 2006</p> <p><b>FOUNDATIONS</b></p> <p>1. ALL FOUNDATIONS TO BE 12" MINIMUM THICKNESS UNLESS OTHERWISE NOTED          2. ALL FOUNDATIONS TO BE 12" MINIMUM THICKNESS UNLESS OTHERWISE NOTED          3. ALL FOUNDATIONS TO BE 12" MINIMUM THICKNESS UNLESS OTHERWISE NOTED</p> <p><b>DRAINAGE</b></p> <p>1. ALL WALLS TO BE 12" MINIMUM THICKNESS UNLESS OTHERWISE NOTED          2. ALL WALLS TO BE 12" MINIMUM THICKNESS UNLESS OTHERWISE NOTED          3. ALL WALLS TO BE 12" MINIMUM THICKNESS UNLESS OTHERWISE NOTED</p>	<div style="text-align: center;">  <p><b>TYPICAL PRECAST PANEL</b> SECTION 01010</p> <p>VERTICAL AND HORIZONTAL REINFORCING BARS TO BE 1/2" DIA. UNLESS OTHERWISE NOTED</p> <p>FINISH CONCRETE TO BE 3500 PSI COMPRESSIVE STRENGTH</p> <p>VERTICAL AND HORIZONTAL REINFORCING BARS TO BE 1/2" DIA. UNLESS OTHERWISE NOTED</p> <p>VERTICAL AND HORIZONTAL REINFORCING BARS TO BE 1/2" DIA. UNLESS OTHERWISE NOTED</p> </div> <div style="text-align: center;">  <p><b>PANEL TO PANEL CONNECTION</b> SECTION 01010</p> <p>VERTICAL AND HORIZONTAL REINFORCING BARS TO BE 1/2" DIA. UNLESS OTHERWISE NOTED</p> <p>FINISH CONCRETE TO BE 3500 PSI COMPRESSIVE STRENGTH</p> <p>VERTICAL AND HORIZONTAL REINFORCING BARS TO BE 1/2" DIA. UNLESS OTHERWISE NOTED</p> </div> <div style="text-align: center;">  <p><b>PANEL TO END COLUMN CONNECTION</b> SECTION 01010</p> <p>VERTICAL AND HORIZONTAL REINFORCING BARS TO BE 1/2" DIA. UNLESS OTHERWISE NOTED</p> <p>FINISH CONCRETE TO BE 3500 PSI COMPRESSIVE STRENGTH</p> <p>VERTICAL AND HORIZONTAL REINFORCING BARS TO BE 1/2" DIA. UNLESS OTHERWISE NOTED</p> </div> <div style="text-align: center;">  <p><b>FREE STANDING COLUMN</b> SECTION 01010</p> <p>VERTICAL AND HORIZONTAL REINFORCING BARS TO BE 1/2" DIA. UNLESS OTHERWISE NOTED</p> <p>FINISH CONCRETE TO BE 3500 PSI COMPRESSIVE STRENGTH</p> <p>VERTICAL AND HORIZONTAL REINFORCING BARS TO BE 1/2" DIA. UNLESS OTHERWISE NOTED</p> </div> <div style="text-align: center;">  <p><b>PANEL TO PANEL CONNECTION AT CORNER</b> SECTION 01010</p> <p>VERTICAL AND HORIZONTAL REINFORCING BARS TO BE 1/2" DIA. UNLESS OTHERWISE NOTED</p> <p>FINISH CONCRETE TO BE 3500 PSI COMPRESSIVE STRENGTH</p> <p>VERTICAL AND HORIZONTAL REINFORCING BARS TO BE 1/2" DIA. UNLESS OTHERWISE NOTED</p> </div> <div style="text-align: center; border: 2px solid red; padding: 5px; margin-top: 10px;"> <p style="color: red; font-weight: bold; font-size: 1.2em;">ZONING APPROVED</p> <p style="font-size: 0.8em;">By: <i>[Signature]</i>          Date: 01/14/2014          City: Belle Isle, FL</p> </div> <div style="text-align: center; margin-top: 10px;"> <p><b>DRAWING INDEX</b></p> <p>01 COVER SHEET &amp; TYPICAL DETAILS          02 WALL ELEVATIONS</p> </div>
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1/16" Sp. 1/4"

<p>PROJECT SEMINOLE MASONRY WINWARD HOA BELLE ISLE, FL</p>	<p>SHEET TITLE COVER SHEET &amp; TYP. DETAILS</p>	<p><b>DBSS</b> Engineering and Design Services INC.</p>	<p>Engineering By: DBSS, INC. 3825 WINDSOR AVE. CAVATTA PHONE: 321.251.5008 3825 WINDSOR AVE. ORLANDO, FL 32838</p>
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<p>DATE</p>	<p>DESCRIPTION</p>
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<p>01</p>	<p>01 COVER SHEET &amp; TYPICAL DETAILS 02 WALL ELEVATIONS</p>
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PROJECT: SEMINOLE MASONRY  
 8 TALL WALL  
 BELLE ISLE, FL  
 ELEVATION

