



City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

PERMIT CARD - PLEASE POST AT JOB SITE

THIS DOCUMENT BECOMES YOUR PERMIT WHEN PROPERLY VALIDATED

Per FBC 105.3.3: An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies." The issuance of this permit does not grant permission to violate any applicable City, Orange County, State of Florida and/or Federal codes and/or ordinances. Separate permits are required for Signs, Roofing, Electrical, Gas, Plumbing and Mechanical services. This permit becomes VOID if the work authorized is not commenced within 6 months, or is suspended or abandoned for a period of 6 months after commencement. WORK SHALL BE CONSIDERED SUSPENDED IF AN APPROVED INSPECTION HAS NOT BEEN MADE WITHIN A 6 MONTH PERIOD. PERMISSION IS GRANTED TO DO THE FOLLOWING WORK ACCORDING TO THE CONDITIONS HEREON AND THE APPROVED PLANS AND SPECIFICATIONS, SUBJECT TO COMPLIANCE WITH THE ORDINANCES OF THE CITY OF BELLE ISLE, FLORIDA.

Scope of Work: BUILDING: Boat Dock, Deck, Boathouse

Comments: Contractor to provide turbidity barrier prior to construction inspection ~ call City Hall to schedule.

Project Information

Address: 2523 Kissam Ct, Belle Isle, FL 32809
Parcel ID: 18-23-30-6031-00-230
Property Owner: Johnson, Horton & Cindy
Phone Number: 407 539 2938

Company Name: Albert Cichra Builders Inc.
Contractor Name: Cichra, Albert
License Number: CRC058230
Address: 13936 Marin Drive, Orlando, FL 32836
Phone Number: 407-275-8954

Permit Number: 2015-11-024

Date of Application: 11/01/2014
Date Permit Issued: 12/03/2014

WARNING TO OWNER: "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT." ON THE JOB INSPECTION(S) MUST BE MADE BEFORE PROCEEDING WITH SUBSEQUENT WORK. THIS CARD MUST BE DISPLAYED OUTSIDE AND BE PROTECTED FROM THE WEATHER WHILE BEING VISIBLE FROM THE STREET UNTIL THE FINAL INSPECTIONS HAVE BEEN APPROVED.

BUILDING FEATURES

IMPACT FEES

School \$
Traffic \$

ZONING FEES

Zoning Fee \$165.00

UNIVERSAL ENG - BUILDING FEES

Cert of Occ \$
Demo \$
Building \$175.50
Fence \$
Driveway \$
Shed \$
Window(s) \$
Door(s) \$
Pre-Power \$
Electrical \$
Temp Pole \$
Plumbing \$
Mechanical \$
Gas \$
Roofing \$
Boat Dock \$
Screen Encl \$
Swimming Pool \$
Sign \$

SURCHARGE FEES

Surcharge Fee \$2.64
Surcharge Fee \$2.64

TOTAL FEES \$345.78

Date Paid 12-5-14

CC of Check # VISA 8973

Amount Paid 345.78

The person accepting this permit shall conform to the terms of the application on file and construction shall conform to the requirements of the Florida Building Code (FS 553).

BUILDING INSPECTOR USE ONLY

IF APPLICABLE:

Have Zoning Approval Conditions Been Met? YES NO Have Stormwater Approval Conditions Been Met? YES NO Silt fencing in place? YES NO Turbidity Barrier in place? YES NO

BUILDING

1st Survey specific foundation plan must be onsite before slab pour. Approved Plan on Site? _____ (Footing/Foundation)

2nd _____ (Slab)

3rd _____ (Lintel) Wall Reinforcing on Masonry Building)

4th _____ (Exterior Framing) (Roof/Wall Sheathing)

5th _____ (Framing) (To be made after Plumbing/ Mechanical/ Electrical Rough-Ins & Windows/Doors Installed)

6th _____ (Insulation to be Made After Roof Installed)

7th _____ (Drywall)

8th _____ (Sidewalk/Driveway)

9th _____ (Other)

10th _____ (Final - After MEP and Other Applicable Finals)

ROOFING

1st ROOFING Deck Nailing/Dry-in/Flashing _____

2nd ROOFING Covering In-Progress _____

3rd ROOFING Covering Final _____

PLUMBING (Pool-Piping, Solar, Irrigation, Water Treatment Equip, Etc...)

1st _____ (Underground) 2nd _____ (Sewer)

3rd _____ (Rough-In/Tub Set) 4th _____ (Final)

CHECK APPROPRIATE BOX

GAS ___ Natural ___ LP MECHANICAL ELECTRICAL LOW VOLTAGE

1st _____ (Rough-In) 2nd _____ (Final)

Inspection requests are to be emailed to BDscheduling@UniversalEngineering.com; a confirmation email will be sent back to you upon scheduling. Next-Day Inspection requests must be made by 1pm. Please include the following in your request: Permit #, project address, type of inspection, date of the requested inspection, a contact name & a contact phone number. AM or PM may be requested but cannot be guaranteed.

PROJECT NUMBER 015, 1400447, 0000

TASK NUMBER 05
06

CITY OF BELLE ISLE
Permit Application Review Sheet

Permit Number 2015-11-024 / 2015-11-025 roof (dock)

Property Owner	<u>Johnson, Horton</u>
Address	<u>2523 Kissam Court</u>
Nature of Improvement	<u>Boat dock, deck, boat house w/ slip</u>
Received Application	<u>11-17-14</u>
Sent for Stormwater Review	
Stormwater Approved	
Sent for Zoning Review	<u>11-18-14 via email</u>
Zoning Approved	<u>approved 12-2-14</u>
Applied for Variance	
Variance Approved	
Sent to BO for Review	
Building Official Approved	<u>12-3-14 RD</u>

Comments

1.	<u>Susan 11-17-14</u>	<u>GLV FL GC Licr w/ exempt ✓</u>
2.		<u>local tr ✓</u>
3.	<u>Susan 12-2-14</u>	<u>review w/ # 44613</u>
4.		
5.		
6.		
7.		
8.	<u>Roof 25</u>	<u>+(3x5) = 40.00</u>
9.		
10.		
11.		
12.		



COBI Permit Fee Calculation Form



Reviewer Signature: [Signature] Date: 12-3-14

Permit Type:	<u>Boat Dock + Boat House</u>	Job Cost:	<u>\$ 23,508</u>
Permit Fee:	<u>\$ 34.00</u>	25.80	<u>117.00</u>
Plans Review Fee:	<u>\$ 47.00</u>	<u>58.50</u>	(50% of permit fee - excluding ReRoofs)
1.5% State Fee:	<u>\$ 77</u>	<u>2.64</u>	
1.5% State Fee:	<u>\$ 177</u>	<u>2.64</u>	<u>345.28</u>
TOTAL BUILDING FEE:	<u>\$ 622</u>		(does not include Zoning fees or Deposits)

Note: Total gets doubled for SWO/AFT permits (+ 165 zoning) =

$$\begin{array}{r}
 1000 \times 25 = \\
 22508 \times 92 = \\
 \hline
 117 \\
 58.50 \\
 \hline
 175.50
 \end{array}$$



City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809

Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleislefl.org

Building Permit (Land Use) Application



DATE: 11/11/14

PERMIT # 2015-15024

PROJECT ADDRESS 2523 Kissam Ct., Belle Isle, FL

Belle Isle, FL X 32809 32812

PROPERTY OWNER Horton S Johnson

PHONE 407-492-4948

VALUE OF WORK (labor & material) \$23,508.00

PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

Construct 4' x 60' dock, 12 x 24' deck at the end of the 60' dock with an 11' x 12' roof and an 11' x 24' boathouse with a 10' x 22' slip.

HOUSE PERMIT # - SFR 2014-09-017

Please provide information, if applicable.

- Survey specific foundation plan required to show compliance with zoning setbacks
- BOAT DOCK: DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- PROVIDE SEPTIC RESIDENTIAL SYSTEM VERIFICATION - OC DOCUMENT 64E-6, FOR NEW / ALTERED / ADDITIONS to Septic System
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 18-23-30-6031-00-230
To obtain this information, please visit <http://www.scmfl.org/Searches/ParcelSearch.aspx>

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCRoACH INTO ANY EASEMENT OR REQUIRED SETBACK. Note, this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

Attached Survey 11/14/14 SETS and Construction Plans 13-01-001 SETS
City of Belle Isle variance submitted 13-01-001

PLANNING & ZONING APPROVAL: _____ DATE _____

PLEASE COMPLETE for Building Review

CONSTRUCTION TYPE _____ Res: _____ Single Fam _____ Multi Fam _____
OCCUPANCY GROUP _____ Comm _____ #STORIES _____ TOTAL SQ.FT. _____
#BLDG. _____ #UNITS _____ #STORIES _____ MAX. OCCUPANCY _____
MAX. FLOOR LOAD _____ MIN. FLOOR ELEV. _____ LOW FLOOR ELEV. _____
WATER SERVICE _____ WELL _____ SEPTIC _____

BUILDING REVIEWER R. Jones DATE 12-3-14
NOTES _____

Per FSS 105.3.3:
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Waste Management is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Waste Management at 407-788-0800 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Waste Management. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

RETAIN ORIGINAL AT CITY HALL - Updated 08/2012 FORM BLDGUSE002 . 1 of 2 Page Form

Wind Load Category: A ___ B ___ C ___ D ___

SPRINKLERS REC'D	Y	N
IF Required - SUBMIT COPY OF PLANS FOR FIRE REVIEW	Date: Sent	RCD
ZONING	Y	N \$ 165.-
CERT OF OCC	Y	N \$
TRAFFIC	Y	N \$
SCHOOL	Y	N \$
FIRE	Y	N \$
SWIMMING POOL	Y	N \$
POOL ENCLOSURE	Y	N \$
BOAT DOCK	Y	N \$ 175.50
BUILDING	Y	N \$
WINDOW(S)	Y	N \$
DOOR(S)	Y	N \$
OTHER	Y	N \$

3% FL SURCHARGE 1.518864 + 2.64
TOTAL 345.78

By Owner Form Y NA
Notice of Commencement Y NA
Power of Attorney Y NA
Contractor Packet On File? Y N

OTHER PERMITS REQUIRED:
ELECTRICAL Y NA
PREPOWER Y NA
MECHANICAL Y NA
PLUMBING Y NA
ROOFING Y NA
GAS Y NA
OTHER: _____



City of Belle Isle
1600 Nela Avenue, Belle Isle, FL 32809
Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleislefl.org

Building Permit (Land Use) Application
To be completed as required by State Statute Section 713 and other applicable sections.

