





### Building / Land Use Permit Application

RECEIVED  
APR - 7 2021

DATE: 3-30-2021

PERMIT # 2021-04-030

PROJECT ADDRESS 2403 HOFFNER AVE

Belle Isle, FL 32809 32812

PROPERTY OWNER WALTER Cetty's

PHONE 407 453 4668

VALUE OF WORK (labor & material) \$ 10,429.00

**PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS**

Storage Shed SIZE: 14x16

Please provide information, if applicable.

- SINGLE FAMILY RESIDENCE:** 8.5"x11" Plat Survey, Plot Plan of Home and Floor Plans of New Construction/Revision Required
- BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- SEPTIC SYSTEM (RESIDENTIAL):** - Provide verification of OC Health Dept approval for on-site septic tank system, per FAC Chap. 64E-6
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 18-23-30-7164-00681

To obtain this information, please visit <http://www.ocpafi.org/Searches/ParcelSearch.aspx>

**SPECIAL CONDITIONS:** STRUCTURES MAY NOT ENCRoACH INTO ANY EASEMENT OR REQUIRED SETBACK. Survey specific foundation plan required to show compliance with zoning setbacks. Note: this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

PLANNING & ZONING APPROVAL

Date: 4/14/21 By: [Signature]  
DATE  
City of Belle Isle

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)

CONSTRUCTION TYPE

OCCUPANCY GROUP Comm Res: Single Fam Multi Fam  
#BLDG 1 #UNITS 1 #STORIES 1 TOTAL SQ.FT. 224  
MAX FLOOR LOAD \_\_\_\_\_ MAX OCCUPANCY \_\_\_\_\_  
MIN. FLOOD ELEV. \_\_\_\_\_ LOW FLOOR ELEV. \_\_\_\_\_  
WATER SERVICE \_\_\_\_\_ WELL \_\_\_\_\_



BUILDING REVIEWER [Signature]

DATE 4/23/21

VERIFIED CONTRACTOR'S LICENSE & INSURANCE ARE ON FILE

DATE 4.7.21

Per FSS 105.3.3:

An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

JJ's Waste & Recycling is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may JJ's Waste & Recycling at 407 298-3932 setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from JJ's Waste & Recycling. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC.

15T1K  
4x10

25  
42  
65 = 7  
32.50  
97.50

Wind Exposure Category: B C D

SPRINKLERS REQ'D	Y	N	
If Required - SUBMIT COPY OF PLANS FOR FIRE			
REVIEW	Date: Sent	RCD	
ZONING	Y	N	\$30.5
CERT OF OCC	Y	N	\$
TRAFFIC	Y	N	\$
SCHOOL	Y	N	\$
FIRE	Y	N	\$
SWIMMING POOL	Y	N	\$
SCREEN ENCLOSURE	Y	N	\$
ROOFING	Y	N	\$
BOAT DOCK	Y	N	\$
BUILDING	Y	N	\$
WINDOW(S)	Y	N	\$
DOOR(S)	Y	N	\$
FENCE	Y	N	\$
SHED	Y	N	\$97.50
DRIVEWAY	Y	N	\$
OTHER	Y	N	\$

1% BCAIB FEE

2 min

1.5% DCA FEE

2 min

TOTAL

131.50

OTHER PERMITS REQUIRED:

ELECTRICAL	Y	NA
PREPOWER	Y	NA
MECHANICAL	Y	NA
PLUMBING	Y	NA
ROOFING <u>metal</u>	Y	NA
GAS	Y	NA

SPRINKLERS REQ'D Y N  
If Required - SUBMIT COPY OF PLANS FOR FIRE

PAID  
UISA 0691  
4/23/2021

145283



Owner's Name WALTER Gettys  
 Owner's Address 2403 HOFFNER AVE

PERMIT # 2021-04-030

Contractor Name <u>Superior shed / BY OWNER</u>	Company Name <u>BY OWNER</u>
License # <u>BY OWNER</u>	Company Address _____
Contact Phone/Cell <u>407-453-4068</u>	City, State, ZIP ( _____ )
Contact Email _____	Contact Fax _____

**WARNING TO OWNER:** Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

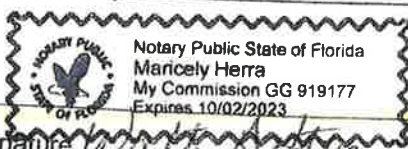
I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations ([www.floridabuilding.org](http://www.floridabuilding.org)) and City Ordinances ([www.municode.com](http://www.municode.com)) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ROOFING, ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, SCREEN ENCLOSURES, ETC.

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

**Owner Signature** Walter Gettys

The foregoing instrument was acknowledged before me this 4/17/21 by Walter J Gettys who is personally known to me and who produced FL ID as identification and who did not take an oath.

Notary as to Owner  
 State of Florida  
 County of Orange



**Contractor Signature** BY OWNER

COMPANY NAME \_\_\_\_\_

The foregoing instrument was acknowledged before me this 1/1 by \_\_\_\_\_ who is personally known to me and who produced \_\_\_\_\_ as identification and who did not take an oath.

Notary as to Owner  
 State of Florida  
 County of Orange

**Impervious Surface Ratio Worksheet**  
 Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per City Code, Section 50-74: Impervious Surface Ratio

- Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).  
 Total Lot Area 8303 X 0.35 =  
 Allowable Impervious Area (BASE) 2906
- Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc.
  - House 1675
  - Driveway 600
  - Walkway 56
  - Accessory Buildings new shed is on blocks
  - Pool & Spa na
  - Deck & Patio 60
  - Other \_\_\_\_\_
 Actual Impervious Area (AIA) 2391
- If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.
- If AIA is greater than BASE, then onsite retention must be provided.

Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed

**Ensure that the application is filled out completely, Impervious Ratio Surface Worksheet, license number, NOTARY SECTION. Must be notarized**

Folio/Parcel Identification Number: 18 23 30 7164 00 481 2 0 0 111

Prepared by: \_\_\_\_\_

Return to: \_\_\_\_\_

The NOC may be recorded at: Orange County Comptroller's Office 109 E. Church St. #300, Orlando FL, 32801 (407) 836-5775

**NOTICE OF COMMENCEMENT**

State of Florida, County of Orange

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

- Description of property** (legal description of the property, and street address if available)  
REPLAT PLEASURE ISLAND H/71 LOT 68 (LESS NELY 20 FT)
- General description of improvement**  
RESIDENTIAL LAWN STORAGE SHED
- Owner information or Lessee information if the Lessee contracted for the improvement**  
Name WALTER GETTYS  
Address 2403 HOFFNER AVE  
Interest in Property OWNER  
**Name and address of fee simple titleholder** (if different from Owner listed above)  
Name \_\_\_\_\_  
Address \_\_\_\_\_
- Contractor**  
Name WALTER GETTYS Telephone Number 407 453 4068  
Address 2403 HOFFNER AVE BELLE ISLE FL 32809
- Surety** (if applicable, a copy of the payment bond is attached)  
Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
Address \_\_\_\_\_ Amount of Bond \$ \_\_\_\_\_
- Lender**  
Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
Address \_\_\_\_\_
- Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by §713.13(1)(a)7, Florida Statutes.**  
Name WALTER GETTYS Telephone Number 407 453 4068  
Address 2403 HOFFNER AVE BELLE ISLE FL 32809
- In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in §713.13(1)(b), Florida Statutes.**  
Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
Address \_\_\_\_\_
- Expiration date of notice of commencement** (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified)  
12-31-2021



WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated in it are true to the best of my knowledge and belief.

Walter Gettys  
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager \_\_\_\_\_ Signatory's Title/Office \_\_\_\_\_

The foregoing instrument was acknowledged before me this 7 day of April by Walter J Gettys as \_\_\_\_\_ for \_\_\_\_\_ month/year name of person

[Signature]  
Signature of Notary Public - State of Florida \_\_\_\_\_ Name of party on behalf of whom instrument was executed \_\_\_\_\_  
Print, type, or stamp commissioned name of Notary Public \_\_\_\_\_

Personally Known \_\_\_\_\_ OR Produced ID X  
Type of ID Produced FL ID

Form Revised: September 26, 2011

DOCH 20210206470  
04/08/2021 11:33:04 AM Page 1 of 1  
Rec Fee: \$10.00  
Phil Diamond, Comptroller  
Orange County, FL  
IP - Ret To: WALTER GETTYS

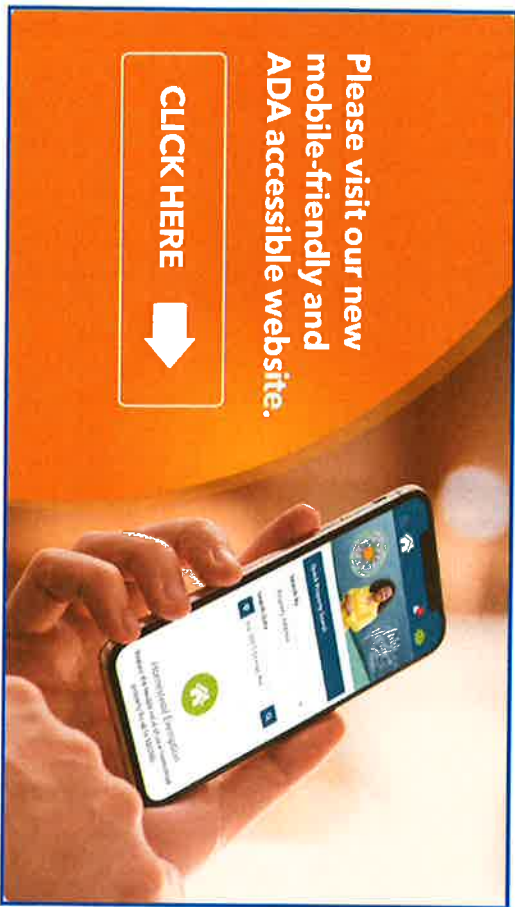






# ORANGE COUNTY PROPERTY APPRAISER

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## 2403 Hoffner Ave < 18-23-30-7164-00-681 >

Name(s) **Gettys Walter J** Physical Street Address **2403 Hoffner Ave**  
 Mailing Address On File **2403 Hoffner Ave** Postal City and Zipcode **Orlando, FL 32809**  
**Belle Isle, FL 32809-3537** Property Use **0103 - Single Fam Class III**  
 Incorrect Mailing Address? Municipality **Belle Isle**



### View 2020 Property Record Card

- [Property Features](#)
- [Values, Exemptions and Taxes](#)
- [Sales Analysis](#)
- [Location Info](#)
- [Market Stats](#)
- [Update Information](#)

**2021 values will be available in August of 2021.**

### Property Description

[View Plat](#)



## OWNER BUILDER DISCLOSURE STATEMENT

Per Florida Statue 455.228:

**Homeowners hiring unlicensed Contractors may be  
subject a fine of up to \$5,000.00!**

Before me this day personally appeared WALTER GETTYS, who being duly sworn, deposes, and says as follows. "I hereby acknowledge that I have read and fully understand the individual provisions of this instrument."

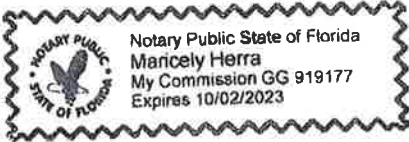
1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license WG Initial
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility. WG Initial
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts. WG Initial
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000.00. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption. WG Initial
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction. Initial WG
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance. WG Initial
7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit, that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property. WG Initial
8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk. WG Initial
9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations. WG Initial
10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at (850)487-1395 or [www.Call.Center@dbpr.state.fl.us](mailto:www.Call.Center@dbpr.state.fl.us) for more information about licensed contractors. WG Initial

legally and financially responsible for the proposed construction activity at the following address:  
Project Address: 2403 HOFFNER AVE Belle Isle FL 32809 WJ Initial

12. I agree to notify the City of Belle Isle Building/Zoning Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. WJ Initial
13. FBC 105.3.6 requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. WJ Initial

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if any unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit. A copy of the property owner's driver license, the notarized signature of the property owner, or other type of verification acceptable to the local permitting agency is required when the permit is issued.

Signature: <u>Walter J Getty</u> (Signature of the property owner)	Print: <u>WALTER GETTY</u> (Name of the property owner)
Signature: _____ (Signature of the property owner)	Print: _____ (Name of the property owner)
Owner's Address: <u>2403 HOFFNER AVE Belle Isle FL 32809</u>	
The foregoing instrument was acknowledged before me this <u>21 April, 2021</u>	
by <u>Walter J Getty</u> who is personally known to me / who produced the following	
<u>FL ID</u> as identification and who did not take an oath.	
State of Florida / County of <u>Orange</u>	Seal:
Notary Signature <u>MH</u>	

↑ Ensure that this NOTARY SECTION is completed. Must be notarized.

Halsey Beshears, Secretary

Ron DeSantis, Governor

August 07, 2019

Alex Martens

Superior Sheds, Inc.  
2323 S. Volusia Ave  
Orange City, FL 32763

RE: Manufacturer Certification, ID MFT-113; Expiration Date: August 07, 2022

Dear Alex Martens

It is my pleasure to inform you that Superior Sheds, Inc., located at 2323 S. Volusia Ave, Orange City, FL 32763, has been approved under the Manufactured Buildings Program, as provided for under Chapter 553, Part I, Florida Statutes, to manufacture Storage Sheds, Manufactured Buildings for installation in Florida.