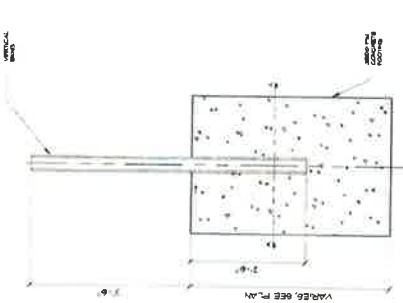
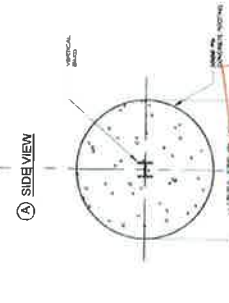
SHEET TITLE



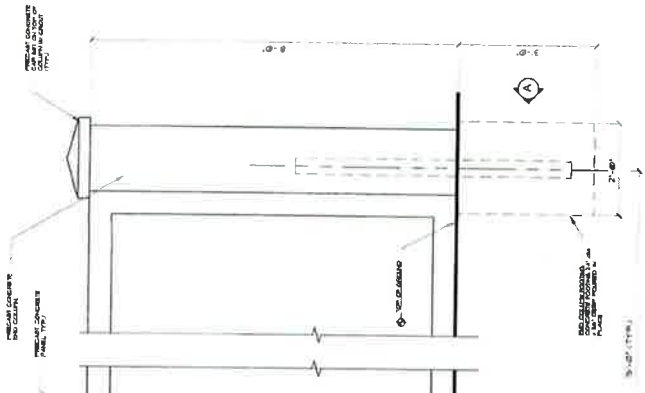
Engineering By  
 DBSS, INC  
 CA#27371  
 PHONE 321 251 6006  
 3882 WALTON ROAD, SUITE 2072  
 ORLANDO, FL 32826

DATE	DESCRIPTION

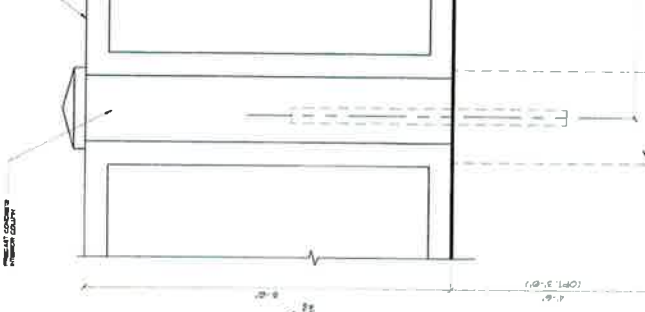
**ZONING APPROVAL**  
 TYPICAL CONCRETE FOOTING  
 12/14/14  
 1000 S. GAIL BLVD  
 SUITE 100  
 TAMPA, FL 33606



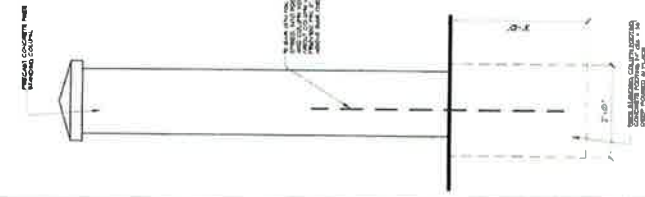
END COLUMN ELEVATION  
 SCALE 1/2" = 1'-0"



INTERIOR COLUMN ELEVATION  
 SCALE 1/2" = 1'-0"