PERMIT # 2015-11-024



Owner's Name Horton S Johnson
Owner's Address 2523 Kissam Ct., Belle Isle, FL 32809
Fee Simple Titleholder's Name (if other than owner's) _____

Address	City	State	Zip Code
Contractor's Name	Albert Cichra Builders, Inc.		
Contractor's Address	13936 Marine Drive		
City, State, ZIP	Orlando, FL	32836	
License #	CRC058230		
Contact Phone/Cell	(407) 275-8954	(407) 468-8714	
Contact Email	cichra@bellsouth.net		
Architect/Engineer's Name	Michael Thompson		
Architect/Engineer's Address	5200 Vineland Road, Suite 250		
City, State, ZIP	Orlando, FL	32811	
License #	47509		
Contact Phone/Cell	(407) 529-3300		
Contact Email	MThompson@dbec.com		

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations (www.floridabuilding.org) and City Ordinances (www.municode.com) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, ENCLOSURES, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

<p>Owner Signature <u>Horton S Johnson</u> The foregoing instrument was acknowledged before me this <u>9/17/14</u> by <u>Horton S Johnson</u> who is personally known to me and who produced <u>FLDL</u> as identification and who did not take an oath. Notary as to Owner State of Florida County of Orange  Contractor Signature _____ COMPAANY NAME <u>Albert Cichra Builders, Inc.</u> The foregoing instrument was acknowledged before me this <u>9/17/14</u> by <u>Albert Cichra</u> who is personally known to me and who produced _____ as identification and who did not take an oath. Notary as to Owner State of Florida County of Orange </p>	<p>Impervious Surface Ratio Worksheet Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per Section 50-74 Impervious Surface Ratio of the City Code</p> <p>1. Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE). Total Lot Area _____ X 0.35= _____ Allowable Impervious Area (BASE) _____</p> <p>2. Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. <i>Examples include house, pool, deck, driveway, accessory building, etc</i></p> <ul style="list-style-type: none"> • House _____ • Driveway _____ • Walkway _____ • Accessory Buildings _____ • Pool & Spa _____ • Deck & Patio _____ • Other _____ <p>Actual Impervious Area (AIA) _____</p> <p>3. If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.</p> <p>4. If AIA is greater than BASE, then onsite retention must be provided. Assuming 7.5 inches of rainfall based on a 24hr. 10 year Rain Event (TP40), the formula is: 7.5 inches rainfall/12 inches p/foot X (result from line 4) = cubic feet of storage volume needed</p>
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Permit Number: _____
Folio/Parcel ID #: 18-23-30-6031-00-230
Prepared by: Albert Cichra Builders, Inc.
13936 Marine Drive
Orlando, FL 32832
Return to: Renea Anderson
13936 Marine Drive
Orlando, FL 32832

DOCH 20140555339 B: 10828 P: 0102
10/30/2014 10:46:37 AM Page 1 of 1
Rec Fee: \$10.00
Martha O. Haynie, Comptroller
Orange County, FL
MB - Ret To: ALBERT CICHRA BUILDERS IN



NOTICE OF COMMENCEMENT

State of Florida, County of Orange

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. **Description of property** (legal description of the property, and street address if available)

Oak Island second replat 24/105 Lot 23 - 2523 Kissam Ct., Belle Isle, FL 32809

2. **General description of improvement**

Construct dock, deck and boathouse with slip

3. **Owner information or Lessee information if the Lessee contracted for the improvement**

Name Horton S or Cynthia S Johnson

Address 2523 Kissimm Court, Belle Isle, FL 32809-3587

Interest in Property

Name and address of fee simple titleholder (if different from Owner listed above)

Name

Address



4. **Contractor**

Name Albert Cichra Builders, Inc.

Address 13936 Marine Drive

Telephone Number 407-275-8954

5. **Surety** (if applicable, a copy of the payment bond is attached)

Name

Telephone Number

Address

Amount of Bond \$

6. **Lender**

Name

Telephone Number

Address

7. **Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by §713.13(1)(a)7, Florida Statutes.**

Name

Address

Telephone Number

8. **In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in §713.13(1)(b), Florida Statutes.**

Name

Address

Telephone Number

9. **Expiration date of notice of commencement** (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified) _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Horton S. Johnson

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager

Owner

Signatory's Title/Office

The foregoing instrument was acknowledged before me this 17th day of July by HORTON JOHNSON

as OWNER for _____

Type of authority, e.g., officer, trustee, attorney in fact

Name of party on behalf of whom instrument was executed

Ryan Encarnacion

Signature of Notary Public - State of Florida

RYAN ENCARNACION

Print, type, or stamp commissioned name of Notary Public

Personally Known _____ OR Produced ID X
Type of ID Produced FL DL

Ryan Encarnacion
State of Florida



My Commission Expires 04/08/2018
Commission No. FF 110670

BY: *M. Thompson*
MARTHA O. HAYNIE, COUNTY COMPTROLLER
I hereby certify that this is a true copy of records.
State of Florida, County of Orange
Dated: 10-30-14
Deputy Comptroller



FLORIDA DEPARTMENT OF
ENVIRONMENTAL PROTECTION

BOB MARTINEZ CENTER
2600 BLAIRSTONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

RICK SCOTT
GOVERNOR

CARLOS LOPEZ-CANTERA
LT. GOVERNOR

HERSCHEL T. VINYARD JR.
SECRETARY

**SELF CERTIFICATION FOR CONSTRUCTION OF
A PRIVATE, RESIDENTIAL SINGLE-FAMILY DOCK**

Self Certification File No.: **0328502001EE**

File Name: **2523 Kissam Ct Belle Isle, FL 32809**

- **Self Cert Exempt Dock with Boat Lift(s) (General)**

Dear **RENEA ANDERSON**: On, **08/08/2014**, you used the Department's electronic Self Certification Process to certify compliance with the terms and conditions necessary for construction of a private, residential single-family dock, at a detached, single-family residence located at:

LAT - Degrees: 28 Minutes: 29 Seconds: 14.2998
LONG - Degrees: -81 Minutes: 20 Seconds: 55.8643
SITE ADDRESS: 2523 Kissam Ct Belle Isle, FL 32809
COUNTY: Orange

For:
Horton Johnson
2523 Kissam Court

Orlando, FL 32809

You have certified that the dock you propose to construct at the above location meets all the conditions of the Self Certification Process. A dock that is built in conformance to those conditions (attached for reference) will:

1. Qualify for a regulatory exemption under Part IV of Chapter 373 and Section 403.813(2)(b) of the Florida Statutes, and Chapters 62-330, and 62-343 of the Florida Administrative Code (F.A.C.). As such, it is exempt from the need to obtain a DEP Environmental Resource Permit.
2. Qualify for a consent by rule to use submerged lands under Chapter 253 of the Florida Statutes and Chapter 18-21 of the Florida Administrative Code, when the dock is located on submerged lands owned by the State of Florida.

Your Self Certification is based solely on the information you provided under this process, and applies only

to the statutes and rules in effect when your certification was completed. The certification is effective only for the specific dock proposed, and only if the dock is constructed, operated, and maintained in conformance with all the terms, conditions, and limitations stated in the Self Certification Process. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required.

You have acknowledged that this Self Certification will automatically expire if:

1. Construction of the dock is not completed within one year from the self certification date;
2. site conditions materially change;
3. the terms, conditions, and limitations of the Self Certification are not followed; or
4. the governing statutes or rules are amended before construction of the project.

Completion of the Self Certification constitutes your authorization for Department personnel to enter the property for purposes of inspecting for compliance.

Receipt of this Self Certification constitutes letter of consent required by rule 18-21.004(7) F.A.C.

ADDITIONAL INFORMATION

This Self Certification Process does not relieve you from the responsibility of obtaining other permits or authorizations from other agencies (federal, state, Water Management District, or local) that may be required for the project. Construction of the dock may require federal authorization. The Corps has been furnished a copy of your Self Certification letter. They will contact you with further information about their process. If you do not hear from them, please contact them directly. Jacksonville District contact information can be found at: <http://www.saj.usace.army.mil/Missions/Regulatory.aspx>. Failure to obtain all applicable authorizations prior to construction of the dock may result in enforcement.

If you have any questions, please contact your local Department District Office. Contact information can be found at: http://www.dep.state.fl.us/water/wetlands/docs/sler_contacts.pdf. When referring to your project, please use the Self Certification file number listed above.

Sincerely,

Florida Department of Environmental Protection

Enclosures:

Single Family Dock Criteria

General Conditions for Sovereignty/State-Owned Submerged Lands Authorization

Manatee Conditions

Private residential single family docks are subject to the following criteria in accordance with Section 403.813(1)(b), F.S. The dock to be constructed:

1. Has 1,000 square feet or less over water surface (includes adjacent wetlands) in accordance with Chapter 62-340, F.A.C.;
2. Is constructed on or held in place by pilings and is constructed so as not to involve filling or dredging other than that necessary to install the pilings;
3. Will not substantially impede the flow of water, cause water pollution, or create a navigational hazard;
4. Is used ONLY for recreational, noncommercial activities associated with the mooring or storage of boats and boat paraphernalia;

5. Is the sole dock on the parcel; and
6. Must not be subject to any conservation easement or restrictive covenant of record prohibiting the activity.