Construction or modification on a manufactured building cannot begin until the Third Party Agency has approved the plans in accordance with the current Florida Building Code. Your Third Party Agency is a contractor for the Department and has statutory authority and responsibilities that must be met to maintain approved status. You may expect and demand quality plans review and inspections.

Each Code change will make your plans obsolete until they have been reviewed, approved and indicated [on the cover page of the plans] for compliance with the Code by your Third Party Agency for plans review. Please ensure that your plans are in compliance and are properly posted on our website. All site-related installation issues are subject to the local authority having jurisdiction.

The Department's contractor will make unannounced monitoring visits at least once each year. You must grant complete access to your manufacturing facility and records to remain in compliance with the rules and regulations of this program.

Your certification is approved for three years from this date. You will receive a renewal notice by Email generated by the BCIS ([www.floridabuilding.org](http://www.floridabuilding.org)) for online renewal. If you have questions you may contact Robert Lorenzo at 850-717-1835 or our FAX at 850-414-8436.

Please visit our website at [www.floridabuilding.org](http://www.floridabuilding.org) to see valuable information on the Florida Manufactured Buildings Program. A copy of this letter must accompany applications for local building permits.

Sincerely,



Robert Lorenzo  
Manufactured Buildings Program

cc: Top Line Engineering, LLC



REPLAT PLEASURE ISLAND H/71 LOT 68 (LESS NELY 20 FT)


**Total Land Area** 8,303 sqft (+/-) | 0.19 acres (+/-) [GIS Calculated](#) [Notice](#)

**Land**

Land Use Code	Zoning	Land Units	Unit Price	Land Value	Class Unit Price	Class Value
0100 - Single Family	R-1-AA	1 LOT(S)	working...	working...	working...	working...

Page 1 of 1 (1 total records)

**Buildings**

Important Information	Structure
 <p><b>Model Code:</b> 01 - Single Fam Residence  <b>Type Code:</b> 0103 - Single Fam Class III  <b>Building Value:</b> working...  <b>Estimated New Cost:</b> working...</p>	<p><b>Actual Year Built:</b> 1963  <b>Gross Area:</b> 1675 sqft  <b>Beds:</b> 3  <b>Living Area:</b> 1500 sqft  <b>Baths:</b> 2.0  <b>Exterior Wall:</b> Concrete/Cinder Block  <b>Floors:</b> 1  <b>Interior Wall:</b> Plastered</p>

Page 1 of 1 (1 total records)

**Extra Features**

Description	Date Built	Units	XFOB Value
PT1 - Patio 1	01/01/1990	1 Unit(s)	working...
SCR1 - Scrn Enc 1	01/01/1990	1 Unit(s)	working...
SHNV - Shed No Value	01/01/2001	1 Unit(s)	working...
FNT1 - Decorative Fountain	01/01/2010	1 Unit(s)	working...

Page 1 of 1 (4 total records)

This Data Printed on 04/07/2021 and System Data Last Refreshed on 04/06/2021



Courtesy Orange County Property Appraiser



February 17, 2015 at 9:03:51 AM

2403 HOFFNER AVE, ORLANDO, FL 32809 2/17/2015 9:12 AM

14  
4  
—  
56

CITY **BELLE ISLE** COUNTY **ORANGE** ZIP **32809** CITY **BELLE ISLE** COUNTY **ORANGE** ZIP **32809**

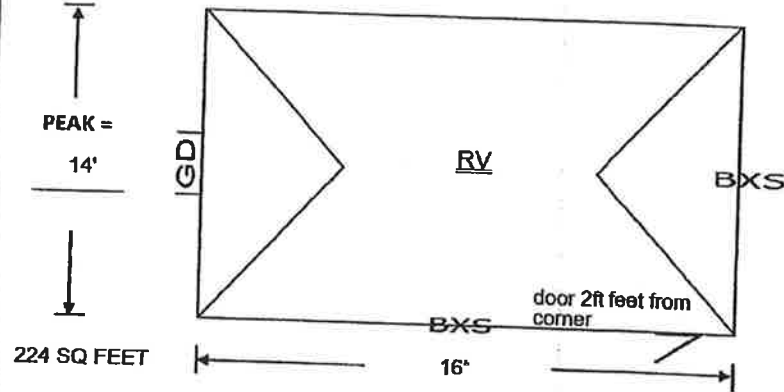
SUPERIOR ORDER LOCATION **East Orlando** SALES REP **Carlos Hernandez**

STYLE	SIZE	MATERIAL	COLOR	WINDOWS	VENTS	ELECTRIC	WALL HEIGHT	DECK
Country Inn	14' x 16'	Aluminum Panels Advantage Steel Trim	Sage Green Emerald Green	2	1	No	84"	3/4"

AC HOLE	RAMP	GARAGE DOOR	ENTRY DOORS:	TYPE	WXH	RHH / LHH	COLOR
W X H		6' 8' 9'	Everlast	48X80	RHH	beige	

OTHER / MISC:

RTO \_\_\_\_\_ FIN \_\_\_\_\_ CASH \_\_\_\_\_  
 COMPANY \_\_\_\_\_  
 PRICE 10098.00  
 TAX + 630.88  
 TOTAL = 10728.88  
 ADDITIONAL + 0  
 DESCRIPTION \_\_\_\_\_  
 DEPOSIT \$ 300.00  
 CC  CK \_\_\_\_\_ CASH \_\_\_\_\_  
 BALANCE DUE:  
 \$ 10428.88



CRANE PROCEDURES  
 CUSTOMER IS RESPONSIBLE FOR PAYMENT AND AGREEMENT WITH CRANE COMPANY. IF CRANE NEEDED FOR INSTALLATION, PRICE COULD VARY BASED ON SHED/CRANE SIZE AND LENGTH OF CRANE IN". ALSO BE AWARE THAT CRANE SET-UP COULD BE ON DRIVEWAY OR YARD. CUSTOMER COORDINATES WITH CRANE COMPANY BASED ON THEIR SITUATION.

WILL BUYER PROVIDE AN UNOBSTRUCTED PATH LARGE ENOUGH TO MOVE SHED TO INSTALLATION SITE?  YES  NO

ADDITIONAL FEES / SPECIFICATIONS / INSTRUCTIONS:  
 PULLING PERMIT

AMPLE ROOM IS NEEDED. FENCES, SHRUBS, ETC. ARE BUYER RESPONSIBILITY. A \$100.00 FEE WILL BE CHARGED FOR RETURNED DELIVERIES DUE TO SPACE PROBLEMS. BUYER ACCEPTS RESPONSIBILITY FOR DAMAGE INCURRED BY OBSTACLES THAT HAVE NOT BEEN REMOVED. ANY SITE PREP BY DELIVERY CREW WILL BE AT ADDITIONAL CHARGE. ONE SET OF BLOCK AND ANCHORS PROVIDED. ADDITIONAL BLOCKS, ANCHORS OR ROLL INS WILL BE CHARGEABLE. PLEASE FILL OUT DELIVERY REQUEST FOR DIRECTIONS AND INSTRUCTIONS.

DEPOSITS: DEPOSITS REQUIRED WITH BALANCE DUE UPON DELIVERY. UNITS WILL BE HELD AT LOG A MAXIMUM OF 3 WEEKS PENDING DELIVERY, UNLESS PAID IN FULL. BUILDINGS MANUFACTURED TO SPECIFICATIONS WILL HAVE A 20% CHARGE FOR CANCELLATIONS.

GOODS: ALL GOODS REMAIN PROPERTY OF SUPERIOR SHEDS, INC. UNTIL PAID IN FULL. COLLECTION COSTS, INCLUDING ATTORNEY FEES, WILL BE THE RESPONSIBILITY OF BUYER

PERMITS: BUYER IS RESPONSIBLE FOR ALL PERMITS. CONTACT YOUR LOCAL MUNICIPALITY AND HOA. DRAWINGS AND STATE CERTIFICATION PROVIDED AT TIME OF PURCHASE. THIS IS A MANUFACTURED PORTABLE STORAGE SHED DELIVERED FULLY ASSEMBLED AND PLACED PER BUYERS INSTRUCTIONS. BE AWARE OF SET BACKS. RETURN TRIPS TO MOVE SHEDS WILL BE CHARGEABLE.

BUYER UNDERSTANDS ALL TERMS AND CONDITIONS OF THIS AGREEMENT.

BUYER: Walter Gettys  
 Signature  
 WALTER GETTYS  
 Print Name

DATE: 3/26/21 SUPERIOR REP: Carlos Hernandez SIGNATURE: \_\_\_\_\_

LOT ADDRESS: 8001 East Colonial Drive Orlando, FL

PHONE: 407-730-6362





3532 Maggie Blvd, Orlando, FL 32811 - P: 407.423.0504 - F: 407.423.3106

Work Order No. 195283

**Inspection Report**

Project Name: 2403 Hoffner Avenue - COBI  
Address: 2403 Hoffner Avenue - COBI, Belle Isle, Orange County, FL 32809  
Client: City of Belle Isle, FL  
ProjectNo.: 0115.1400531.0000-0115-0002

Date: 04/16/2021 Any any  
Permit No: 2021-04-030  
Lot No.:  
Contact: Susan Manchester at 14075818161

Scope of Inspection: REVIEW building app for shed

**Inspection Type:**

**Disposition of Inspection:**

Comments:

~~Fail / Rejected~~      ★ Approved      4/23/2021

I hereby affirm that to the best of my knowledge and belief, the above listed inspection was performed as indicated and the work was reviewed for compliance with the approved plans, and all pertinent sections of the Florida Building Code.

Inspector: Allen Johnson

*Allen Johnson*

OK ✓      ★ Tie down anchors & straps are specified on sheet A7 but no details are provided as to how many or locations where they go. Provide.





**NOT APPROVED FOR HVHZ**

\*\*\* Please note: Any questions regarding local permitting should be directed to the Manufacturer. The Manufacturer's contact information can be found in the title block of the plans.



2323 S. VOLUSIA AVENUE  
ORANGE CITY, FLORIDA 32763  
(877) 439-7433

**STRUCTURAL LOAD LIMITATIONS**

WIND LOAD CRITERIA

- |                      |  |
|----------------------|--|
| 1. 132 Vasd/170 Vult | WIND SPEED (MPH)                         |
| 2. I                 | RISK CATEGORY                            |
| 3. II                | BUILDING CATEGORY                        |
| 4. ENCLOSED          | ENCLOSURE CLASSIFICATION                 |
| 5. GCpl = 0.18       | INTERNAL PRESSURE COEFFICIENT            |
| 5. C                 | EXPOSURE FACTOR                          |
| 6. 0.85              | WIND DIRECTIONALITY FACTOR (Kd)          |
| 7. 0.85              | GUST RESPONSE FACTOR (Gh)                |
| 8. Pr = -93.0 PSF    | MAIN FRAME STRUCTURE<br>OVERTURNING LOAD |
9. COMPONENT & CLADDING LOAD  
(ROOF)  
Pr = ZONE 1: -35.63 PSF, ZONE 2: -35.63 PSF, ZONE 3: -65.26 PSF  
(WALL)  
PW = ZONE 4: -39.14 PSF, ZONE 5: -46.89 PSF
10. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.

SEISMIC LOAD: N/A

FLOOD LOAD:

THIS BUILDING IS NOT DESIGNED TO BE SUBMERGED OR SUBJECTED TO WAVE ACTION WHEN LOCATED IN A FLOOD PRONE OR ZONE AREA. FINISH FLOOR ELEVATION MUST BE LOCATED ABOVE THE BUILDING SITE FLOOD PLANE LEVEL. SHEDS LOCATED IN FLOOD HAZARD AREAS MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.

**DRAWING INDEX**

C1	COVER SHEET
A1	FLOOR PLAN
A2	SIDEWALL FRAMING
A3	FLOOR FRAMING
A4	ROOF FRAMING
A5	CROSS SECTIONS
A6	ENDWALL FRAMING
A7	SCHEDULES

GENERAL NOTES

- FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION.
- BUILDINGS ARE APPROVED FOR RESIDENTIAL LAWN STORAGE ONLY
- THIS BUILDING IS EXEMPT FROM THE FECC PERSECTIONS R101.4.2.4, R402.1.
- REFER TO TIE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE.
- ALL LUMBER FOR CONSTRUCTION WILL BE #2 SYP EXCEPT AS NOTED.
- GUTTERS SHALL BE SITE INSTALLED PER THE LOCAL AUTHORITY HAVING JURISDICTION AND PERMITTING REQUIREMENTS.
- ALL WINDOWS AND DOORS TO MEET THE MINIMUM SPECIFICATIONS PER THE APPROVED PLANS AND THE FLORIDA BUILDING CODE.
- IN ACCORDANCE WITH FBC 1609.1.2, "STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE".
- IN ACCORDANCE WITH FBC 1010.1.1, EXCEPTION (10.) BUILDINGS THAT ARE 400 SQ-FT OR LESS AND THAT ARE INTENDED FOR USE IN CONJUNCTION WITH ONE- AND TWO-FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THIS CODE. STRUCTURES 400 SQ-FT OR MORE SHALL HAVE AN 80" MINIMUM DOOR.
- IN ACCORDANCE WITH FLORIDA STATUTE 553.80 (1)D, LAWN STORAGE BUILDINGS AND STORAGE SHEDS BEARING THE INSIGNIA OF APPROVAL OF THE DEPARTMENT ARE NOT SUBJECT TO 553.842 (FLORIDA PRODUCT APPROVALS) BUT SHALL MEET THE DESIGN WIND LOAD REQUIREMENTS OF THE 2020 FBC 7TH EDITION.
- FLAT METAL STRAPS CAN BE BENT AROUND STRUCTURAL MEMBERS OF WALL STUDS, TRUSSES, CHORDS, ETC. TO HELP SECURE THESE MEMBERS, PROVIDED THAT THE ADDED BEND DOES NOT INTERFERE WITH ANY OF THE EXISTING BREAKS/BENDS IN THE STRAP.
- AS PER FBC SECTION 1626.1 EXCEPTION (F): STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF LESS THAN 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE.
- COMPONENTS/CLADDING ARE IN COMPLIANCE WITH THE 2020 FBC 7TH EDITION.
- SHEDS LOCATED IN FLOOD HAZARD AREAS MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.
- IF A WALL IS FRAMED FOR FUTURE HVAC UNITS THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
- WINDOWS AND DOORS INSTALLED BY THE CUSTOMER THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
- HVHZ COMPONENTS FOR SHEDS REQUIRE THAT INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.