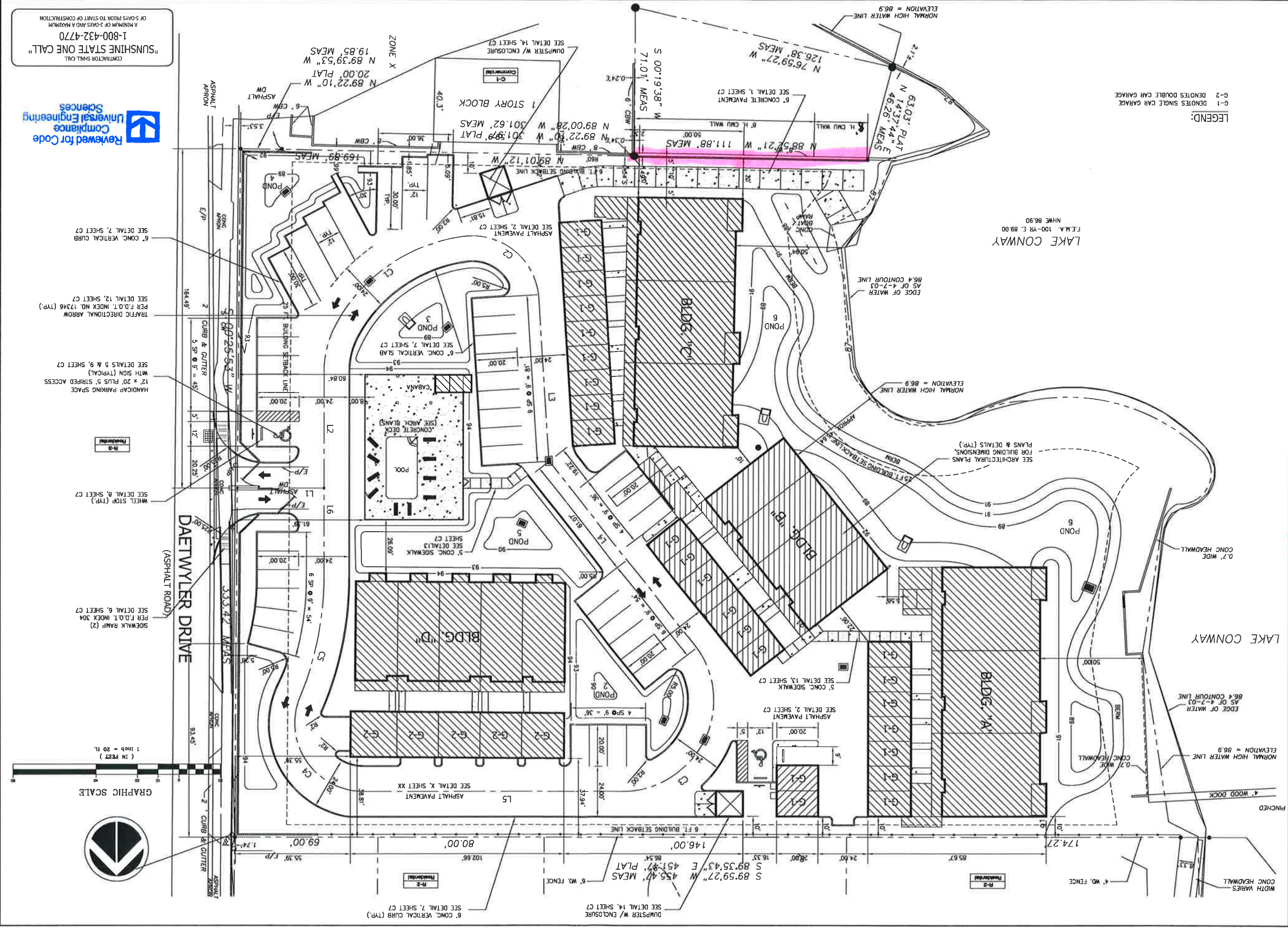


FREE STANDING COLUMN ELEVATION  
 SCALE 1/2" = 1'-0"





RECEIVED



**12 TOTAL SHEETS**  
SHEET NUMBER: **C4**

PATRICIA M. WAGNO, JR., P.E.  
FLORIDA LIC. PROF. ENGR. # 53074

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written permission from City/County, LLC.