Boat lifts are subject to the following additional conditions:

1. Is to be installed in an existing slip or, at or adjacent to the waterward end of the dock;
2. With other mooring will not result in the mooring of more than two vessels (including jet skis);
3. Will not be located in areas prohibited for mooring by a previously issued permit or other form of authorization issued by a local government;

General Conditions for Sovereignty/State-Owned Submerged Lands Authorization

Any use of sovereignty/state-owned submerged lands is subject to the following general conditions that are binding upon the applicant and are enforceable under Chapters 253 or 258, F.S.:

1. Sovereignty/state-owned submerged lands may be used only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use will constitute a violation. Violation of the authorization will result in suspension or revocation of the applicant's use of the sovereignty/state-owned submerged lands unless cured to the satisfaction of the Board of Trustees of the Internal Improvement Trust Fund (Board).
2. Authorization under Rule 18-21.005, F.A.C., conveys no title to sovereignty/state-owned submerged lands or water column, nor does it constitute recognition or acknowledgment of any other person's title to such land or water.
3. Authorizations under Rule 18-21.005, F.A.C., may be modified, suspended or revoked in accordance with its terms or the remedies provided in Sections 253.04, F.S. or Chapter 18-14, F.A.C.
4. Structures or activities will be constructed and used to avoid or minimize adverse impacts to resources.
5. Construction, use, or operation of the structure or activity will not adversely affect any species which is endangered, threatened or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.
6. Structures or activities will not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity will be modified in accordance with the court's decision.
7. Structures or activities will not create a navigational hazard.
8. Structures will be maintained in a functional condition and will be repaired or removed if they become dilapidated to such an extent that they are no longer functional.
9. Structures or activities will be constructed, operated, and maintained solely for water dependent

purposes.

10. The applicant agrees to indemnify, defend and hold harmless the Board and the State of Florida from all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty/state-owned submerged lands or the applicant's use and construction of structures on sovereignty/state-owned submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.
11. Failure by the Board to enforce any violation of the authorization or waiver by the Board of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure or waiver prevent the Board from enforcing the waived or unenforced provision in the event of a future violation of that provision.
12. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.
13. All costs incurred by the Board in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board in writing of any change of address at least ten days before the change becomes effective.
14. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant of record that prohibits the activity.

Manatee Conditions

The following conditions are intended to protect manatees from direct project effects; THESE CONDITIONS APPLY ONLY IN WATERS THAT ARE ACCESSIBLE TO MANATEES:

1. All personnel associated with the project will be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee will advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
2. All vessels associated with the construction project will operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
3. Siltation or turbidity barriers will be made of material in which manatees cannot become entangled, will be properly secured, and will be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
4. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within

50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.

5. Any collision with or injury to a manatee will be reported immediately to the FWC Hotline at 1-888-404-FWCC. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida.
6. Temporary signs concerning manatees will be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Awareness signs that have already been approved for this use by the Florida Fish and Wildlife Conservation Commission (FWC) must be used (see MyFWC.com). One sign which reads Caution: Boaters must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities.



**CITY OF BELLE ISLE,
FLORIDA**

1600 Nela Avenue
Belle Isle, Florida 32809
(407) 851-7730 • FAX (407) 240-2222
www.cityofbelleislefl.org

POWER OF ATTORNEY

Date: 11/1/14 Permit #: _____

I hereby name and appoint Renea Anderson of _____

Albert Cichra Builders, Inc. (company name) to be my lawful attorney-in-fact to act for
me and apply to the City of Belle Isle Building Department for a Dock permit
(type of permit)

for work to be performed at the following location:
2523 Kissam Ct. (street address) Belle Isle, FL 32809 32812 and

to sign my name and do all things necessary to this appointment.

Certified Contractor's Printed Name: Albert Cichra

License Number: CRC058230

Certified Contractor's Signature: Albert Cichra

The foregoing instrument was acknowledged before me this _____ days of _____ of 20____
by Albert Cichra who is personally known to me or who produced
_____ as identification and who did not take an oath.

State of Florida
County of Orange

Melissa A. Jordan
Notary Public, Orange County, Florida



(seal)

Prepared By:
LAWRENCE R. STEINER, ESQ.
797 Douglas Avenue
Altamonte Springs, Florida 32174

Return to: 31A T
Westcor Land Title Insurance Company
201 N. New York Avenue, Ste. 200
Winter Park, Florida 32789

DOC# 20130168339 B: 10544 P: 3904
03/26/2013 01:44:32 PM Page 1 of 2
Doc Fee: \$18.00
DOR Admin Fee: \$2150.00
Intangible Tax: \$0.00
Mortgage Stamp: \$0.00
Martha O. Haynis, Comptroller
Orange County, FL
PU - Ret To: WESTCOR LAND TITLE INS CO

**WARRANTY DEED
(INDIVIDUAL)**

Price \$450,000.00

This WARRANTY DEED, dated this 4th day of March, 2013, by

ANA T. LOPEZ-AGOSTO, a single person

whose post office address is:

3155 Newfound Harbor Dr. Merritt Island FL 32952

hereinafter called the GRANTOR, to

HORTON S. JOHNSON and CYNTHIA S. JOHNSON

whose post office address is:

3411 Harting Jean Dr Orlando, FL 32806

hereinafter called the GRANTEE:

(Wherever used herein the terms "Grantor" and "Grantee" include all parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)
WITNESSETH: That the GRANTOR, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the GRANTEE, all that certain land situate in ORANGE County, Florida, viz:

Lot 23, OAK ISLAND SECOND REPLAT, according to the plat thereof, recorded in Plat Book 24, Page(s) 105 and 106, of the Public Records of Orange County, Florida.

SUBJECT TO covenants, conditions, restrictions, reservations, easements, limitations, easements and agreements of record, if any; taxes and assessments for the year 2013 and subsequent years; and to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND THE GRANTOR hereby covenants with said GRANTEE that except as above noted, the GRANTOR is lawfully seized of said land in fee simple; that the GRANTOR has good right and lawful authority to sell and convey said land; that the GRANTOR hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, GRANTOR has signed and sealed these presents the date set forth above.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES:

Signature: Lawrence R. Steiner
LAWRENCE R. STEINER

Signature: Amy R. Steiner
AMY R. STEINER

Signature: Ana T. Lopez
ANA T. LOPEZ-AGOSTO

BOAT DOCK PLANS

11/10/14

JOHNSON BOAT DOCK

Prepared For

ALBERT CICHRA BUILDERS, INC

Prepared By

 **THOMPSON ENGINEERING GROUP, INC**

Engineer: Michael Thompson, MSc, P.E. (#47509)
5200 Vineland Road, Suite 250
Orlando, Florida 32811