DESIGN PRESSURES	
DOORS:	+/- 20 PSF
WINDOWS:	+/- 40.10 PSF

LISTING AGENCY APPROVAL: TOP LINE ENGINEERING, LLC.	
BUILDING CODE RESIDENTIAL CODE ELECTRICAL CODE BUILDING TYPE MANUFACTURER AGENCY AGENCY PLAN NUMBER CONSTRUCTION TYPE FIRE PROTECTION FIRE SUPPRESSION SYSTEM OCCUPANCY ALLOWABLE # OF STORIES WIND VELOCITY FIRE RATING OF EXTERIOR WALLS FLOOR LIVE LOAD - STANDARD FLOOR LIVE LOAD - OPTIONAL FLOOR DEAD LOAD ROOF LIVE LOAD ROOF DEAD LOAD "R" RATING OF FLOOR, WALL, & ROOF MODULES PER BUILDING SQUARE FOOTAGE HURRICANE PROTECTION USAGE HURRICANE SHELTER USAGE HVHZ APPROVED	FBC, 7TH EDITION (2020) FRBC, 7TH EDITION (2020) 2017 NATIONAL ELECTRICAL CODE RESIDENTIAL LAWN STORAGE SHED SUPERIOR SHEDS, LLC TOP LINE ENGINEERING, LLC CI-20 V-B NO NO UTILITY 1 170 MPH, EXPOSURE C 0 75 PSF 125 PSF 10 PSF 20 PSF 10 PSF N/A 1 719 SQ/FT MAX. NO NO NO
<b>TOP LINE ENGINEERING, LLC</b>	

**TLE** TOP LINE ENGINEERING, LLC  
STRUCTURAL ENGINEERS  
William E. Neary, III  
SMP-51, SMI-79, ICC 5185040  
10649 Oakview Pointe Terrace  
Gotha, Florida 34734

*Julio Orbegoso*  
Reviewed for Code Compliance  
Universal Engineering Sciences  
PX 1653  
5/23/2021

**CONSULTING ENGINEER**  
JULIO ORBEGOSO  
FLORIDA  
PE LICENSE #38769

**COUNTRY INN SHED**

MODULAR STRUCTURE FOR:  
**SUPERIOR SHEDS**  
(877) 439-7433  
2323 S. VOLUSIA AVE. ORANGE CITY, FL 32763

MODULAR PLANS DESIGN, CO.  
  
202 DORIS DRIVE, SUITE 105  
LAKELAND, FLORIDA 33813  
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COLE@MODULARPLANS.CO.COM

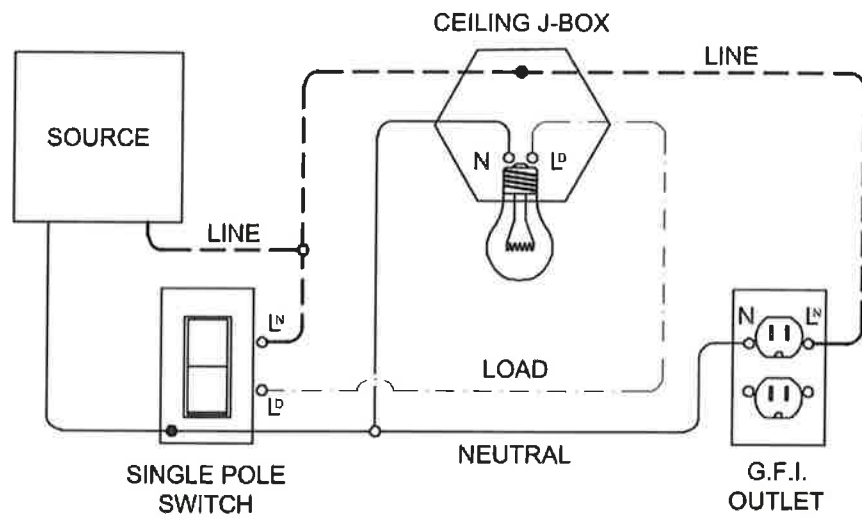
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DRAWN:	R.L.G.
JOB:	SS20-CI-NONH
SHEET NO.	<b>C1</b>

**NOT APPROVED FOR HVHZ**

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**ELECTRICAL NOTES & OPTIONS:**

- AS PER NEX ARTICLE 330.30(B) SECURING OF MC TYPE CABLE. UNLESS OTHERWISE PROVIDED, CABLES SHALL BE SECURED AT INTERVALS NOT EXCEEDING 6FT. CABLES CONTAINING FOUR OR FEWER CONDUCTORS SIZED NO LARGER THAN 10 AWG SHALL BE SECURED WITHIN 12 IN. OF EVERY BOX, CABINET, FITTING, OR OTHER CABLE TERMINATION.
- ALL WIRING SHALL BE 14 GAUGE 3-WIRE MC CABLE.
- ENCASE IN ALL METAL BOXES.

MAXIMUM NO. OF OUTLETS: 7  
 MAXIMUM NO. OF LIGHTS: 8

**ELECTRICAL WIRING DIAGRAM**

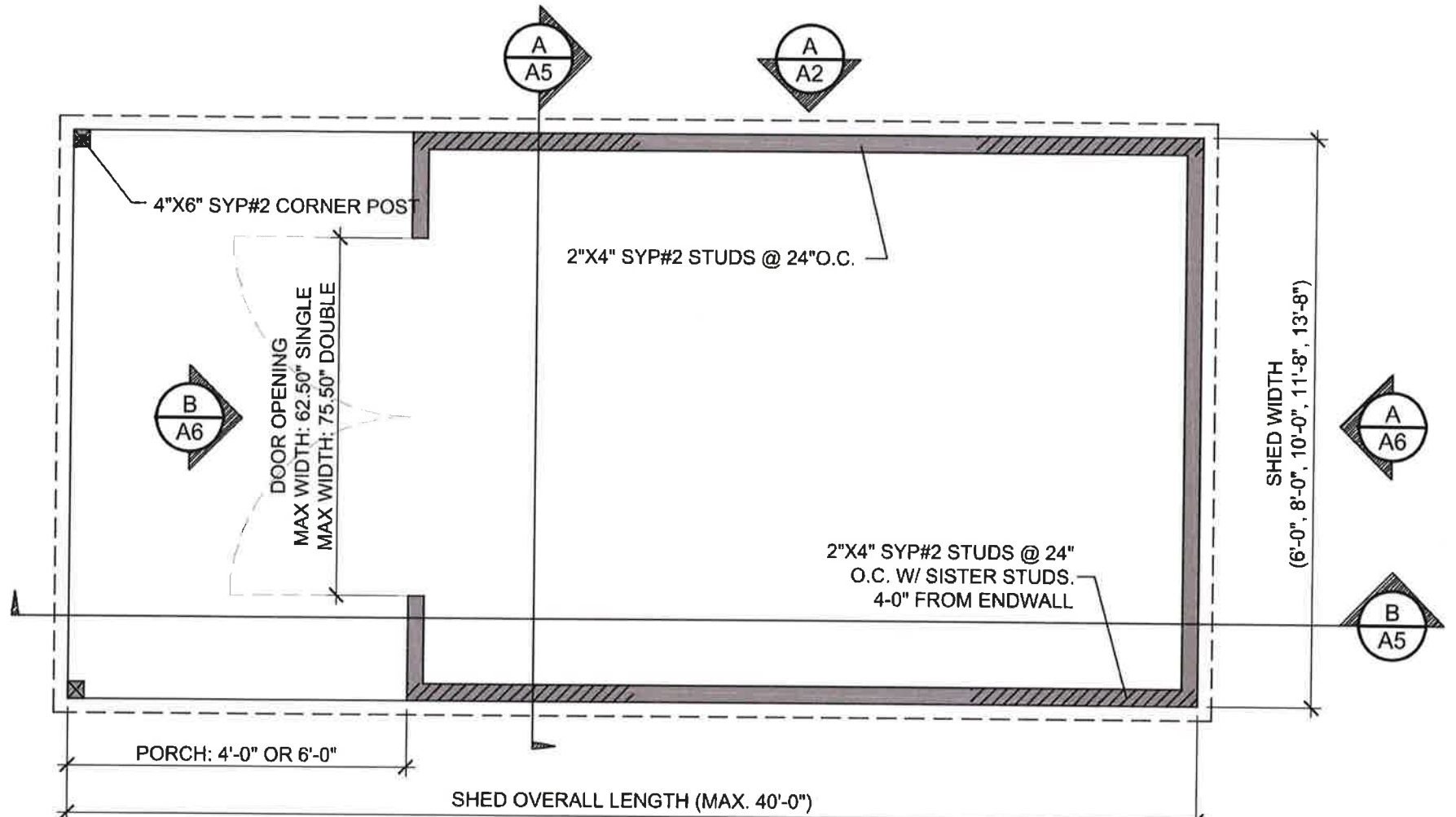
SCALE: NOT TO SCALE

**NOTE:**

1. MIN. GRADE STUDS: 2"X4" STUDS TO BE Fb = 1200 PSI OR GREATER
2. MIN. ROOF SHEATHING: 29GA CORRUGATED METAL
3. MIN. FLOOR SHEATHING: 3/4" PLYWOOD
4. MIN. WALL SHEATHING: 29GA CORRUGATED METAL

**NOTE:**

23" SECTIONS OF 29GA CORRUGATED METAL SIDING FASTENED W/ 3/4" #8 HEX WASHER SELF DRILLING SCREWS @ 4" ON EDGE & 6" IN FIELD



NOTE: SHOWN IS THE 10'-0" x 20'-0" W/ 6'-0" PORCH OPTION

**FLOOR PLAN**

SCALE: 3/8" = 1'-0"

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 Universal Engineering Sciences

**WALL & ROOF HEIGHTS**

BLDG WIDTH	SIDEWALL HEIGHT	RIDGE HEIGHT
8'-0"	97"	115 1/4"
10'-0"	97"	120 1/4"
12'-0"	97"	124"
14'-0"	97"	127 1/2"

**NOTE:**

SHEDS TO HAVE A MAXIMUM OF 5 DOORS AND 10 WINDOWS

**COUNTRY INN SHED**

**CONSULTING ENGINEER**

JULIO ORBEGOSO  
 FLORIDA  
 PE LICENSE #38769

MODULAR STRUCTURE FOR:  
**SUPERIOR SHEDS**

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 2323 S. VOLUSIA AVE. ORANGE CITY, FL 32763

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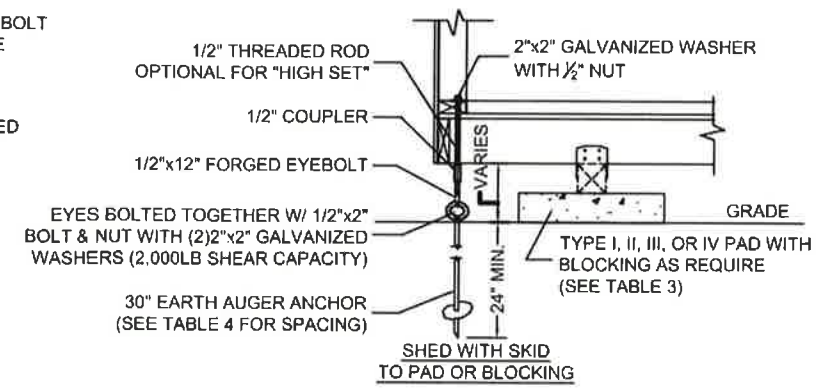
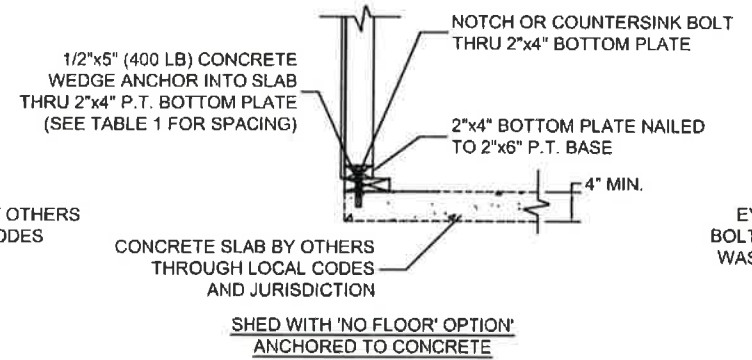
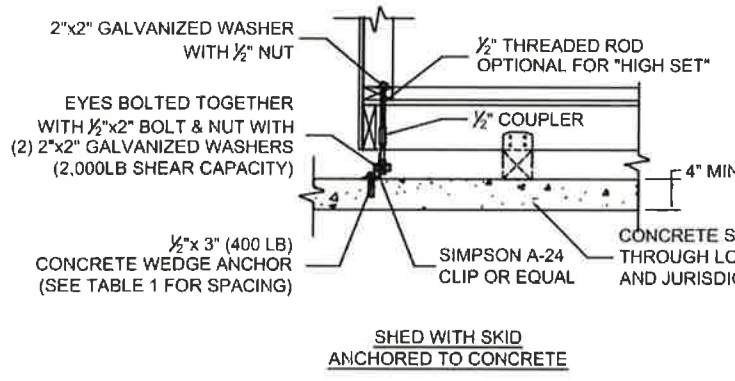
**MODULAR PLANS DESIGN, CO.**