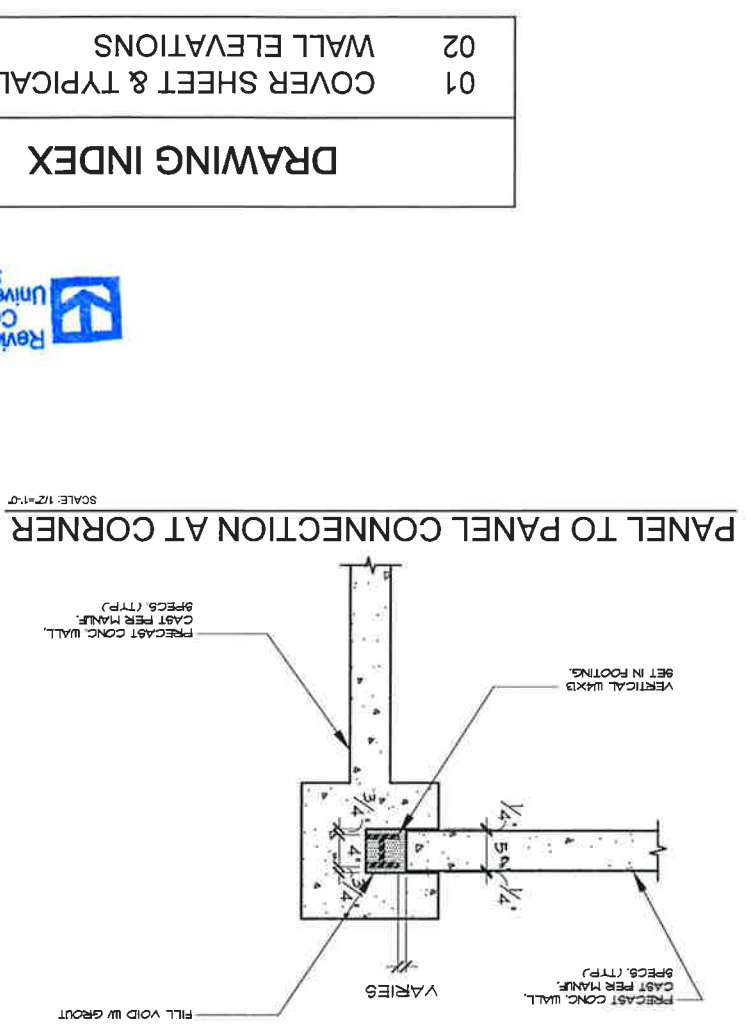
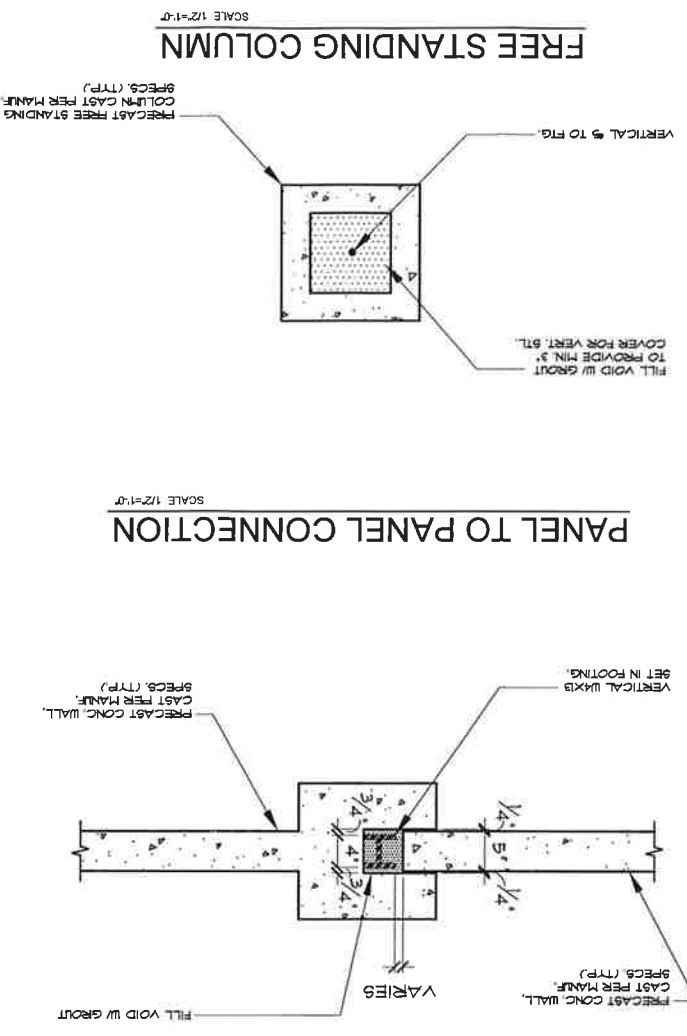
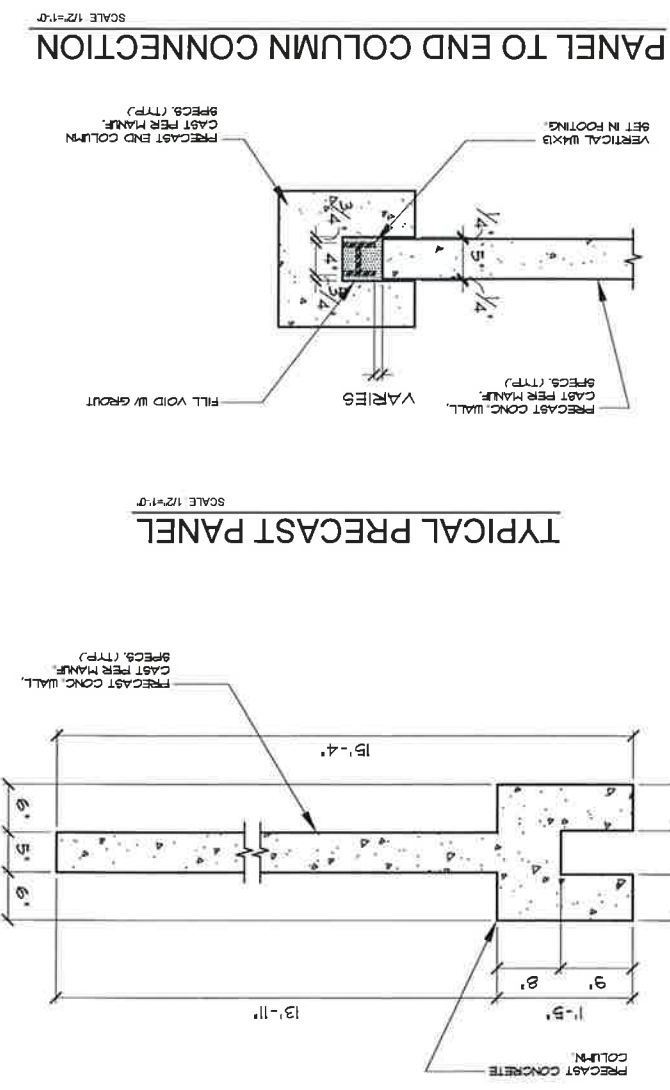
**SITE DIMENSION PLAN**