Ph: 407-529-3306

Fax: 407-529-3306

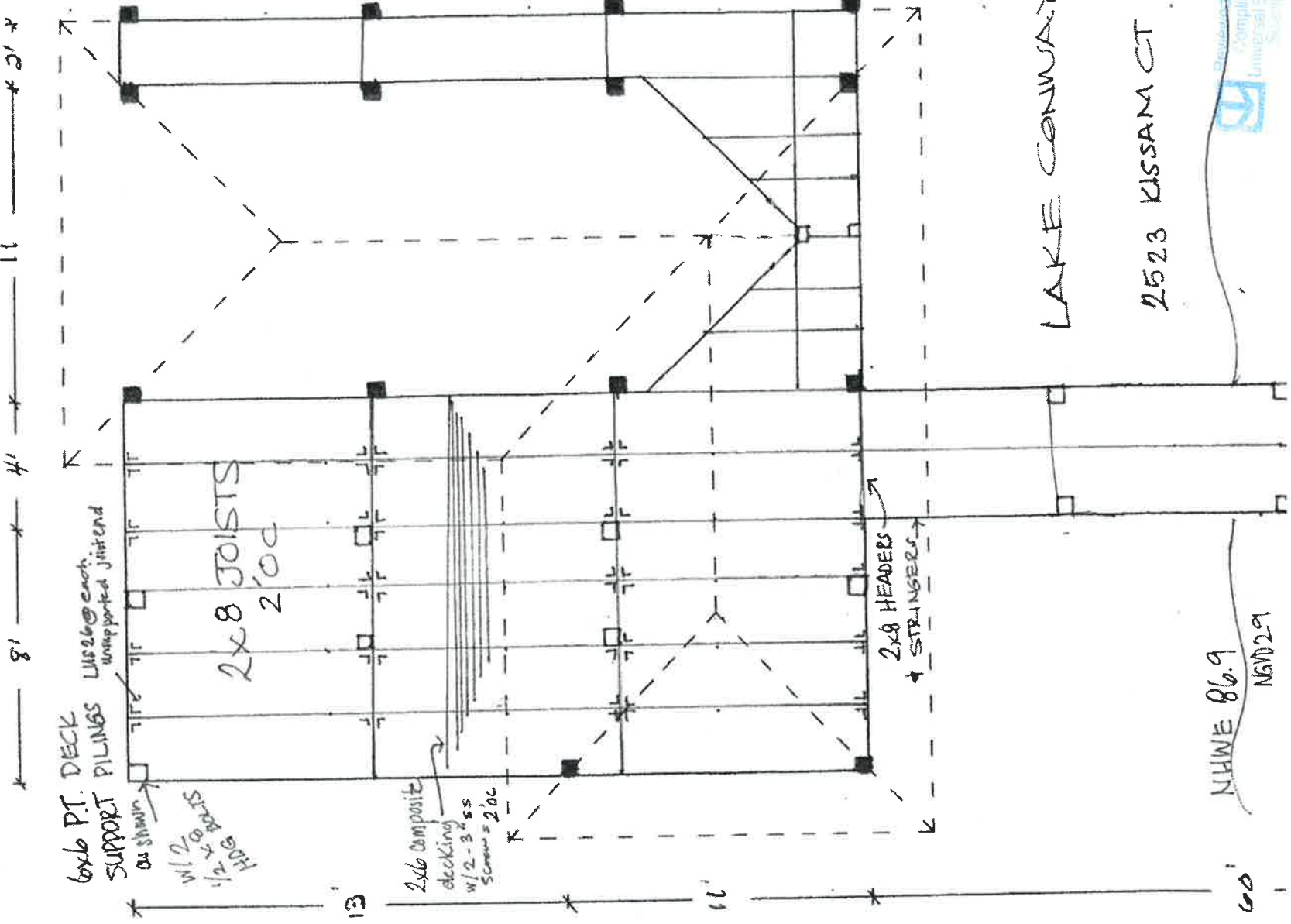
Certificate of Authorization No. 30060

www.thompsoneng.com

NOVEMBER 2014



Deck Framing



Milroy

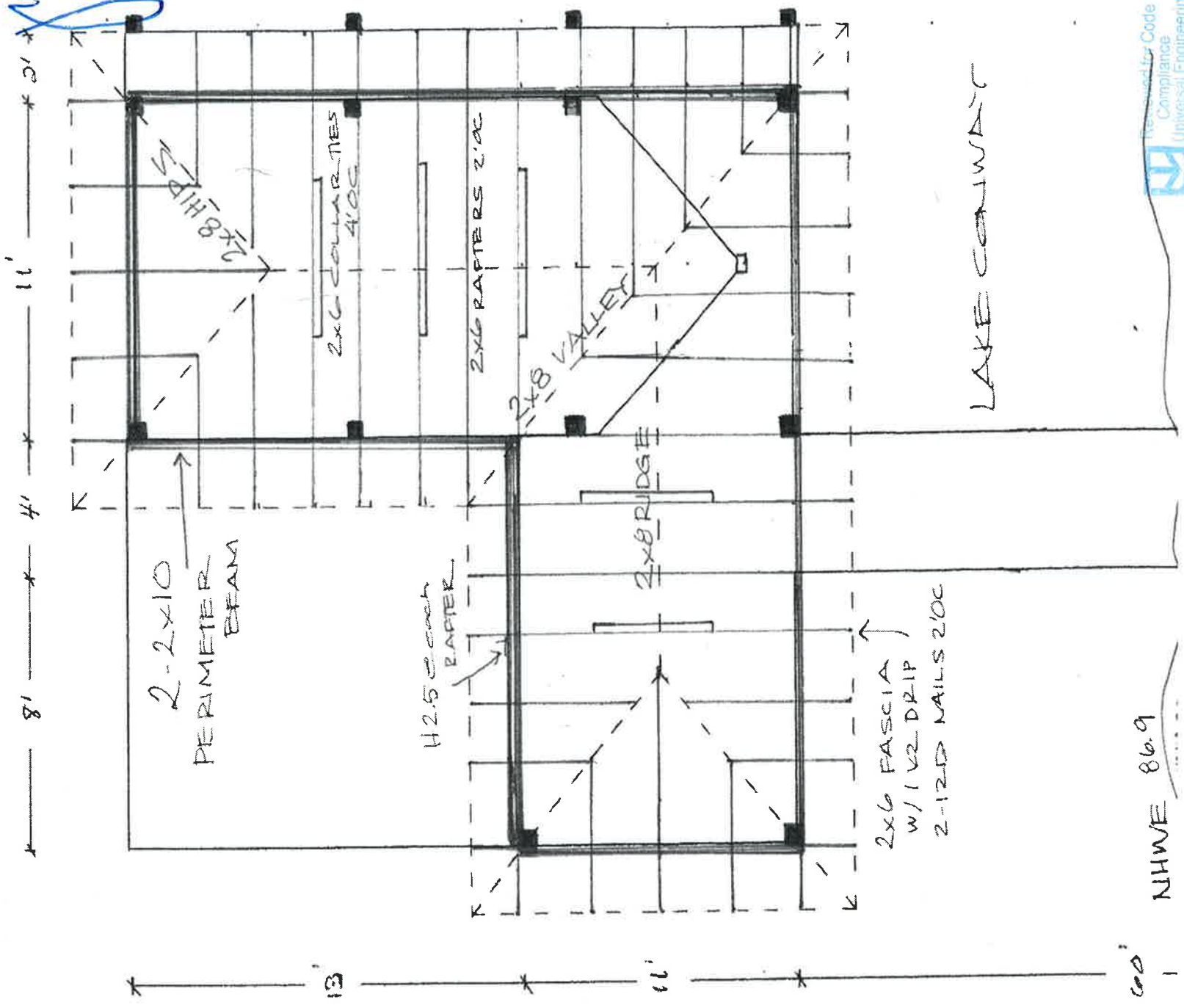


**JOHNSON 2523 KISSAM COURT
ALBERT CICHRA BUILDERS, INC.**

LAKE CONWAY
2523 KISSAM CT

Roof Framing

11/6/19



NHWE 86.9

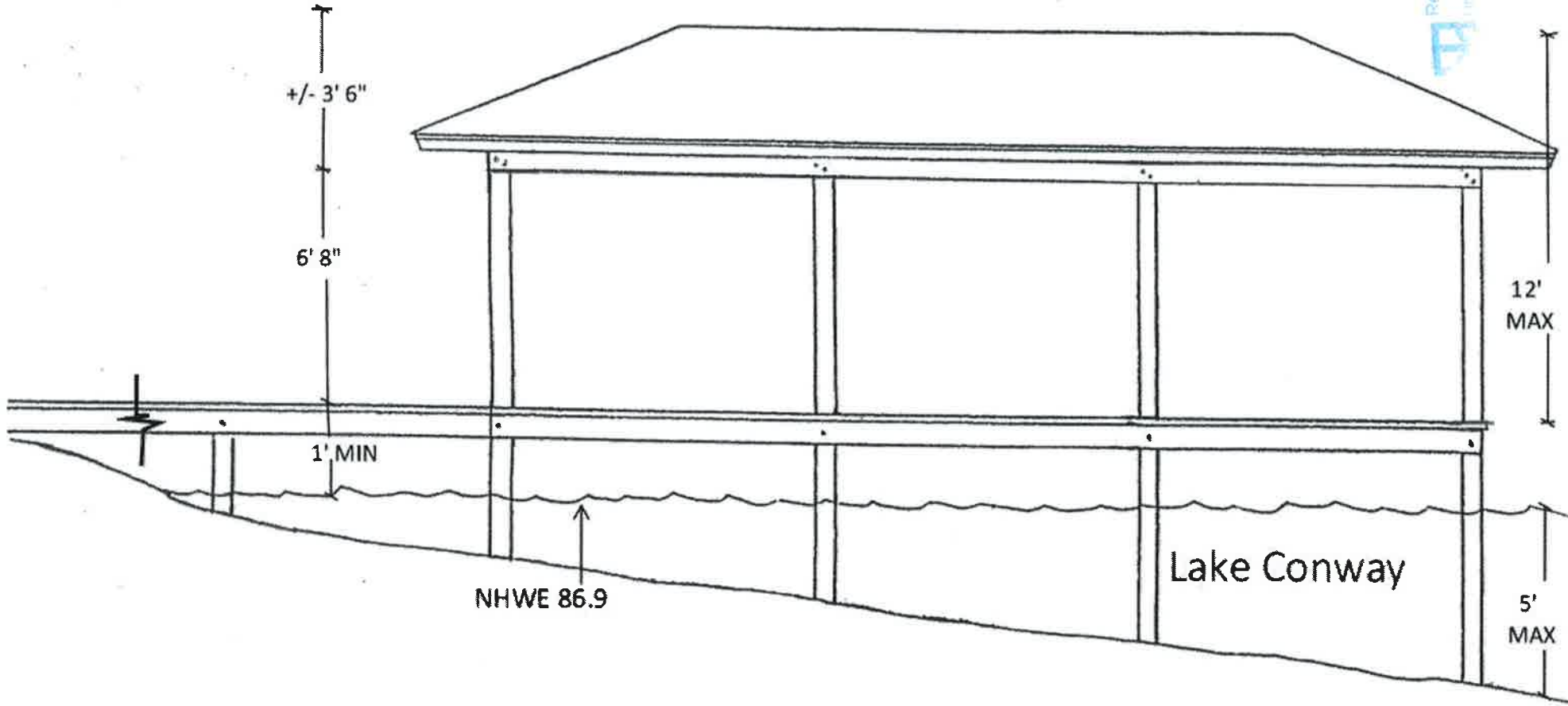
JOHNSON 2523 KISSAM COURT

ALBERT CICHRA BUILDERS, INC.