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 OFFICE: 863.688.1054  
 FAX: 863.688.7118  
 COLE@MODULARPLANS.CO

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JOB:	SS20-CI-NONH
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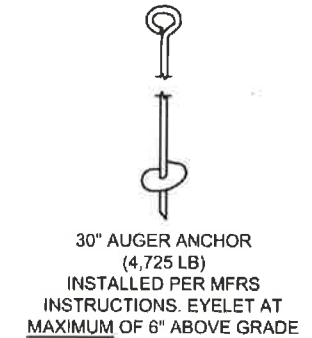


**SETUP AND INSTALLATION OF SINGLE WIDE SHED**

- BUILDING IS PLACED IN REQUESTED LOCATION ON SCHEDULE 40 PVC TO ALLOW FOR MOVEMENT TO PLUM OR SQUARE UNIT TO HOUSE, FENCE, PROPERTY LINE, ETC.
- ONCE UNIT IS SQUARE AND THE HIGH SPOT OF THE GROUND IS ESTABLISHED, THE BUILDING IS BLOCKED ON THE HIGH SPOT OF THE GROUND AND LEVELED. THE OTHER END OF THE BUILDING IS BROUGHT UP TO LEVEL AND BLOCKED. THEN THE CENTER OF THE BUILDING IS SUPPORTED TO LEVEL, MORE BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 3).
- AFTER THE BUILDING IS LEVEL, MORE BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 3).
- ANCHOR PLACEMENT IS ESTABLISHED BY THE WIDTH OF THE BUILDING, HOLES ARE DRILLED THRU THE 2"x4" BOTTOM PLATE WITH A 1/2" AUGER BIT. 1/2" EYEBOLT OR OPTIONAL 1/2" THREADED ROD (FOR A "HIGH SET") IS SECURED THRU THE HOLE.
- ANCHORS ARE NOT REQUIRED IN THE BOTTOM PLATE FOR DOORS AND DOORWAYS WITH NO FOOTER (GARAGE DOORS FOR EXAMPLE). HEADER DESIGN TRANSFERS THESE LOADS.
- IF THE UNIT HAS A FLOOR, EITHER A HOLE IS DUG FOR THE 30" AUGER ANCHOR AND BACKFILLED AND SECURED AS PER THE DETAIL OR A 1/2" HOLE IS DRILLED INTO THE CONCRETE 1-1/2" OFF THE RIM JOIST. THE EYEBOLT IS FASTENED THRU THE BOTTOM PLATE AND A SIMPSON A-24 (OR EQUAL) IS SECURED TO THE CONCRETE WITH A 1/2" WEDGE ANCHOR.
- IF THE UNIT A 'NO FLOOR' OPTION, ANCHOR WITH 1/2"x5" WEDGE ANCHOR THRU THE 2"x4" BOTTOM PLATE.

**SETUP AND INSTALLATION OF DOUBLE WIDE SHED**

- BUILDING IS PLACED IN REQUESTED LOCATION. THE FIRST SECTION OF THE DOUBLE WIDE IS PLACED ON THE HIGHEST LOCATION OF GROUND AND IS LEVELED UP.
- BLOCKS ARE THEN PLACED AT THE END, CENTER, AND OTHER END TO LEVEL. ONCE THE BUILDING IS LEVEL, BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 3).
- THE NEXT SECTION OF THE SHED IS BACKED INTO PLACE AND UNLOADED PARALLEL WITH THE FIRST SECTION. THE TWO SECTIONS ARE CONNECTED AT THE LOWER CORNER WITH (1) 1/2"x4 1/2" BOLT AND NUT. THE SECOND SECTION IS THEN LEVELED AND THE OTHER BOLT HOLES ARE LINED UP AND BOLTED SECURE. THE REST OF THE BLOCKING IS THEN COMPLETED. THIS PROCEDURE IS REPEATED FOR MULTIPLE SECTION SHEDS UNTIL ALL SECTIONS ARE IN PLACE.
- GROUND ANCHORS ARE THEN ADDED (SEE TABLE 4B).
- ONCE THE BUILDING IS PROPERLY BLOCKED AND BOLTED TOGETHER, THE SUPPORT BRACING IS REMOVED.
- ANCHORS ARE NOT REQUIRED IN THE BOTTOM PLATE FOR DOORS AND DOORWAYS WITH NO FOOTER (GARAGE DOORS FOR EXAMPLE). HEADER DESIGN TRANSFERS THESE LOADS.



**GENERAL NOTES & SPECIFICATIONS FOR AUGER ANCHORS**

- BUILDING ANCHORS SHALL BE "MOBILE HOME" TYPE HP-1 SINGLE HELIX EYE AUGER ANCHORS BY HOME PRIDE OF BRISTOL, VA. OR EQUIVALENT. AVERAGE HOLDING STRENGTH IS NOT LESS THAN 4,725 LBS.
- ANCHORING SYSTEM TO GROUND PER LOCAL BUILDING CODE (BY DEALER). LOCATE ANCHORS PER TABLE 4A OR 4B.
- THREADED ROD WITH EYEBOLTS SHALL BE PLACED THRU THE BOTTOM PLATE (FLOOR SYSTEM) AND ATTACHED TO ANCHOR. THESE CAN BE EXTENDED WITH THREADED ROD (OR STRAPS WITH EQUAL OR GREATER STRENGTH) FOR ELEVATED PORTIONS OF SHEDS ON LEVELING BLOCKS.

SHED WIDTH	LW*	UPLIFT (PLF)	END ANCHOR**	MAX. INTERIOR SPACING**
13'-8"	7.00	243	0'-0" TO 3'-0"	10'-0"
11'-8"	6.00	208	0'-0" TO 3'-0"	10'-0"
10'-0"	5.00	174	0'-0" TO 3'-0"	10'-0"
8'-0"	4.00	138	0'-0" TO 3'-0"	10'-0"
6'-0"	3.00	104	0'-0" TO 3'-0"	10'-0"

SHED WIDTH	LW*	UPLIFT (PLF)	END ANCHOR**	MAX. INTERIOR SPACING**
20'-0"	10.00	400	0'-0" TO 3'-0"	5'-0"

\* LOAD WIDTH UPLIFT ON RUNNER  
 \*\* LOCATION FROM END WALL OF AUGER ANCHOR  
 \*\*\* MAXIMUM SPACING BETWEEN ANCHORS



**NOTES**

- ANCHOR SPACING IS DESIGNED AS PER ASCE-7
- ALL MEASUREMENTS ARE CENTER-TO-CENTER
- THE MINIMUM NUMBER OF ANCHORS PER SHED IS (4). (1) ANCHOR PER EACH CORNER. ADDITIONAL INTERIOR ANCHORS ARE REQUIRED IF SPACING IS MORE THAN 10'-0" BETWEEN ANCHORS.
- ANCHORS SHALL BE ON SIDE WALLS EXCEPT WHEN THE SHED IS PLACED NEXT TO AN EXISTING BUILDING; IN WHICH ANCHORS CAN BE PLACED ON THE END WALLS AS CLOSE TO THE SIDE AS POSSIBLE.

**GENERAL NOTES:**

- FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION.
- THIS BUILDING IS EXEMPT FROM THE FBC ENERGY CONSERVATION CODE PER SECTION 1015.22
- REFER TO TIE-DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE.



Digitally signed by  
 Julio Orbegoso  
 Date: 2021.02.01  
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SHED WIDTH	UPLIFT (PLF)	ANCHOR SPAC'G
20'-0"	400	3'-6"
13'-8"	280	3'-6"
11'-8"	240	3'-6"
10'-0"	200	3'-6"
8'-0"	160	3'-6"
6'-0"	120	3'-6"

SHED WIDTH	X1	X2	X3
13'-8"	1'-10 1/2"	1'-10 1/2"	1'-10 1/2"
11'-8"	2'-8"	6'-4"	-
10'-0"	1'-7"	6'-10"	-
8'-0"	9"	6'-6"	-
6'-0"	10"	51"	-

\* VALUES ARE FROM END OF JOIST TO CENTERS OF (2) 4"x4" ANCHORS.  
 NOTES:  
 1. HOLLOW OR SOLID CONCRETE BLOCKS (8"x8"x16") MAY BE STACKED ON PADS FOR HIGH SETS UP TO 48" WITHOUT REINFORCING.  
 2. ABS PADS REQUIRED ON 11'-8" AND 13'-8" WIDE SHEDS ONLY.

TYPE	PAD DIMS	MAX LOAD*	MATERIAL
I	2"x8"x16"	1778 LBS	CONC. BLOCK QUALITY CEMENT AND SAND MIX
II	4"x8"x16"	3500 LBS	CONC. BLOCK QUALITY CEMENT AND SAND MIX
III	16"x16"	3950 LBS	ABS PLASTIC PADS
IV	8"x8"x16"	1900 LBS	CONC. BLOCK QUALITY CEMENT AND SAND MIX

\* BASED ON 2000 PSF SOIL BEARING CAPACITY (2000 PSF IS TYPICAL)  
 NOTES:  
 1. HOLLOW OR SOLID CONCRETE BLOCKS (8"x8"x16") MAY BE STACKED ON PADS FOR HIGH SETS UP TO 48" WITHOUT REINFORCING.  
 2. ABS PADS REQUIRED ON 11'-8" AND 13'-8" WIDE SHEDS ONLY.

CODE VERSION	FBC, 7TH EDITION (2020), ASCE-7-16
MANUFACTURER	SUPERIOR SHEDS
BUILDING TYPE	MANUF. SHED
CONSTRUCTION	V-B
CODE VERSION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	STORAGE
ALLOWABLE NO. OF STORIES	1
BASIC WIND SPEED	180 MPH (VULT)
EXPOSURE	C
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEF.	+/- 0.18
IMPORTANCE FACTOR	1.15
ROOF DEAD LOAD	10 PSF
ROOF LIVE LOAD	20 PSF OR 300LBS
FLOOR DEAD LOAD	8 PSF
FLOOR LIVE LOAD	75 PSF / 125 PSF
"R" RATING (WALL, FLOOR, ROOF)	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	LESS THAN 720 S.F.

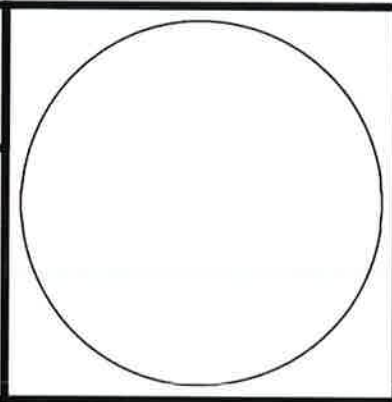
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SHED WIDTH	TYPE	LW* (PLF)	PAD					
			END PAD	MAX. SPACING	END PAD	SIDE RUNNER PAD TYPE	INTERIOR PAD	SIDE RUNNER PAD TYPE
13'-8"	SW/DW	4.15/332	0" TO 6"	6'-0"	1936 LB	I, II, III, OR IV	1879LB	I, II, III, OR IV
11'-8"	SW/DW	6.00/480	0" TO 6"	6'-0"	2558 LB	I, II, III, OR IV	2558LB	I, II, III, OR IV
10'-0"	SW/DW	5.00/400	0" TO 6"	6'-0"	2400 LB	I, II, III, OR IV	2400LB	I, II, III, OR IV
8'-0"	SW	4.00/320	0" TO 6"	6'-0"	2029 LB	I, II, III, OR IV	2133LB	I, II, III, OR IV
6'-0"	SW	3.00/240	0" TO 6"	6'-0"	1658 LB	I, II, III, OR IV	1866LB	I, II, III, OR IV

\* LOAD WIDTH OF UPLIFT ON RUNNER  
 NOTES:  
 1. PAD SPACING IS END TO CENTER OF PAD  
 2. PADS OTHER THAN END PADS SPACING IS CENTER TO CENTER  
 3. USE SAME MAXIMUM SPACING FOR INTERIOR SPACING