**CIVIL Storm, LLC**  
3117 Colonial Drive  
Orlando, Florida 32810  
Phone: 407-452-0194  
Fax: 407-452-0194  
E-Mail: civil@stormllc.com  
FPE Certificate of Authorization No. 9519

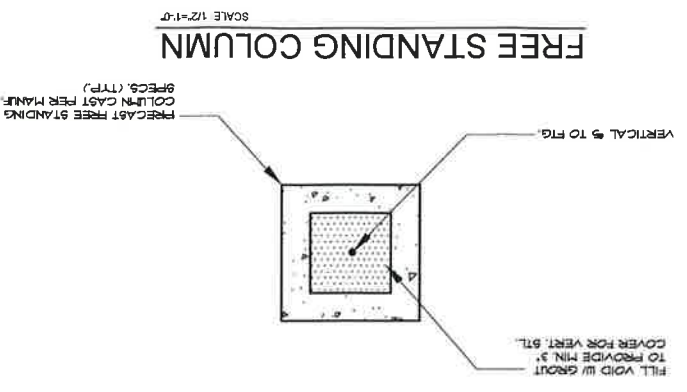
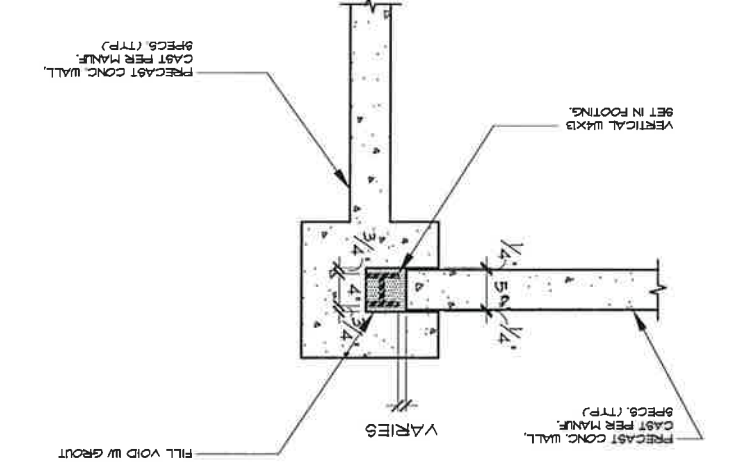
**DESIGNED BY:** PMM  
**PROJECT NO.:** CS04-012

**FOURTH:** BELLE ISLE  
**FILE NAME:** CONWAY  
**APPROVED BY:** PMM

# WINNWARD HOA BELLE ISLE, FL



**PANEL TO PANEL CONNECTION AT CORNER**  
SCALE: 1/2"=1'-0"



01	COVER SHEET & TYPICAL DETAILS
02	WALL ELEVATIONS

## DRAWING INDEX



<b>APPLICABLE CODES</b>	1. FLORIDA BUILDING CODE 2010 W/ 2012 SUPPLEMENTS EDITION 2. A.C.I. 318-02 FOR REINFORCED CONCRETE 3. A.I.S.C. MANUAL FOR STEEL CONSTRUCTION A.S.D. FOR STRUCTURAL STEEL, THIRTEENTH EDITION 4. A.S.C.E. 7-10 FOR WIND ANALYSIS AND DESIGN
<b>MATERIALS (U.O.N. ON PLANS)</b>	1. CONCRETE 2. STRUCTURAL STEEL $f_y = 50$ KSI (MIN.) CONFORM TO ASTM A992
<b>DESIGN CRITERIA AND LOADS</b>	1. WIND: DESIGN ASSUMPTIONS CATEGORY I STRUCTURE BASIC WIND VELOCITY ( $V$ @ 33'): 130 MPH ( $V$ @ 33'): 101 MPH EXPOSURE B K <sub>d</sub> , EXPOSURE COEFFICIENT = 0.57 K <sub>f</sub> , GUST FACTOR = 0.86 K <sub>d</sub> , WIND DIRECTION FACTOR = 0.85 K <sub>t</sub> , TOPOGRAPHIC FACTOR = 1.00 K <sub>z</sub> , GUST FACTOR COEFFICIENT = 1.45
<b>FOUNDATIONS</b>	CAST IN PLACE 1. PIER FOUNDATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH ACI 336-1(0) 2. THESE FOUNDATIONS HAVE BEEN DESIGNED FOR SOIL TYPES SW, SP, SM, SC, GM & GC, IF OTHER CLAY TYPES ARE PRESENT, CONTACT ENGINEER OF RECORD BEFORE PIER CONSTRUCTION BEGINS. DRAINAGE 1. THE WALL PORTION OF THE PRECAST ASSEMBLY DOES NOT BEAR ON GRADE. THE WALL IS APPROX. 2 INCHES ABOVE GRADE. ALLOWING STORM WATER RUNOFF TO FLOW BELOW WALL.

THIS STRUCTURE IS DESIGNED TO WITHSTAND 130 MPH (V<sub>W</sub>) WINDS PER THE FLORIDA BUILDING CODE 2010 W/ 2012 SUPPLEMENTS EDITION (REF. ASCE 7-10) AND IS CERTIFIED AS SUCH.