1/10/14

Elevation

Reviewed for Code
Compliance
Innovative Engineering
INCORPORATED

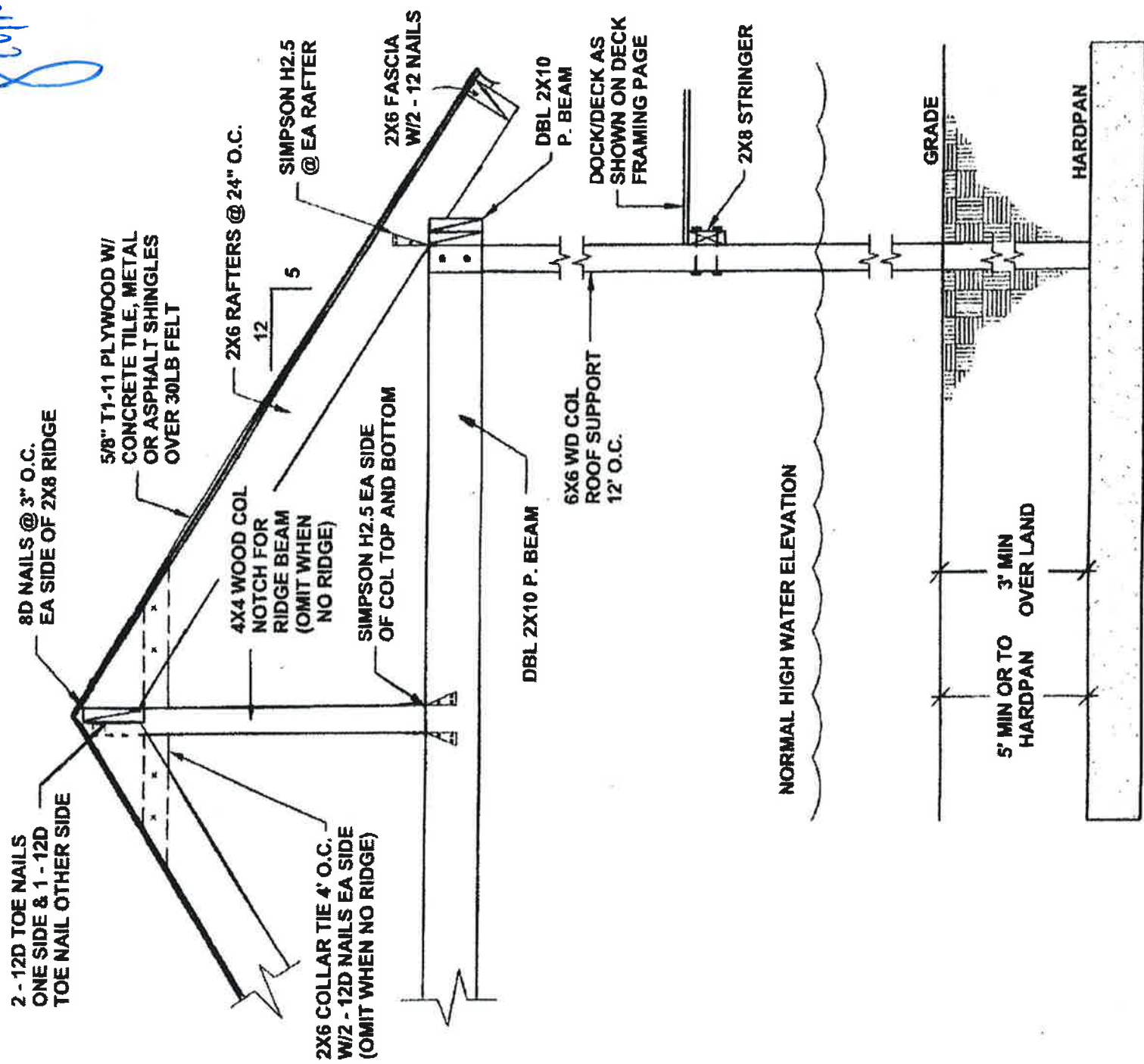


JOHNSON 2523 KISSAM COURT

ALBERT CICHRA BUILDERS, INC.

Details and Specifications - Roof Cross Section

8/10/17

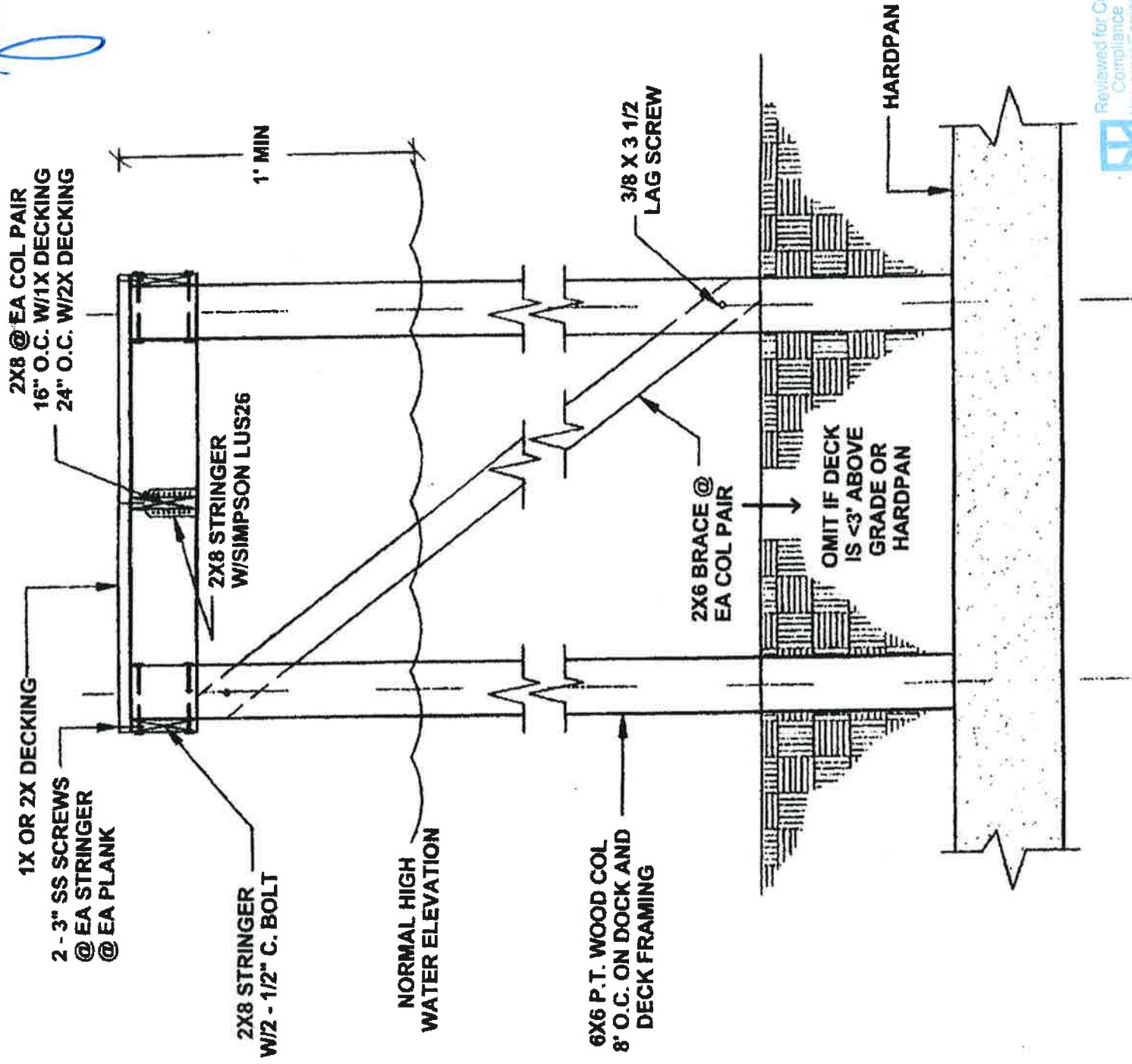


JOHNSON 2523 KISSAM COURT

ALBERT CICHRA BUILDERS, INC.

Details and Specifications – Dock Cross Section

Myer



Reviewed for Code
Compliance
Universal Engineering
Scientists

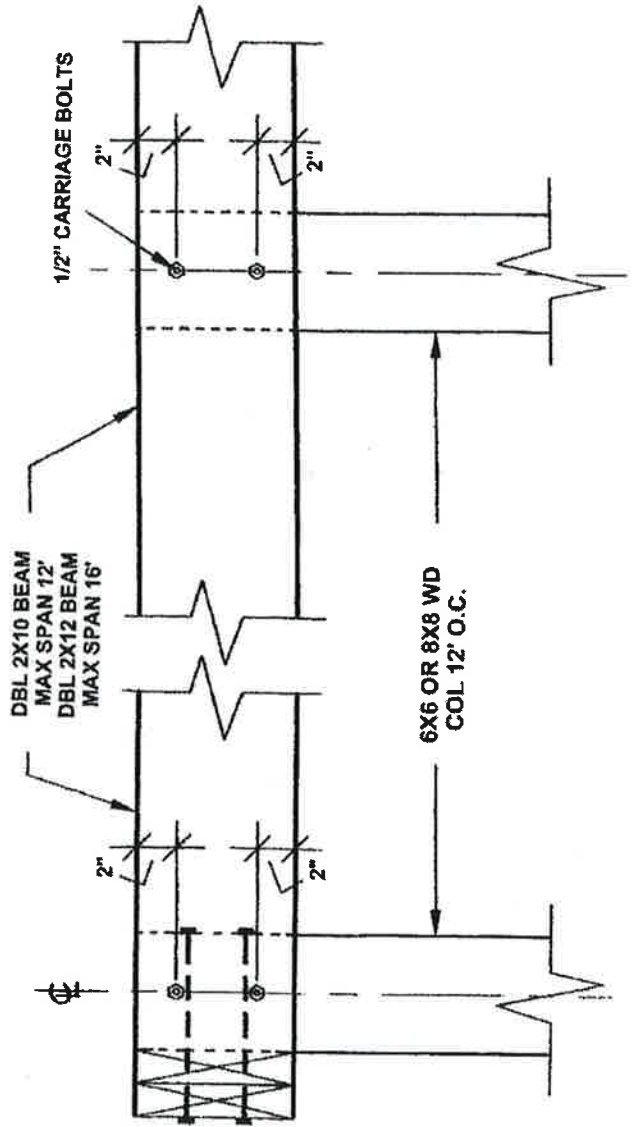
JOHNSON 2523 KISSAM COURT

ALBERT CICHRA BUILDERS, INC.