SHED STRUCTURE FOR:  
**SUPERIOR SHEDS**  
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 COLE@MODULARPLANS.CO

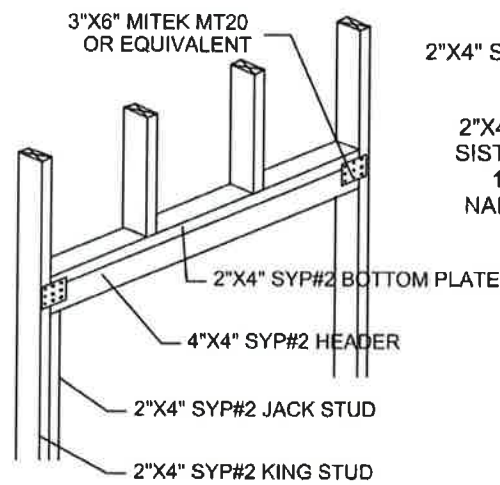


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JOB:	SS FOUNDATION
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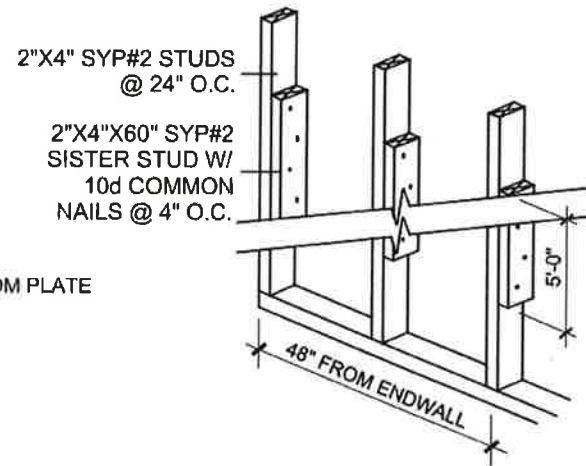


SIDE WALL HEADER SCHEDULE (180C)			
SIZE	BUILDING WIDTH UP TO 14'-0"		FASTENERS W/ STRAP SIZE
	MAX. SPAN	NJ (B)	
1-4"x4"	6'-0"	0	3 - 3" X 0.131" NAILS
4"x4" W2"x4"	8'-0"	1	6 - 3" X 0.131" NAILS

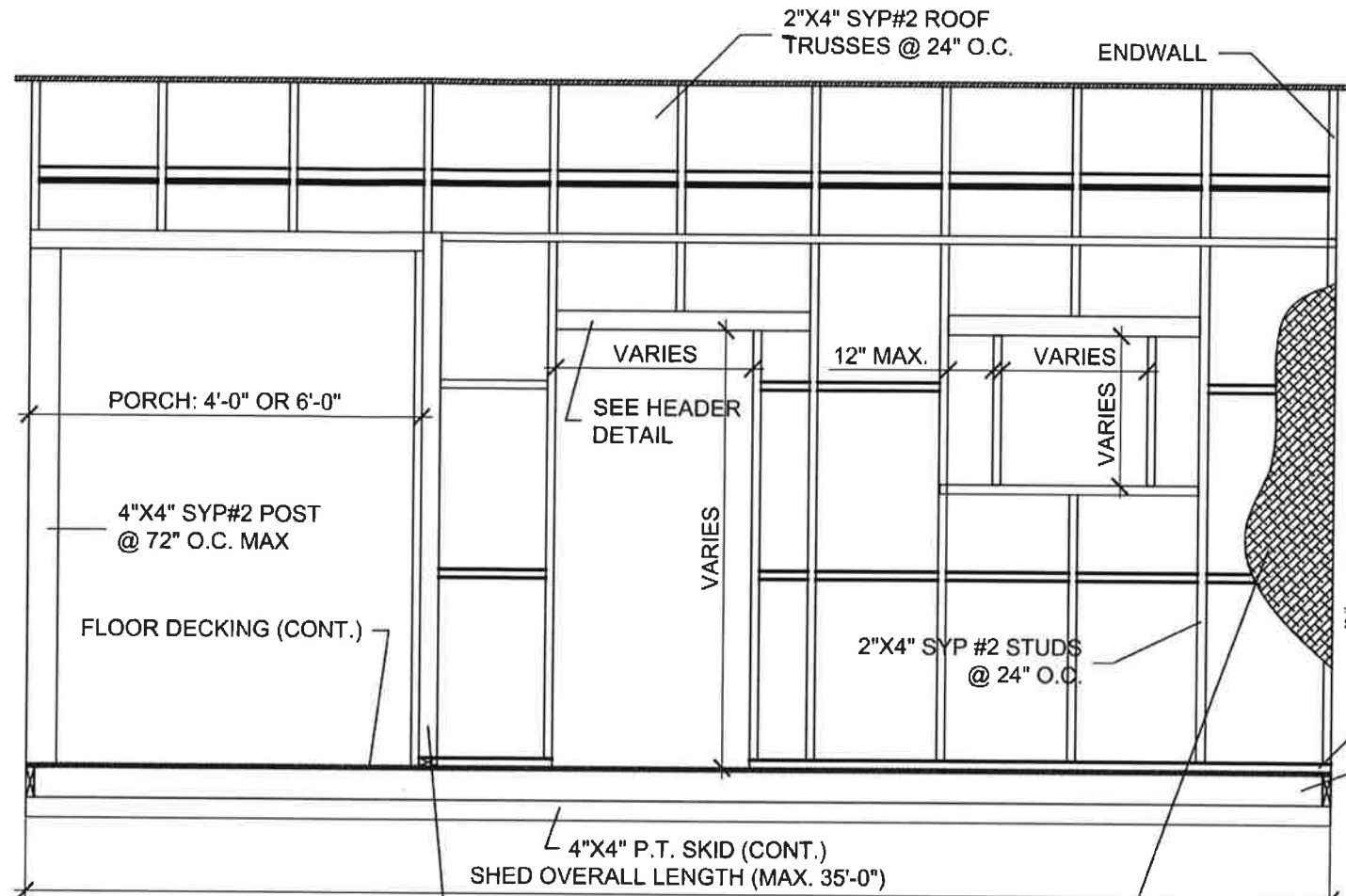
- A. TABULATED VALUES ARE FOR NO. 2 GRADE SPRUCE-PINE-FIR LUMBER.
- B. NJ - NUMBER OF JACK STUDS REQUIRED TO SUPPORT EACH END.
- C. WINDOW HEADER FOR WINDOW OPENINGS THAT HAVE MORE THAN 50% COMBINED STUD WALL ABOVE AND BELOW, OTHERWISE USE DOOR HEADER SCHEDULE.
- D. SEE HEADER DETAILS FOR ALTERNATE LAYOUTS, I.E. 2-2"x2" OR 4"x4" P.T.
- E. THE HEADER CAN BE ATTACHED TO THE TOP PLATE AND THUS HAVE THE COMBINED STRENGTH EQUIVALENT AND USE THE MAXIMUM SPAN STATED.



**4"x4" HEADER DETAIL**  
SCALE: NTS



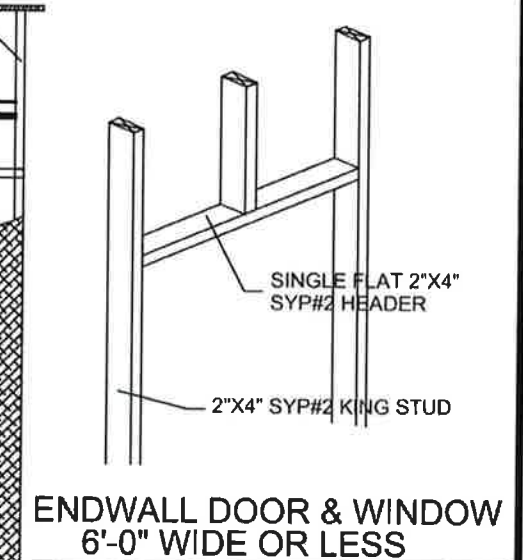
**SISTER STUD DETAIL**  
SCALE: NTS



ALL STUDS SECURED TO SOLE PLATE AND FLOOR FRAMING W/ SIMPSON H8 TWIST STRAP w/ 4 -10d NAILS ON TOP INTO STUD, SECURING INTO RIM JOIST ON BOTTOM W/ 4-10d NAILS (TYPICAL)

**A**  
**A2** **SIDEWALL FRAMING**  
SCALE: 3/8" = 1'-0"

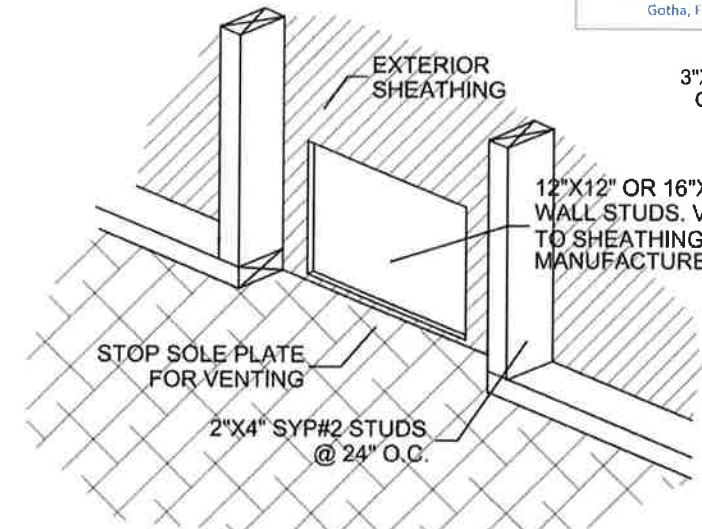
NOTE: WALL FRAMING MEMBERS ARE CONTINUOUS FROM FOUNDATION SILL TO ROOF AND SECURED TO ENSURE A CONTINUOUS LOAD PATH. WHERE WALL MEMBERS ARE NOT CONTINUOUS, SHEET METAL CLAMPS, TIES, OR CLIPS SHALL BE FORMED OF GALVANIZED STEEL OF NOT LESS THAN 0.040" NOMINAL THICKNESS.



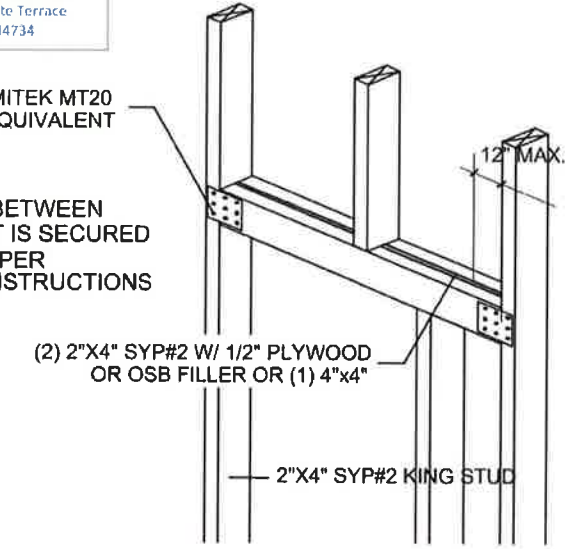
**ENDWALL DOOR & WINDOW**  
6'-0" WIDE OR LESS  
SCALE: NTS

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Universal Engineering Sciences

- WALL SHEATHING OPTIONS:
- 7/16" OSB OR SHEATHING EQUIV. OR BETTER
  - CORRUGATED ALUMINUM
  - D4 ALUMINUM SIDING
  - 1/2" OR 5/8" T1-11 SIDING
  - JAMES HARDIE PANEL OR EQUIV.
  - JAMES HARDIE HORIZ. SIDING LAP OR EQUIV.
  - 29 GA CORRUGATED STEEL METAL SIDING (RUN ANY DIRECTION)
  - THERMO-PLY BLUE (0.135 THICK) W/ VINYL SIDING



**OPTIONAL HYDROVENT DETAIL**  
SCALE: NTS



**SIDEWALL DOOR & WINDOW (TYP)**  
SCALE: NTS

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SMP-51, SMI-79, ICC 518504D  
10649 Oakview Pointe Terrace  
Gotha, Florida 34734