DATE	
DESCRIPTION	
REV.	

SCOTT A. SANTOMAURO, M.S., P.E.  
FLORIDA REG. #65593

Engineering By:  
DBSS, INC.  
CA#27371  
PHONE: 321.251.6006  
3662 AVALON PARK EAST BLVD., SUITE 2072  
ORLANDO, FL. 32828

SHEET TITLE  
COVER SHEET & TYP. DETAILS

PROJECT  
SEMINOLE MASONRY  
WINNWARD HOA  
BELLE ISLE, FL

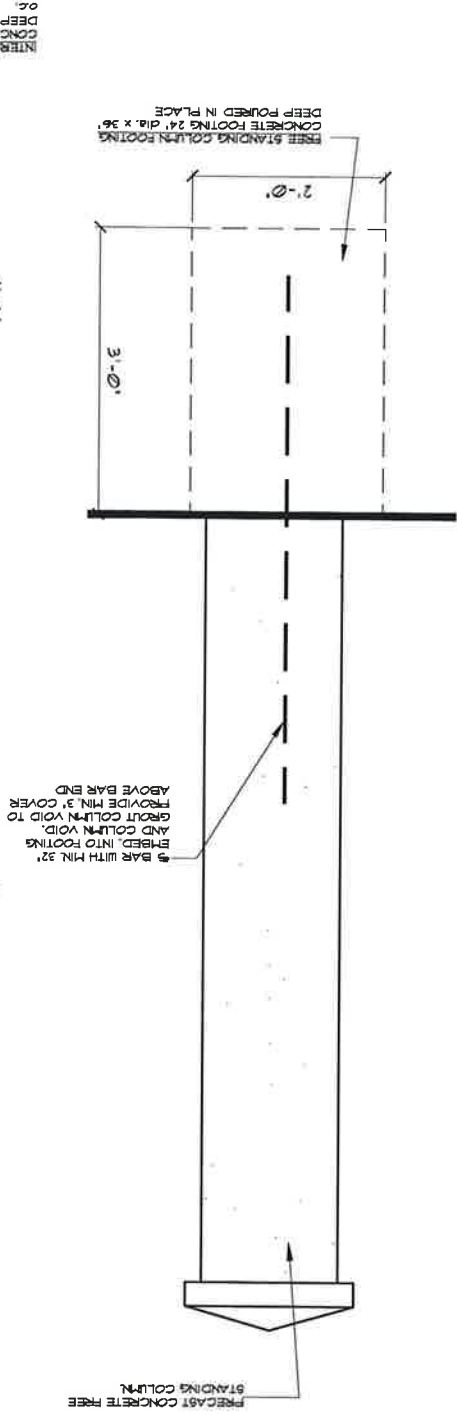
DBSS Inc.  
Engineering and Design Services