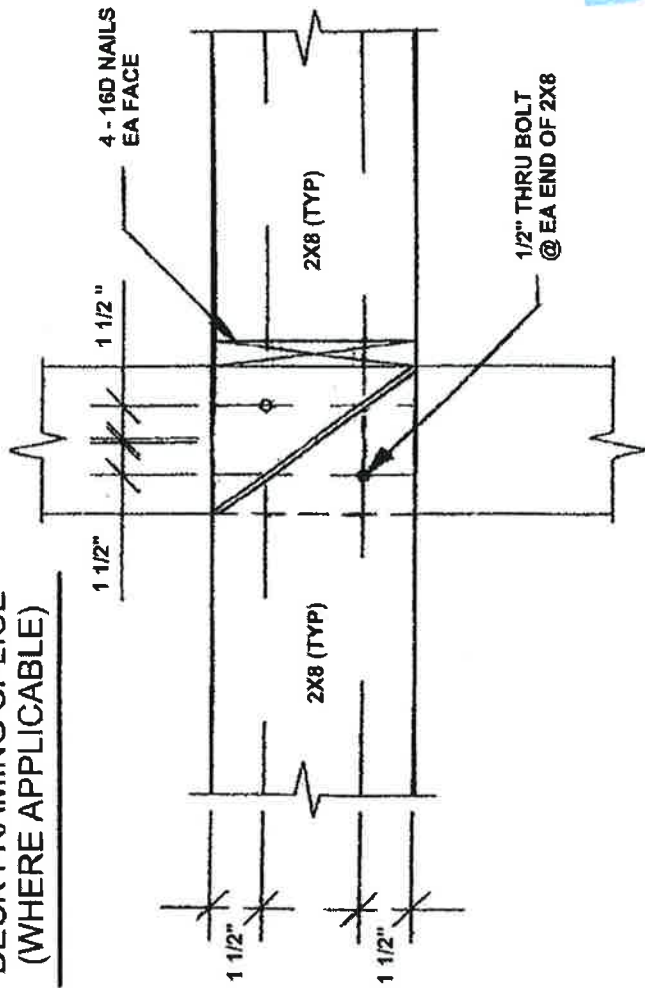
Details and Specifications (P. Beam and Framing Splice)

Handwritten signature

P. BEAM DETAIL



DECK FRAMING SPLICE (WHERE APPLICABLE)



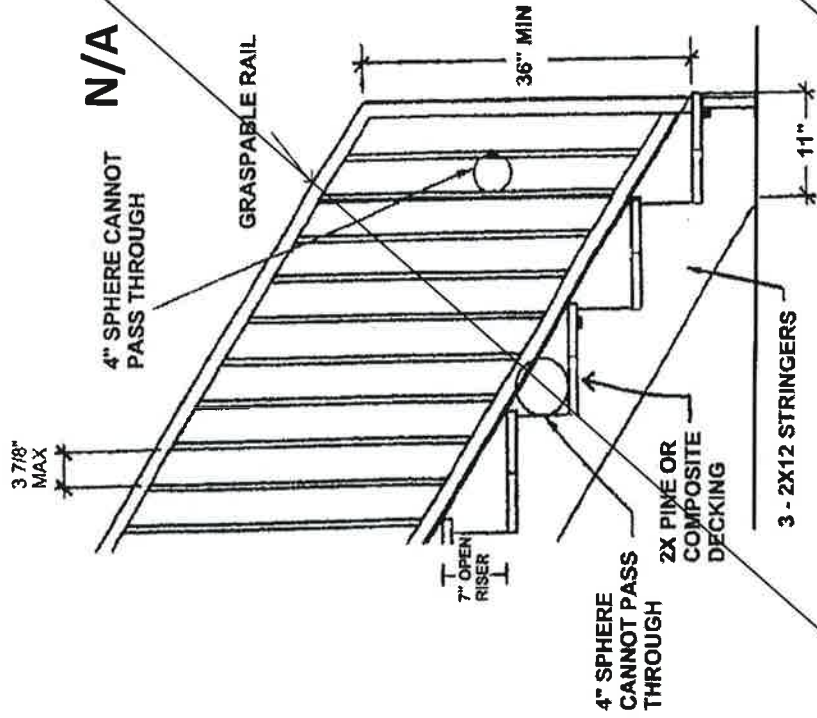
Reviewed for Code Compliance
University of Engineering Sciences

JOHNSON 2523 KISSAM COURT

ALBERT CICHRA BUILDERS, INC.

Details and Specifications - Stair and Railing

11/14/19



STAIR DETAIL

N/A

4" SPHERE CANNOT PASS THROUGH

GRASPABLE RAIL

36" MIN

7" OPEN RISER

4" SPHERE CANNOT PASS THROUGH

2X PINE OR COMPOSITE DECKING

3 - 2X12 STRINGERS

11"

N/A

4" SPHERE CANNOT PASS THROUGH

36" MIN

2X8 STRINGER

2" SPHERE CANNOT PASS THROUGH

PICKETED RAILING DETAIL

NOTES:

- Bolts; ASTM A572
- All nails shall be common wire nails
- Simpson straps shall be ZMAX or galvanized
- Lumber shall be #2, P.T. SYP or as noted
- Roof rafters and fascia shall be #2 PT

•Any portion of the dock that falls landward of the NHWE and is more than 30" above grade will have fall protection railing per code.

NAILING SCHEDULE:

Wall and Roof sheathing – 1/2" CDX APA rated plywood w/8d sinker nails @ 4" O.C. at supported PNL edges & 6" O.C. in the field
Simpson H2.5Z - four 8d x 1 1/2" nails to rafters and plates
Simpson LUS26Z – four 8d x 1 1/2" nails to headers and joists

DESIGN REQUIREMENTS:

- Live loads for floors, decks and stairs is 60PSF
- Live load for roof is 20 PSF
- Live load for balconies is 60 PSF

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE WIND LOAD REQUIREMENTS OF THE 2010 FLORIDA BUILDING CODE RESIDENTIAL EDITION SECTION R301 DESIGN CRITERIA AND ASCE 7- 10 AND 2011 NEC.

1. BASIC WIND SPEED= 139 MPH ULTIMATE WIND SPEED (Vult) AND 108 MPH (Vasd)
2. CONSTRUCTION TYPE= SINGLE FAMILY RESIDENCE
3. WIND EXPOSURE= CATEGORY D
4. OPEN STRUCTURE WITH A ZERO PRESSURE COEFFICIENT



JOHNSON 2523 KISSAM COURT

ALBERT CICHRA BUILDERS, INC.

Design Standards

The following are general design standards. More stringent design standards may be noted on the plans.

General Requirements:

Reproductions of contract drawings by contractor in lieu of preparation of shop drawings signifies acceptance of information shown as correct and obligates himself to any expense, real or implied, arising from their use. A change to the structural drawings due to the acceptance of alternates and/or substitutes is the responsibility of the contractor and must be submitted to the engineer for approval. The general contractor and each subcontractor shall verify all existing conditions prior to the start of any work. All inconsistencies shall be reported to the designer and/or structural engineer, if needed. Should contractor construct the premises in a fashion not consistent with the plans prepared by the designer and/or structural engineer, or in any fashion, change the plans and drawing without the review and approval from the designer and/or structural engineer. Then designer and/or structural engineer shall bear no responsibility or liability for the construction of premises and accuracy of the drawings.

Design Code:

Florida Building Code 2010

The Aluminum Association, latest edition
ASCE 7-10

Galvanized Bolts:

All bolts shall be galvanized be ASTM
A572, grade 50 threaded round stock with
a minimum yield stress of 50,000 psi.

Design Loads:

Pursuant to Chapter 1609 LL (-Table 1607; WL- Section 1609)

Ultimate Wind: 140 mph at 3 second gust (30 psf minimum)

Risk Category II (Table 1604.5)

Exposure Category: "D" (FBC 1609.4.3 & ASCE 7-10, Section 26.7.2)

Deck Live Load: 60 psf

Dead Load: 10 psf

Roof Live Load: 20 psf

Components and cladding, design wind pressures + 38psf/-38psf

Timber:

Design in accordance with the National Design specification for wood construction, with loading in accordance with the Florida Building Code. All graded structural lumber shall be pressure treated and meet the following minimum requirements:

Minimum bending stress = 1250 psi (No. 1 Dense So. Pine)

Young Modulus = 1600 ksi

Maximum of 15% moisture content

Contractor may use Southern Yellow Pine No. 2 or U.O.N.

Lumber sizes shown are nominal sizes. Lumber shall be furnished in finished sizes meeting the requirement of the American Softwood Lumber Standard.

Structural Aluminum:

Conform to latest edition of Aluminum Association of Florida standard practice for aluminum design.

All aluminum shall be 6061-T6 (E= 10,000 ksi; Fy = 35 ksi)

Concrete

Conform to ACI 318, latest edition and ACI 301

Compressive Ultimate Strength (Minimum at 28 days) shall be 3,000 psi

Exposed chamfer edges shall be 3/4"

Reinforcing Steel:

Conform to ACI 318 and 315, Latest edition

All reinforcement steel shall be ASTM A615

Grade 60. Min footing cover 3"

Smooth dowels & ties shall be ASTM A185

Structural Steel:

Conform to latest edition of AISC "Specification for structural steel building" and AISC "Code of standard practice for steel buildings and bridges".

All structural steel shall be ASTM A36, (E= 29,000 ksi; Fy = 36 ksi)

Splicing prohibited without prior approval as to location and type.

Burning of holes in steel members is prohibited. Any member with burned holes must be replaced.

Welding:

Conformed to "code for welding in building construction" by the American Welding Society, latest edition.

Steel Weld IAW AWS D1.1 (latest edition) -E70XX electrodes

Aluminum Weld IAW AWS D1.2 (latest edition)-Filler Alloy 5356 or equal.

Connection welds to be sized for forces and reactions indicated.

All steel welds shall be E70XX low hydrogen, 250 degrees min.