**COUNTRY INN SHED**

**CONSULTING ENGINEER**  
JULIO ORBEGOSO  
FLORIDA  
PE LICENSE #38769

MODULAR STRUCTURE FOR:  
**SUPERIOR SHEDS**  
(877) 439-7433  
2323 S. VOLUSIA AVE. ORANGE CITY, FL 32763

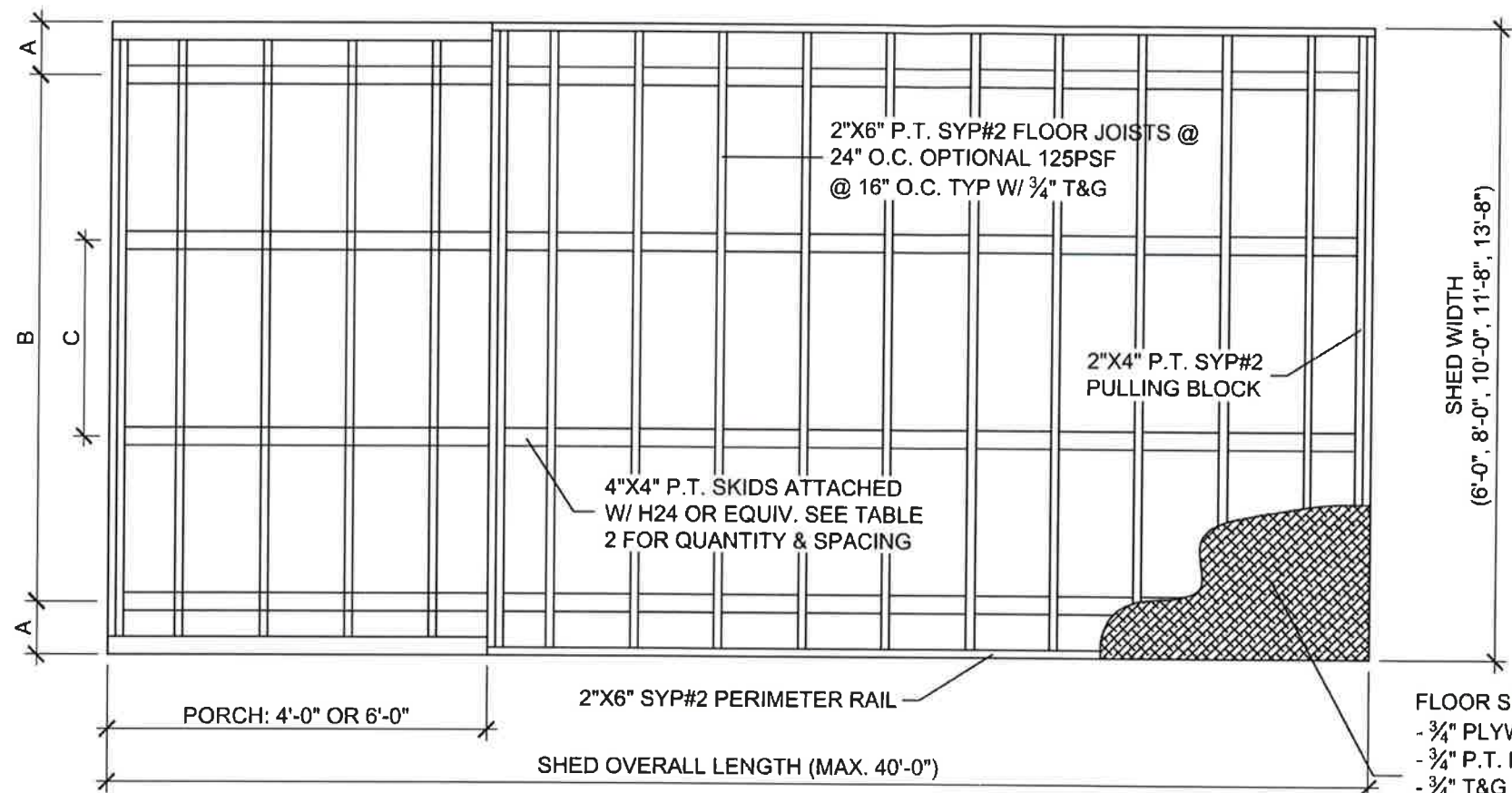
MODULAR PLANS DESIGN, CO.  
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LAKELAND, FLORIDA 33813  
OFFICE 863 688 1054  
FAX 863 688 7118  
COLE@MODULARPLANS.CO.COM

Julio Orbegoso  
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09:06:20  
-05'00'

DATE: 01-19-2021  
DRAWN: R.L.G.  
JOB: SS20-CI-NONH

SHEET NO.  
**A2**





SKID RUNNER SPACING*					
WIDTHS	6'-0"	8'-0"	10'-0"	11'-8"	13'-8"
A	0'-10"	0'-9"	1'-7"	2'-8"	1'-10.5"
B	51"	6'-6"	6'-10"	6'-4"	1'-10.5"
C	-	-	-	-	1'-10.5"

\*VALUES ARE FROM END OF JOIST TO CENTERS OF (2) 4"X4" SKIDS ONLY. 13'-8" WIDE SHEDS HAVE (4) SKIDS.



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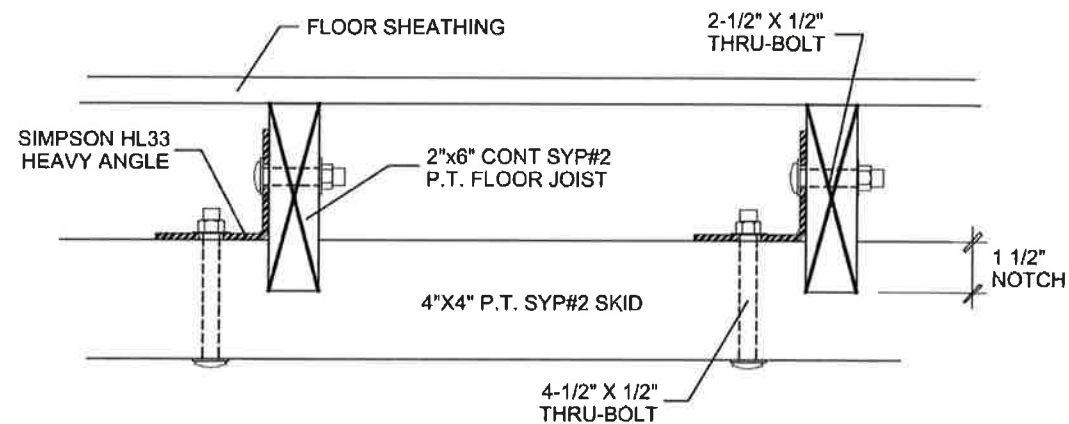
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10649 Oakview Pointe Terrace  
Gotha, Florida 34734

**FLOOR FRAMING PLAN**

SCALE: 3/8" = 1'-0"

FLOOR SHEATHING :  
- 3/4" PLYWOOD (MINIMUM)  
- 3/4" P.T. PLYWOOD  
- 3/4" T&G  
- 3/4" P.T. T&G

NOTE: FLOOR SHEATHING TO BE INSTALLED W/ 10d COMMON NAILS @ 6" O.C. ON EDGE AND 16" O.C. IN FIELD UNLESS OTHERWISE SPECIFIED PER MANUFACTURERS SPECS



**FLOOR JOIST TO SKID CONNECTION**

SCALE: NTS

COUNTRY INN SHED

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FLORIDA  
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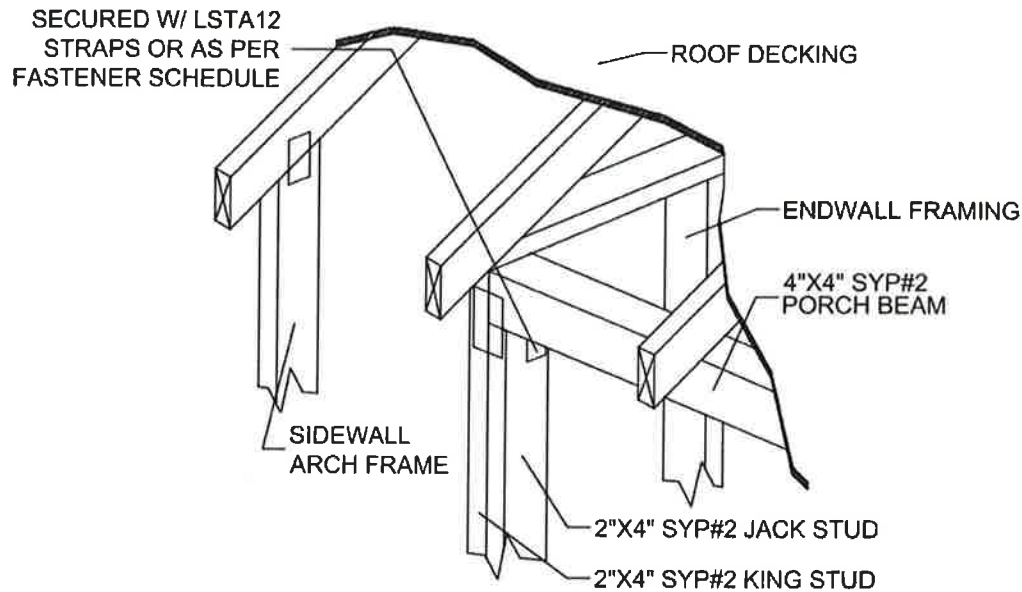
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Professional Engineer Seal for Julio Orbegoso, State of Florida, License No. 58769.

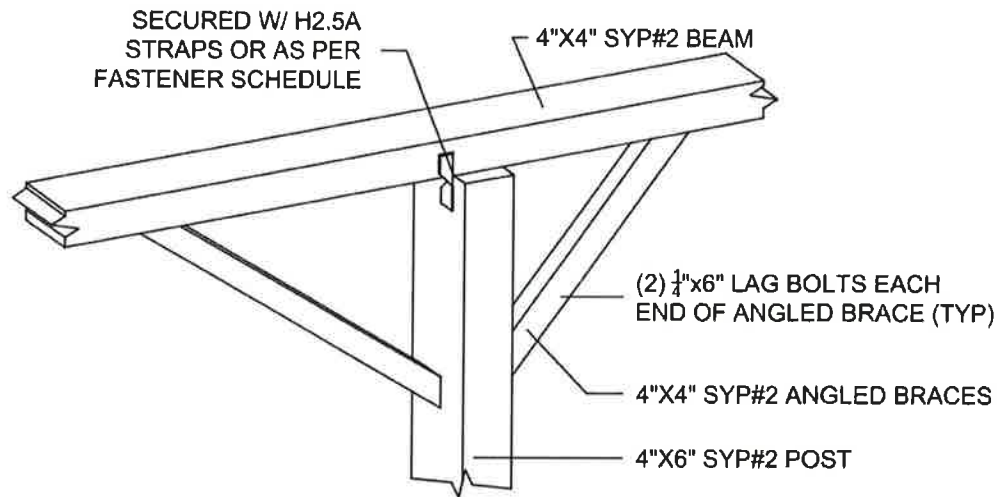
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SHEET NO. **A3**



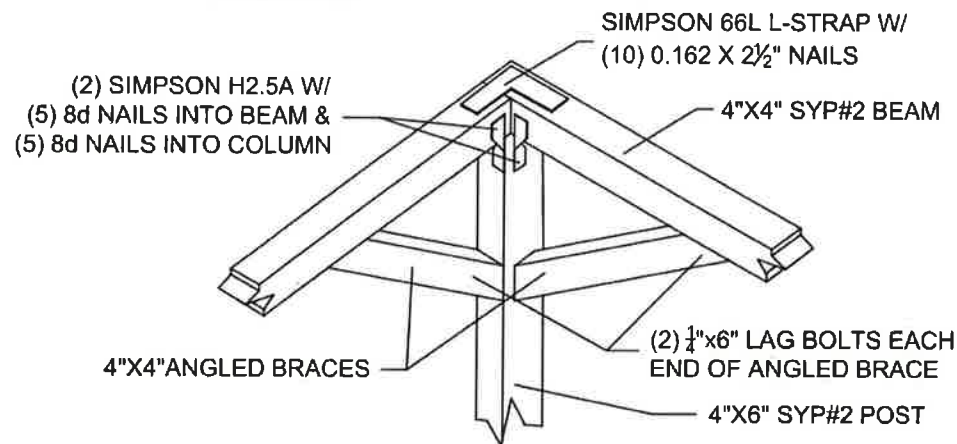
**PORCH TO SHED ENDWALL CONNECTION**

SCALE: 3/8" = 1'-0"



**INTERIOR POST DETAIL**

SCALE: 3/8" = 1'-0"

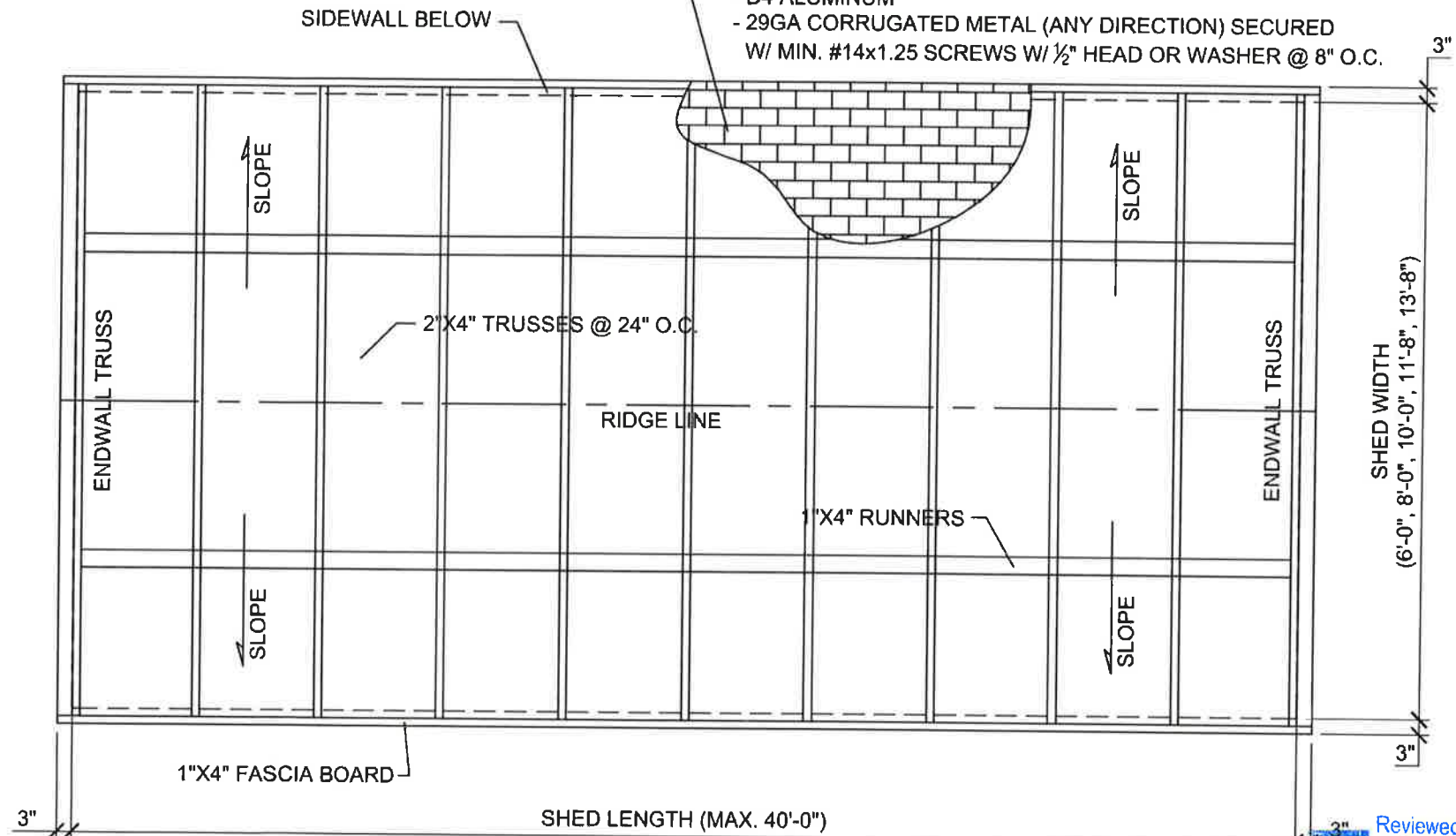


**PORCH CORNER POST**

SCALE: 3/8" = 1'-0"