SM - WINNWARD HOA  
AS NOTED  
SCALE  
DATE 11 13 2014  
SHT 1 OF 2

01

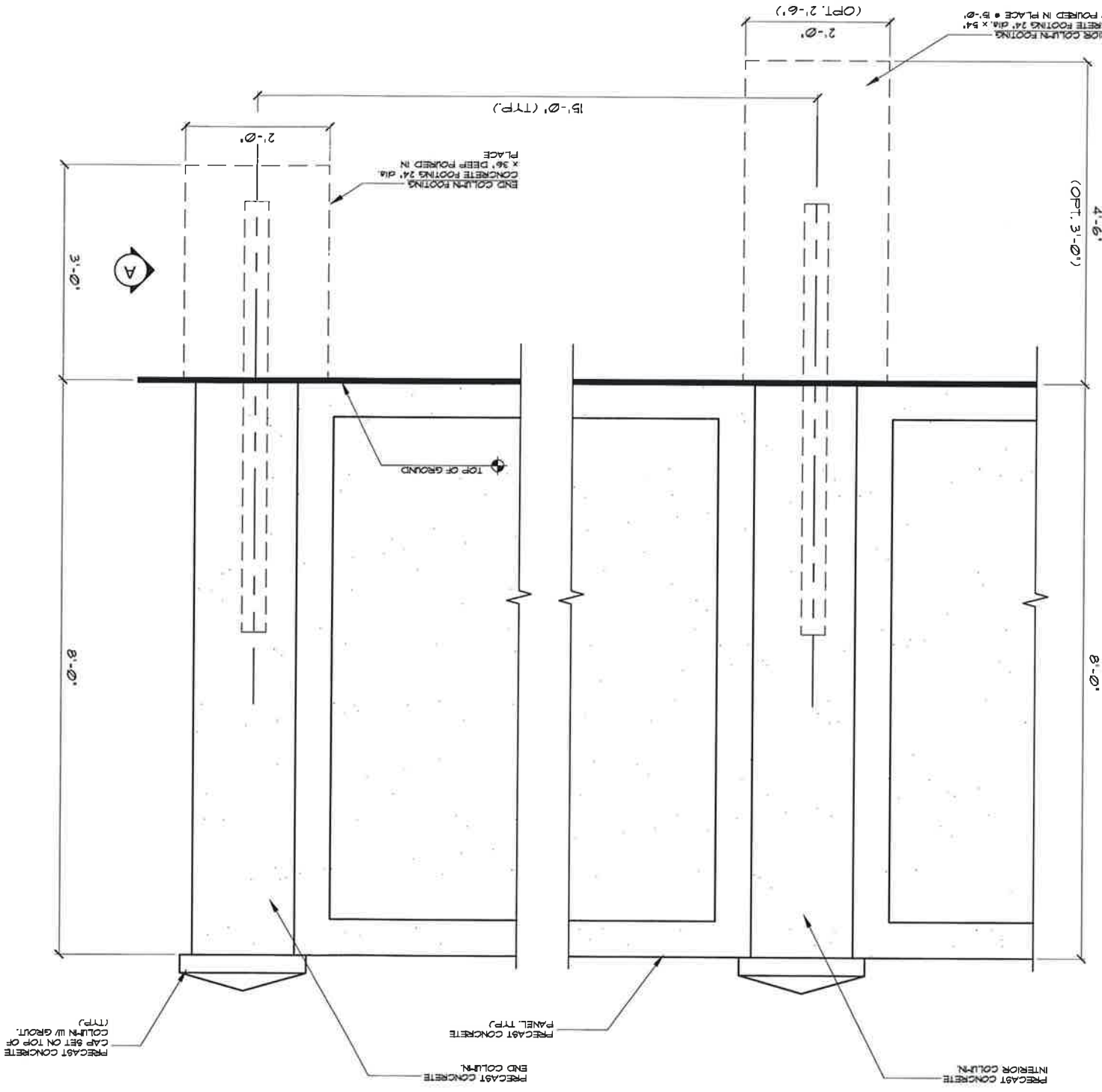
**FREE STANDING  
COLUMN ELEVATION**

SCALE: 1/2"=1'-0"