Welds shall be full penetration welds at all points of contact

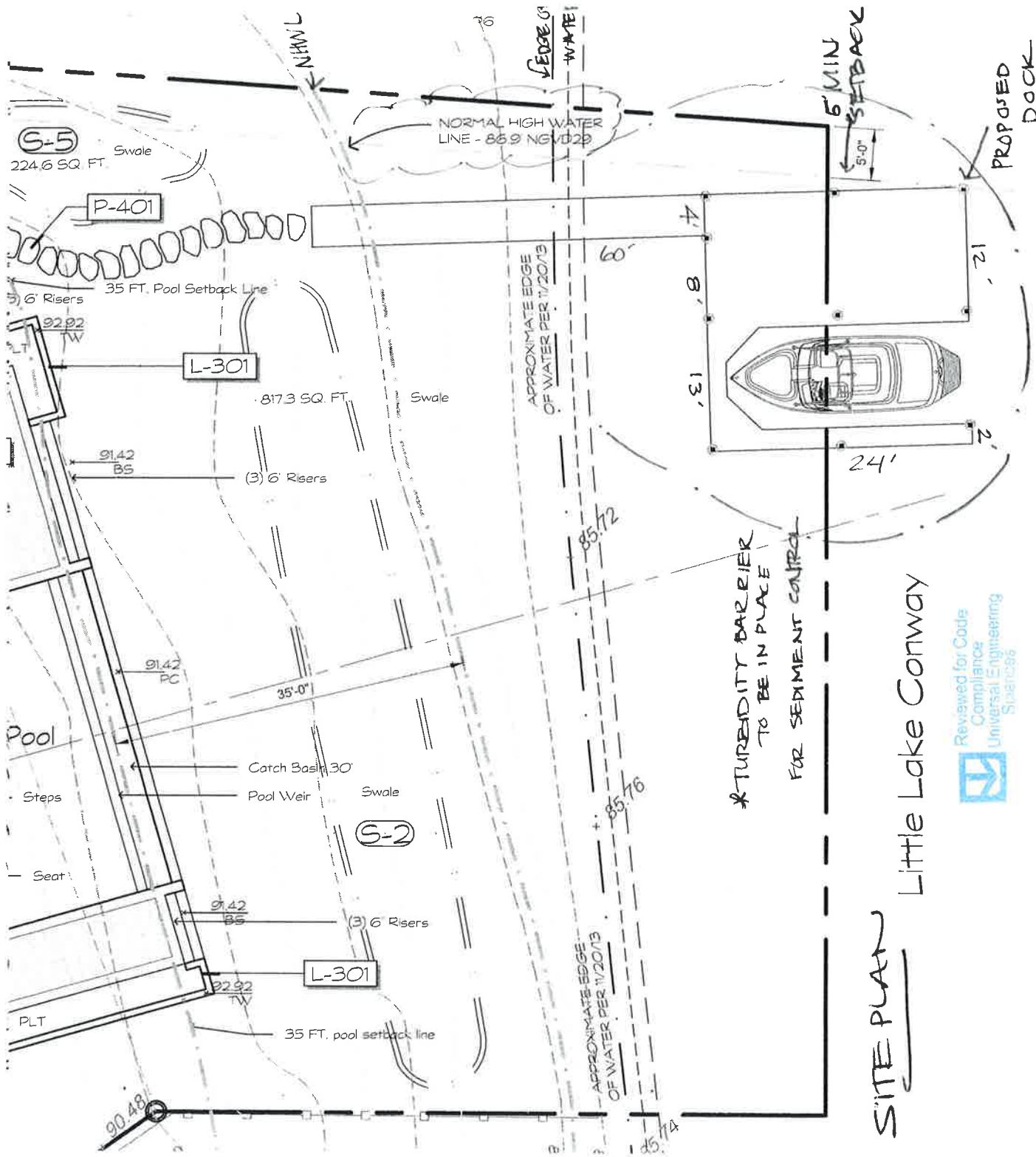
JOHNSON

2523 KISSAM COURT

ALBERT CICHRA BUILDERS, INC.



Reviewed for Code
Compliance
Universal Engineering
Sciences



SITE PLAN
Little Lake Conway



SYMBOL	POOL AREA DESCRIPTION
P-101	Travertine Pool Deck Pavers
SYMBOL	MOTOR COURT & DRIVEWAY DESCRIPTION
P-201	Motor Court & Driveway Pavers
P-202	Travertine - Porte-cochere & Front
SYMBOL	PATIOS & WALKWAYS DESCRIPTION
P-301	Terrace Pavers
SYMBOL	STEPPING STONES DESCRIPTION
P-401	Flag Stones to Boat Dock
SYMBOL	PLANTING POTS DESCRIPTION
S-101	Cast Stone Planting Pots

Lot 23 = Type C Drainage

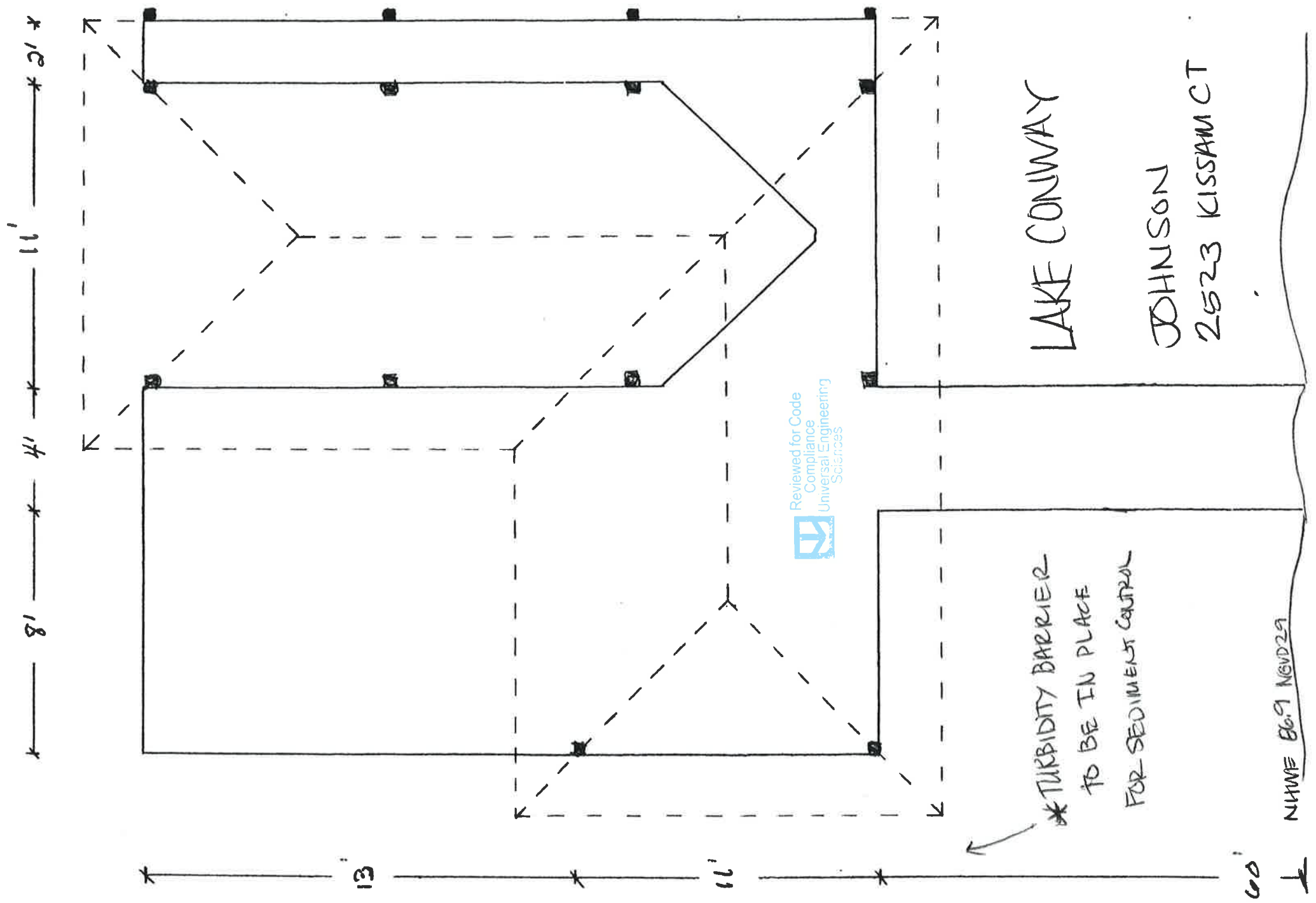
Impervious Calculations	SQ. FT.
Overall Lot Area	42,600