NOTE: INSTALLATION FOR ALL ROOF SHEATHING OPTIONS AS PER MANUFACTURER INSTRUCTIONS

ROOF SHEATHING OPTIONS:  
 - FIBERGLASS SHINGLES, 20 YEARS CLASS 'A' OVER #16 FELT OVER 7/16" OSB, 1/2" OSB, OR 1/2" CDX PLYWOOD  
 - D4 ALUMINUM  
 - 29GA CORRUGATED METAL (ANY DIRECTION) SECURED W/ MIN. #14x1.25 SCREWS W/ 1/2" HEAD OR WASHER @ 8" O.C.



**ROOF FRAMING PLAN**

SCALE: 3/8" = 1'-0"

Reviewed for Code Compliance  
 Universal Engineering Sciences

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**COUNTRY INN SHED**

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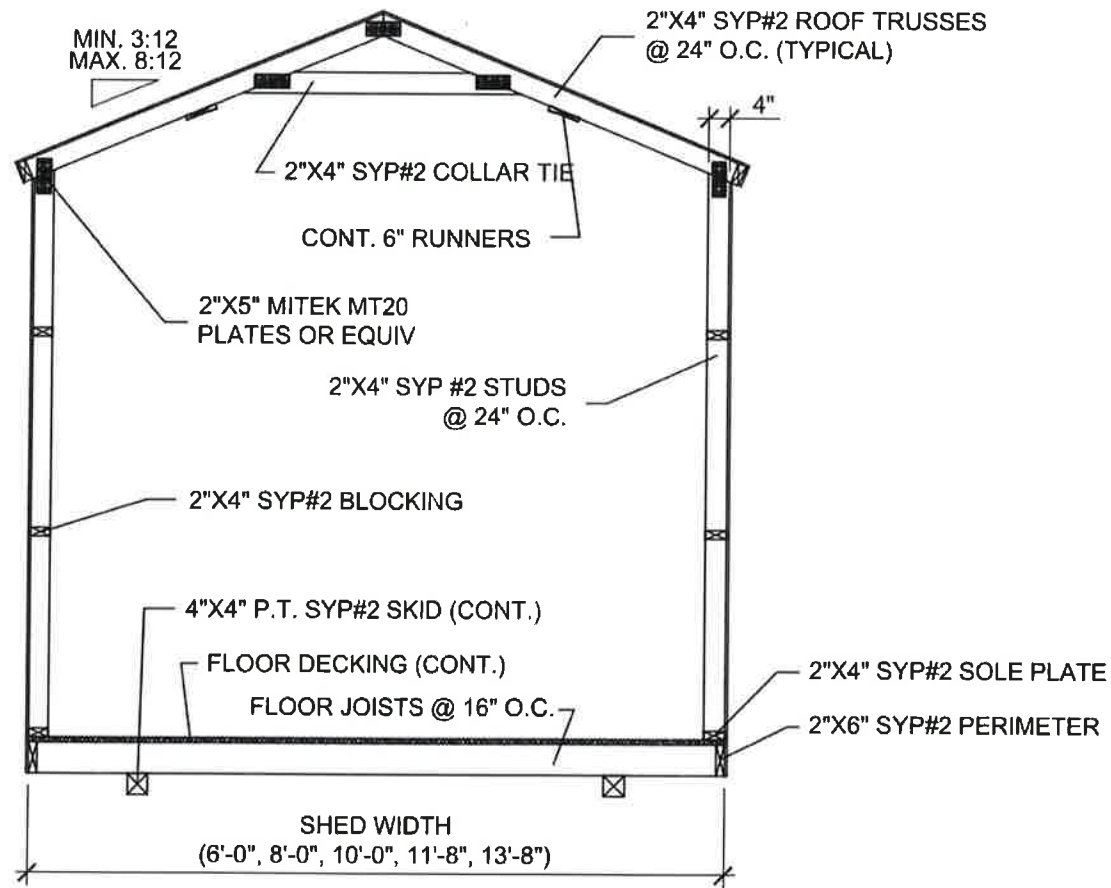
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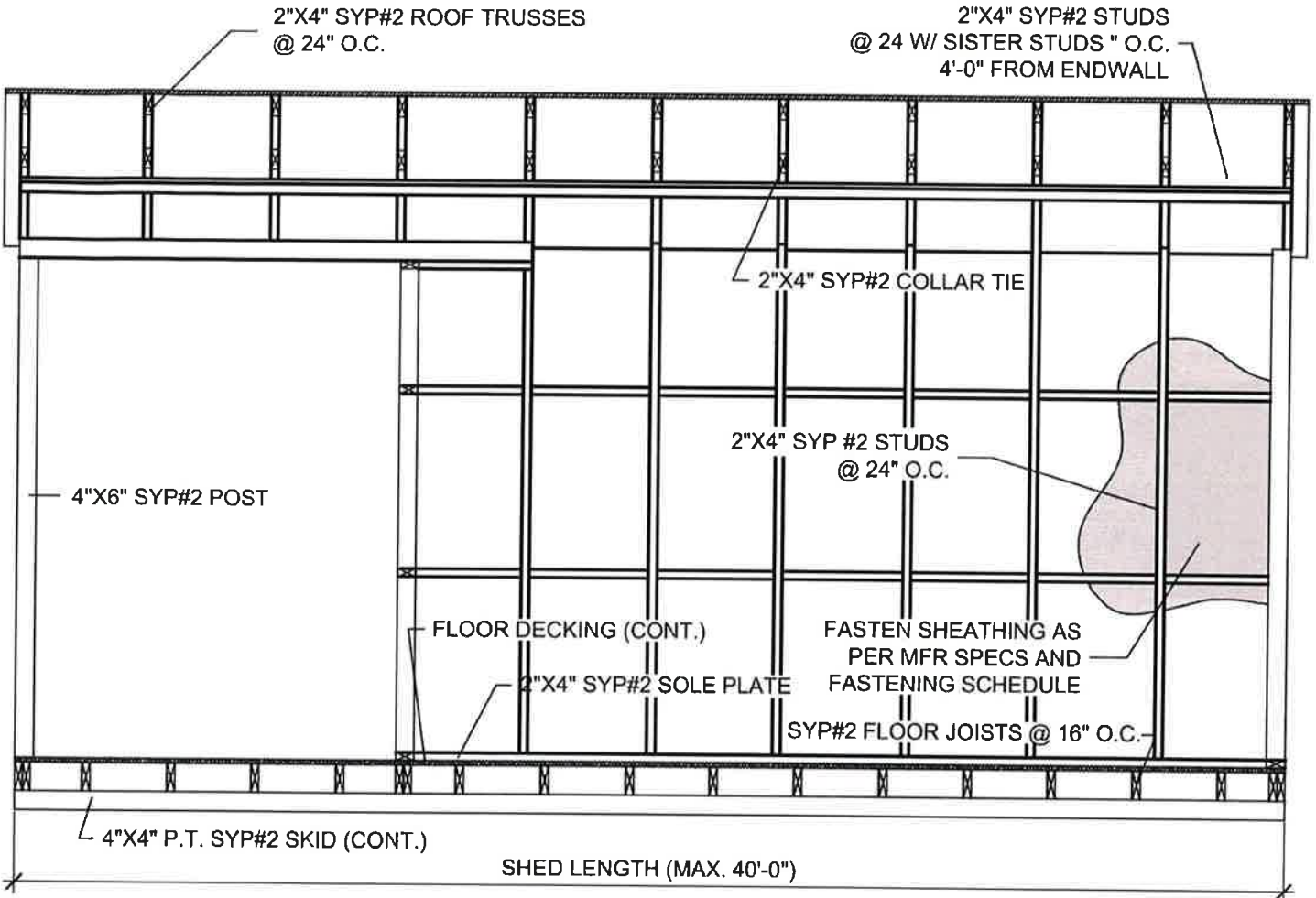
SHEET NO. **A4**

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**A**  
A5 **CROSS SECTION 'A'**  
SCALE: 3/8" = 1'-0"



**B**  
A5 **CROSS SECTION 'B'**  
SCALE: 3/8" = 1'-0"

NOTE:  
WALL FRAMING MEMBERS ARE CONTINUOUS FROM FOUNDATION SILL TO ROOF AND SECURED TO ENSURE A CONTINUOUS LOAD PATH. WHERE WALL MEMBERS ARE NOT CONTINUOUS, SHEET METAL CLAMPS, TIES, OR CLIPS SHALL BE FORMED OF GALVANIZED STEEL OF NOT LESS THAN 0.040" NOMINAL THICKNESS.