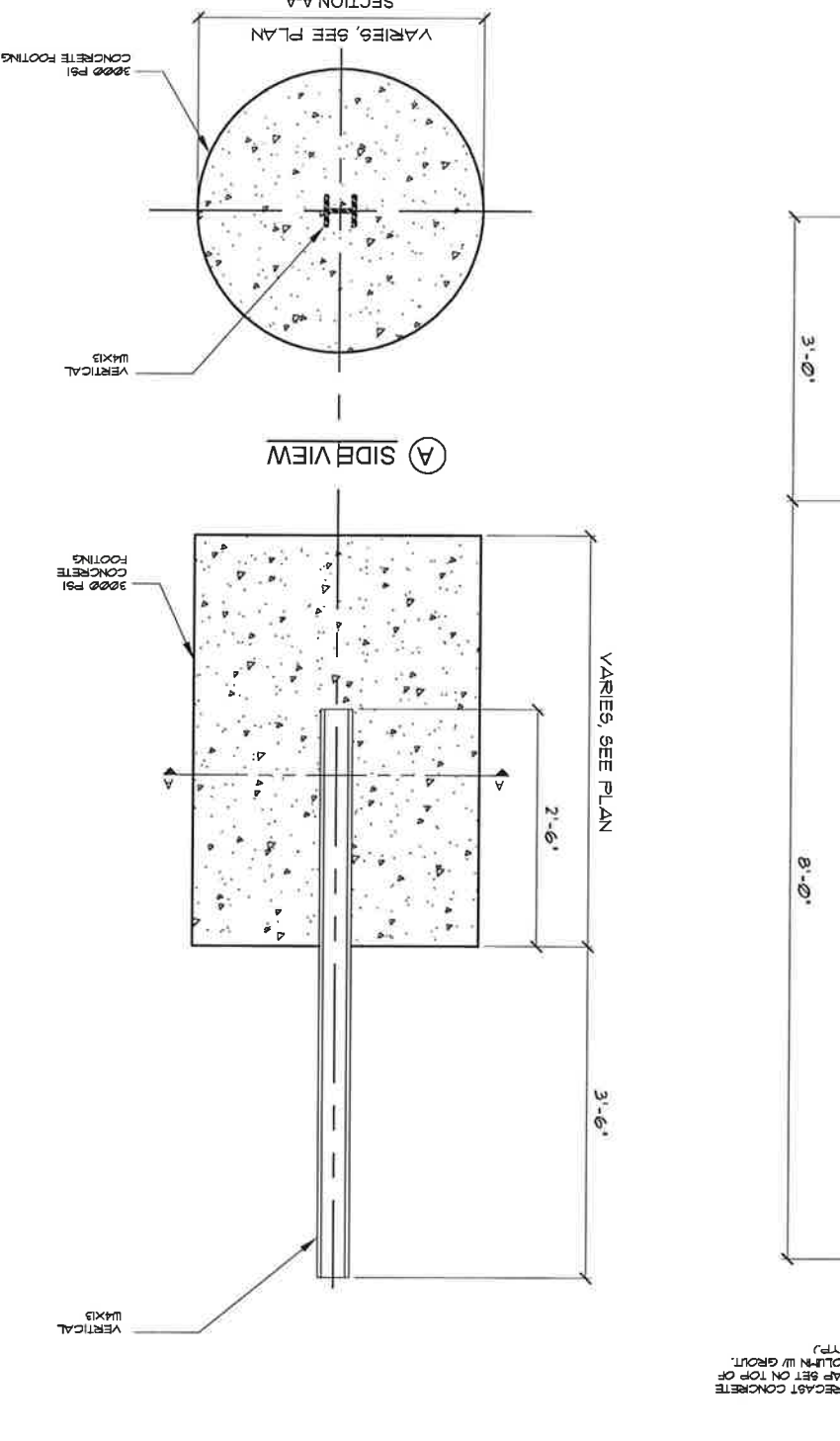
**INTERIOR  
COLUMN ELEVATION**

SCALE: 1/2"=1'-0"



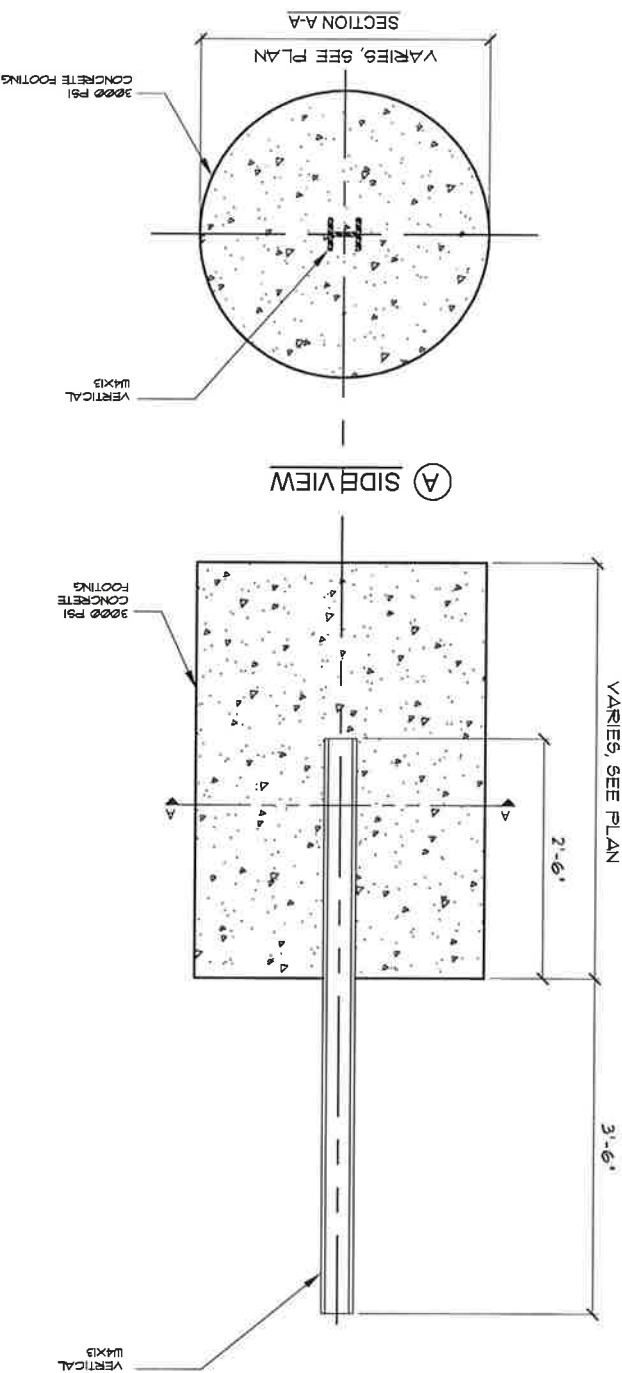
**END  
COLUMN ELEVATION**

SCALE: 1/2"=1'-0"



**TYPICAL CONCRETE FOOTING**

SCALE: 1/2"=1'-0"



THIS STRUCTURE IS DESIGNED TO WITHSTAND 130 MPH (VAIN) WINDS PER THE FLORIDA BUILDING CODE 2010 W/ 2012 SUPPLEMENTS EDITION (REF. ASCE 7-10) AND IS CERTIFIED AS SUCH.

DATE	11/13/2014	PROJECT	SEMINOLE MASONRY WINWARD HOA BELLE ISLE, FL
SCALE	AS NOTED	SHEET TITLE	8' TALL WALL ELEVATION
JOB	SM - WINWARD HOA	Engineering By:	DBSS, INC. CA#27371 PHONE: 321.251.6006 3662 AVALON PARK EAST BLVD. ORLANDO, FL. 32828
CHECKED	SSPE	SCOTT A. SANTOMAURO, N.S., P.E.	FLORIDA REG. #69573
DESIGN	RD	REV.	DESCRIPTION
DATE			