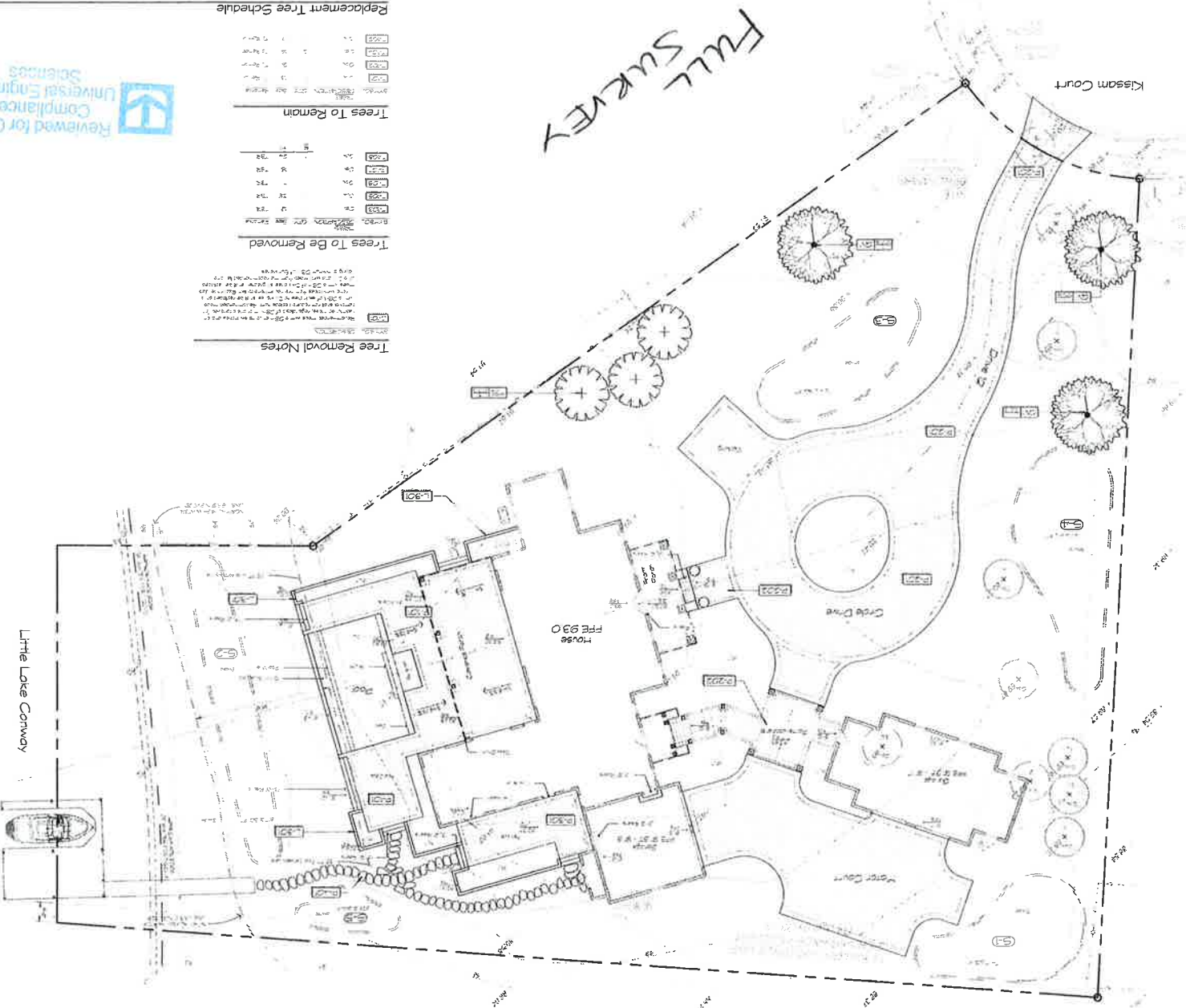
Area 1st Floor	
Pool & Pool Deck	
Driveway & Motor Court	
Walls	
Terrace	

Total Impervious	14,000
Total Pervious	2,600

Swale Calculations

Total Site Area	42,600
Impervious sqft x 0.283 (1st 1/2 impervious Area = Required Swale C. Ft)	
Required Swale Volume	
Decided Swale Area	





Trees To Be Removed

Tree ID	Species	DBH	Height	Notes
R-01	Maple	12"	15'	Remove
R-02	Oak	18"	20'	Remove
R-03	Redwood	24"	25'	Remove
R-04	Walnut	10"	12'	Remove
R-05	Pine	8"	10'	Remove
R-06	Juniper	6"	8'	Remove
R-07	Yew	4"	6'	Remove
R-08	Boxwood	3"	4'	Remove
R-09	Hydrangea	2"	3'	Remove
R-10	Rose	1"	2'	Remove

Trees To Remain

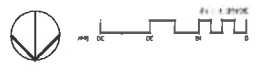
Tree ID	Species	DBH	Height	Notes
T-01	Maple	14"	18'	Retain
T-02	Oak	20"	22'	Retain
T-03	Redwood	26"	28'	Retain
T-04	Walnut	12"	15'	Retain
T-05	Pine	10"	12'	Retain
T-06	Juniper	8"	10'	Retain
T-07	Yew	6"	8'	Retain
T-08	Boxwood	4"	6'	Retain
T-09	Hydrangea	3"	4'	Retain
T-10	Rose	2"	3'	Retain

Tree Removal Notes

- 1. All trees to be removed shall be removed by the contractor within 30 days of the start of construction.
- 2. Stumps shall be removed to a depth of 6 inches below ground level.
- 3. The contractor shall be responsible for obtaining all necessary permits for tree removal.
- 4. The contractor shall be responsible for protecting all trees to remain.
- 5. The contractor shall be responsible for maintaining all trees to remain during construction.
- 6. The contractor shall be responsible for replacing all trees removed with similar or better trees.
- 7. The contractor shall be responsible for maintaining all trees to remain during the entire construction period.
- 8. The contractor shall be responsible for maintaining all trees to remain after the completion of construction.



Sheet List Table
Sheet Number Sheet Title



GRADING LEGEND

Symbol	Description
1	Existing Ground
2	Proposed Grade
3	Spot Elevation
4	Proposed Spot Elevation
5	Proposed Slope
6	Proposed Slope Percentage
7	Proposed Slope Angle
8	Proposed Slope Direction
9	Proposed Slope Direction (Symbol)
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HARDSCAPE LEGEND

Symbol	Description
1	Proposed Walkway
2	Proposed Driveway
3	Proposed Parking Area
4	Proposed Lawn Area
5	Proposed Garden Area
6	Proposed Deck Area
7	Proposed Patio Area
8	Proposed Terrace Area
9	Proposed Retaining Wall
10	Proposed Slope
11	Proposed Slope Percentage
12	Proposed Slope Angle
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Hardscape & Grading Plan

11

Johnson Residence
Lot 25, Oak Island
2523 Kissam Court, Base side

UNIVERSAL COMPLIANCE ENGINEERING SCIENCES

LANDSCAPE ARCHITECTURE

... Receipts ...
This local business tax receipt is in addition to and not in lieu of any other tax required by law or municipal ordinance. Businesses are subject to regulation of zoning, health and other authorities. This receipt is valid from October 1 through September 30 of receipt year. **Delinquent penalty is added October 1.**

1801 CERTIFIED RESIDENTIAL 2014 \$30.00 1 EMPLOYEE ; 5000 BUSINESS OFFICE EXPIRES 9/30/2015 1801-00051119 \$30.00 2 EMPLOYEE ;

TOTAL TAX \$60.00
PREVIOUSLY PAID \$60.00
TOTAL DUE \$0.00

CICHRA ALBERT G JR

ALBERT CICHRA BUILDERS INC
CICHRA ALBERT G JR
13936 MARINE DR
ORLANDO FL 32832-6508

13936 MARINE DR (MOBILE)
U - ORLANDO, 32832

PAID: \$60.00 0099-00641927 8/25/2014

Scott Randolph, Tax Collector Local Business Tax Receipt Orange County, Florida

This local business tax receipt is in addition to and not in lieu of any other tax required by law or municipal ordinance. Businesses are subject to regulation of zoning, health and other authorities. This receipt is valid from October 1 through September 30 of receipt year. **Delinquent penalty is added October 1.**

1801 CERTIFIED RESIDENTIAL 2014 \$30.00 1 EMPLOYEE ; 5000 BUSINESS OFFICE EXPIRES 9/30/2015 1801-00051119 \$30.00 2 EMPLOYEE ;

TOTAL TAX \$60.00
PREVIOUSLY PAID \$60.00
TOTAL DUE \$0.00

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This receipt is official when validated by the Tax Collector.



JEFF ATWATER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

**** CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW ****
CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 6/5/2014

EXPIRATION DATE: 6/4/2016

PERSON: CICHRA

ALBERT

G

JR

FEIN: 593443958

BUSINESS NAME AND ADDRESS:

ALBERT CICHRA BUILDERS INC

13936 MARINE DRIVE

ORLANDO

FL

32832

SCOPES OF BUSINESS OR TRADE:

LICENSED RESIDENTIAL CARPENTRY NOC
CONTRACTR

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

DFS-F2-DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 07-12

QUESTIONS? (850)413-1609



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783**

(850) 487-1395

**CICHRA, ALBERT G JR
ALBERT CICHRA BUILDERS INC
13936 MARINE DRIVE
ORLANDO FL 32832**

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbecue restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION**

CRC058230 ISSUED: 05/29/2014

**CERTIFIED RESIDENTIAL CONTRACTOR
CICHRA, ALBERT G JR
ALBERT CICHRA BUILDERS INC**

**IS CERTIFIED under the provisions of Ch. 489 FS.
Expiration date : AUG 31, 2016 L1405290002623**

DETACH HERE

RICK SCOTT, GOVERNOR

KEN LAWSON, SECRETARY

**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD**



LICENSE NUMBER
CRC058230

**The RESIDENTIAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2016**

**CICHRA, ALBERT G JR
ALBERT CICHRA BUILDERS INC
13936 MARINE DRIVE
ORLANDO FL 32832**

ISSUED: 05/29/2014 NICBI: AV 13 DECEMBER 01 AM CFO # 11405290002623



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
5/7/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Lykes Insurance, Inc. P. O. Box 2703 Winter Park FL 32790	CONTACT NAME: Myrna Sanchez PHONE (A/C, No. Ext): 407-644-5722 E-MAIL ADDRESS: msanchez@lykesinsurance.com FAX (A/C, No.): 407-628-1363
INSURED Albert Cichra Builders 13936 Marine Drive Orlando FL 32832	INSURER(S) AFFORDING COVERAGE INSURER A : Scottsdale Insurance Company INSURER B : INSURER C : INSURER D : INSURER E : INSURER F :

COVERAGES CERTIFICATE NUMBER: 2121685247

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY X COMMERCIAL GENERAL LIABILITY CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR		CPS1984637	4/15/2014	4/15/2015	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$100,000 MED EXP (Any one person) \$5,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMPI/OP AGG \$1,000,000 \$ COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$ EACH OCCURRENCE \$ AGGREGATE \$ \$ WC STATUTORY LIMITS OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	GENL AGGREGATE LIMIT APPLIES PER: X POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC <input type="checkbox"/>					
	AUTOMOBILE LIABILITY ANY AUTO ALL-OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/>					
	UMBRELLA LIAB EXCESS LIAB					
	DED <input type="checkbox"/> RETENTION \$					
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y / N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CERTIFICATE HOLDER

CANCELLATION

City of Belle Isle
1600 Nela Avenue
Orlando FL 32809

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

William P. Joubert

ACORD 25 (2010/05)

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