NOTE:  
2"X4" STUDS TO BE Fb = 1200 PSI OR GREATER



**COUNTRY INN SHED**

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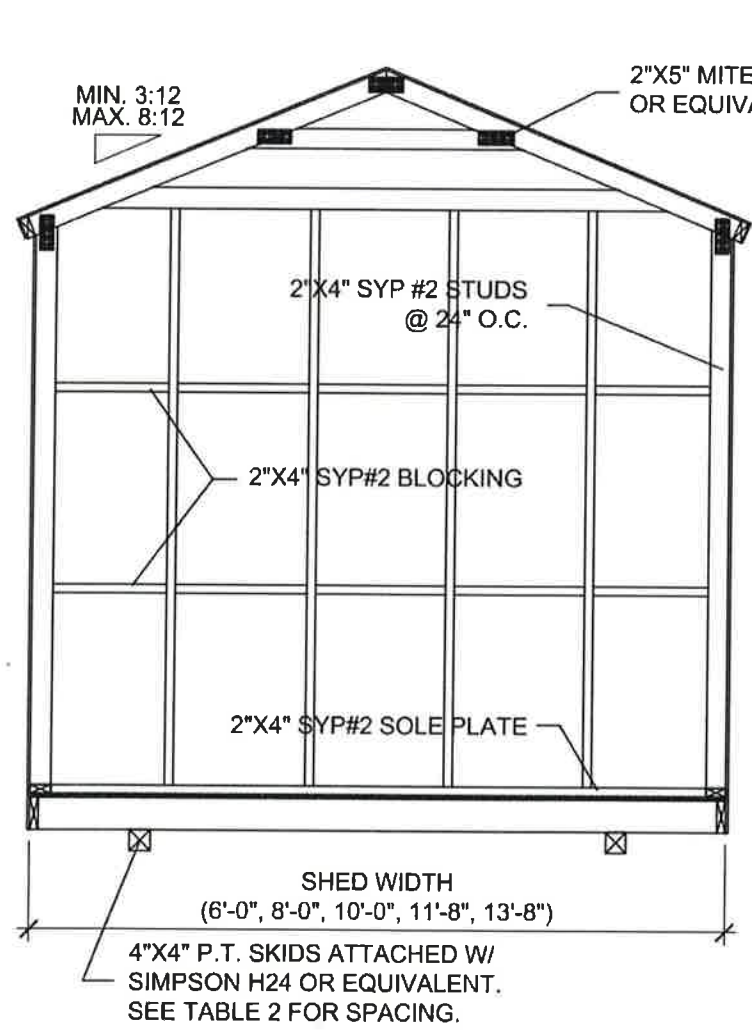
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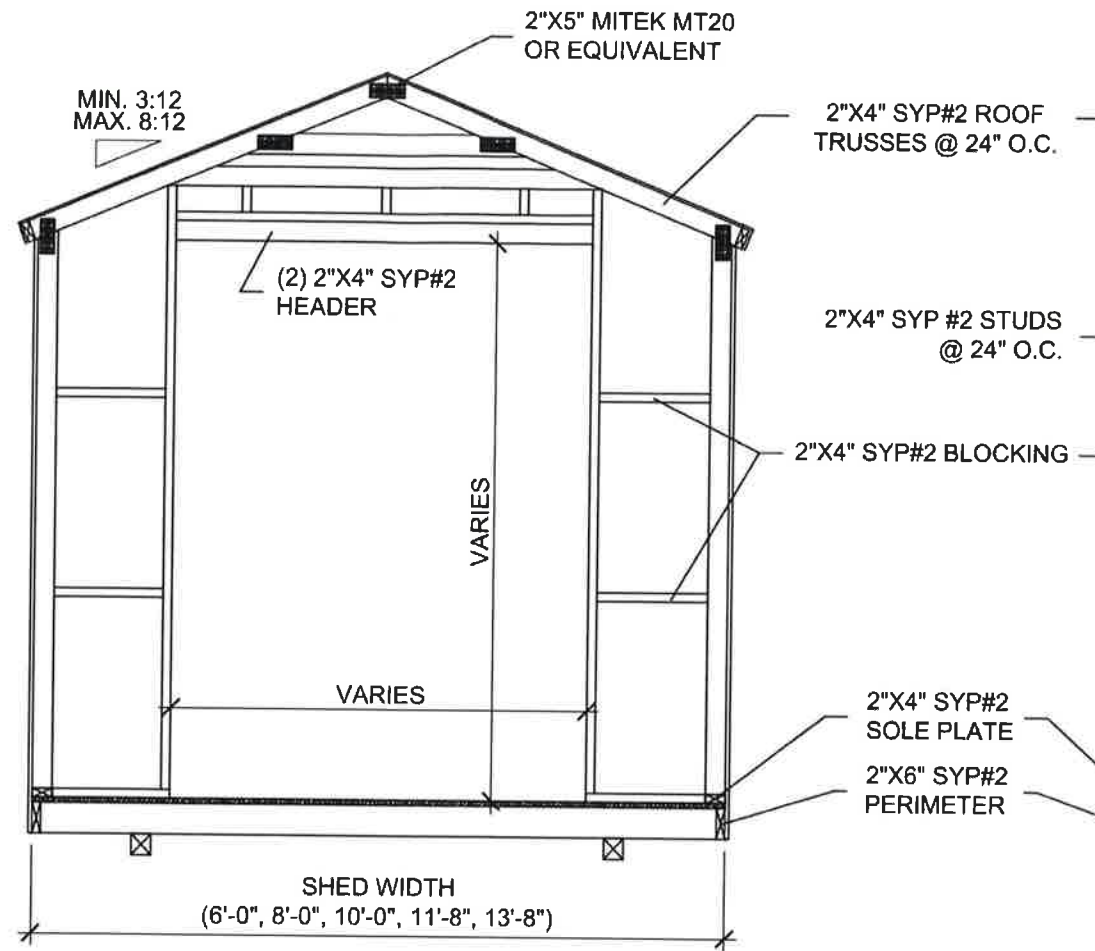
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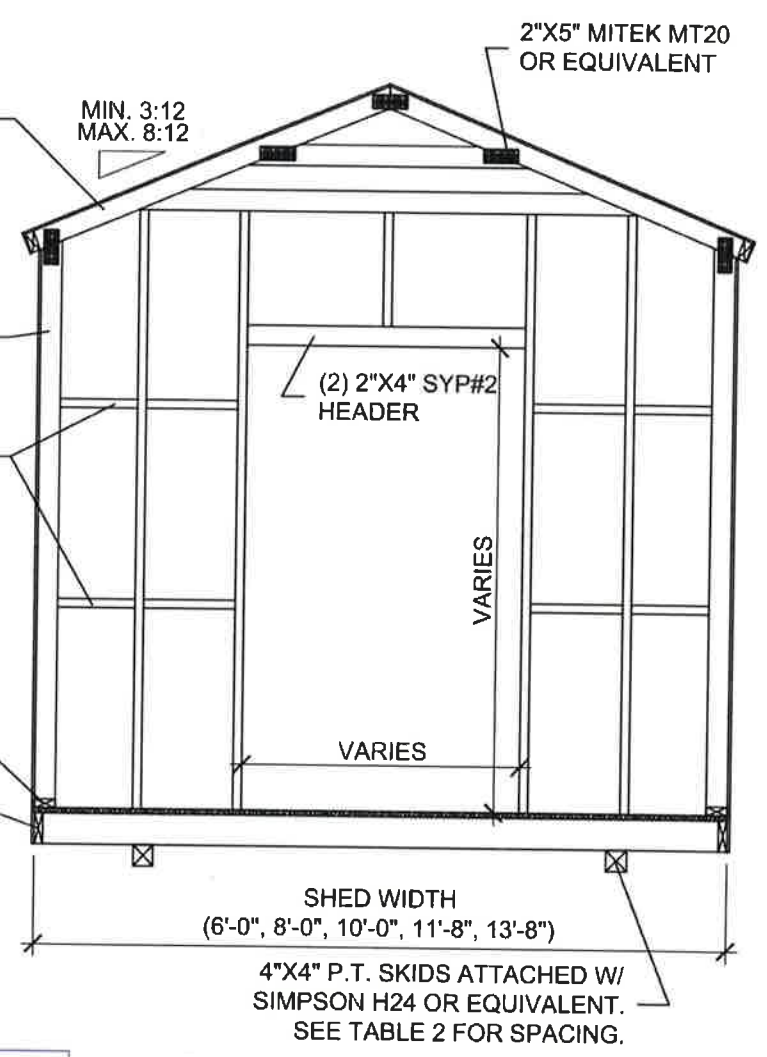




**A**  
**A6** ENDWALL FRAMING  
SCALE: 3/8" = 1'-0"



**B**  
**A6** ENDWALL FRAMING  
SCALE: 3/8" = 1'-0"



**B**  
**A6** ENDWALL FRAMING  
SCALE: 3/8" = 1'-0"

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STRUCTURAL ENGINEERS  
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Reviewed for Code Compliance  
Universal Engineering Sciences

END WALL HEADER SCHEDULE (180C)			
SIZE (D)	MAX. SPAN	NJ (B)	FASTENERS W/O STRAP (EACH END)(C)
1-2"X4"	6'-0"	0	4 - 3" X 0.131" NAILS
2-2"X4" (C)	9'-0"	0(D)	6 - 3" X 0.131" NAILS

A. TABULATED VALUES ARE FOR NO. 2 GRADE SPRUCE-PINE-FIR LUMBER.  
B. NJ - NUMBER OF JACK STUDS REQUIRED TO SUPPORT EACH END.  
C. LAID FLAT.  
D. NO JACK STUDS, BUT 2x6 STUDS LAID FLAT.

NOTES:  
1. SEE FASTENER SCHEDULE FOR HARDWARE REQUIREMENTS.  
2. SEE HEADER SCHEDULE FOR ADDITIONAL INFORMATION.  
3. WINDOW HEADERS HAVE COMBINED 50% OR MORE WALL FRAMING ABOVE AND BELOW, OTHERWISE REFER TO DOOR HEADERS.

**COUNTRY INN SHED**

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SIMPSON STRONG DRIVE & STRAP - SD SCREW SCHEDULE						
	PART#/DESC	UPLIFT	WALL FASTENER	RAFTER FASTENER	PLATE FASTENER	
RAFTER	H1	435	-	6 - SD9x1.5"	4 - SD9x1.5"	
	H11Z	750	-	6 - SD10x2.5"	6 - SD10x2.5"	
	H2A	495	5 - SD9x1.5"	5 - SD9x1.5"	2 - SD9x1.5"	
	H2.5A	540	-	5 - SD9x1.5"	5 - SD9x1.5"	
	H2.5	410	5 - SD9x1.5"	5 - SD9x1.5"	-	
	H2.5T	545	5 - SD9x1.5"	5 - SD9x1.5"	-	
	H2A	495	7 - SD9x1.5"	5 - SD9x1.5"	-	
	H3	320	4 - SD9x1.5"	4 - SD9x1.5"	-	
	H4	280	4 - SD9x1.5"	4 - SD9x1.5"	-	
	H5	415	4 - SD9x1.5"	4 - SD9x1.5"	-	
	LTS-12	895	6 - SD9x1.5"	6 - SD9x1.5"	-	
	LTS-16	1075	6 - SD9x1.5"	6 - SD9x1.5"	-	
	LTS-18	1235	6 - SD9x1.5"	6 - SD9x1.5"	-	
	LTS-20	1215	6 - SD9x1.5"	6 - SD9x1.5"	-	
	MTS-12	895	7 - SD9x1.5"	7 - SD9x1.5"	-	
	MTS-16	1075	7 - SD9x1.5"	7 - SD9x1.5"	-	
	MTS-18	1255	7 - SD9x1.5"	7 - SD9x1.5"	-	
	MTS-20	1255	7 - SD9x1.5"	7 - SD9x1.5"	-	
	PORCH	PART#/DESC	UPLIFT	COLUMN FASTENER	RAFTER FASTENER	
		A21	-	2 - SD9x1.5"	2 - SD9x1.5"	
A23		-	4 - SD9x1.5"	4 - SD9x1.5"		
A33	-	4 - SD9x1.5"	4 - SD9x1.5"			
BTM PLATE	PART#/DESC	UPLIFT	WALL FASTENER	FLOOR FASTENER		
	LSTA-18	1235	7 - SD9x1.5"	7 - SD9x1.5"		
TIE-DOWNS	PART#/DESC	UPLIFT	WALL FASTENER	FLOOR FASTENER		
	ZOGA 1-1/4" WIDE	4725	7 - SD9x1.5"	-		
5/8"x30" ANCHOR	4300	-	-	-		

A. ONLY NEEDED ON ALUMINUM SHEATHING WALLS.  
B. HEADERS OVER 6' SPAN.

STRAP & FASTENER SCHEDULE *						
	PART#/DESC	UPLIFT	WALL FASTENER	RAFTER FASTENER	PLATE FASTENER	
RAFTER (B)	H1	400	-	6-8dx1.5"	4-8d	
	H11Z	750	-	6-10dx2.5"	6-16dx2.5"	
	H2A	495	5-8dx1.5"	5-8dx1.5"	2-8dx1.5"	
	H2.5A	535	-	5-8d	5-8d	
	H2.5	410	5-8d	5-8d	-	
	H2.5T	545	5-8d	5-8d	-	
	H2A	495	7-8dx1.5"	5-8dx1.5"	-	
	H3	320	4-8d	4-8d	-	
	H4	235	4-8d	4-8d	-	
	H5	265	4-8d	4-8d	-	
	LTS-12	620	6-10dx1.5"	6-10dx1.5"	-	
	LTS-16	620	6-10dx1.5"	6-10dx1.5"	-	
	LTS-18	620	6-10dx1.5"	6-10dx1.5"	-	
	LTS-20	620	6-10dx1.5"	6-10dx1.5"	-	
	MTS-12	860	7-10dx1.5"	7-10dx1.5"	-	
	MTS-16	860	7-10dx1.5"	7-10dx1.5"	-	
	MTS-18	860	7-10dx1.5"	7-10dx1.5"	-	
	MTS-20	860	7-10dx1.5"	7-10dx1.5"	-	
	PORCH	PART#/DESC	UPLIFT	COLUMN FASTENER	RAFTER FASTENER	
		A21	245	2 - 10dx1.5"	2 - 10dx1.5"	
A23		585	4 - 10dx1.5"	4 - 10dx1.5"		
A33	750	4 - 10d	4 - 10d			
BTM PLATE	PART#/DESC	UPLIFT	WALL FASTENER	FLOOR FASTENER		
	LSTA-18	1110	7 - 10d	7 - 10d		
HEADER (D)	PART#/DESC	UPLIFT	STUD FASTENER	HEADER FASTENER		
	TP-35	N/R	5-3"x0.131"	5-3"x0.131"		
HP40.11.80.81	4725	5-3"x0.131"	5-3"x0.131"			
TIE-DOWNS	PART#/DESC	UPLIFT	WALL FASTENER	FLOOR FASTENER		
	ZOGA 1-1/4" WIDE	4725	7-10dx1.5"	-		
5/8"x30" ANCHOR	4300	-	-	-		

\* ALL STRAPS CAN BE SUBSTITUTED WITH AN EQUIVALENT BRAND MEETING SAME STRENGTHS.  
B. RAFTER TIES TO STUD WALL TO BE AT EVERY CONNECTION FOR 24" O.C. & CAN EVERY OTHER FOR 16" O.C. BUT IS REQUIRED ON CORNERS AND STUDS ADJACENT TO CORNERS.  
C. ONLY NEEDED ON ALUMINUM & VINYL SHEATHING WALLS.  
D. HEADERS OVER 6'-0" SPAN.

FASTENING SCHEDULE (FBC TABLE 2304.10.1)					
CONNECTION	FASTENING	CONNECTION	FASTENING	CONNECTION	FASTENING
1. JOIST TO SILL OR GIRDER	3 - 8d COMMON (2 1/2" X 0.131") 3 - 3" 14 GAUGE STAPLES	TOENAIL	24 BUILT-UP GIRDER AND BEAMS	20d COMMON (4" X 0.192") AT 32" O.C. 3" X 0.131 NAILS AT 24" O.C. 3" 14 GAUGE STAPLES AT 24" O.C.	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
2. BRINGING TO JOIST	2 - 8d COMMON (2 1/2" X 0.131") 2 - 8d COMMON (2 1/2" X 0.131") 2 - 3" 14 GAUGE STAPLES	TOENAIL EACH END	25 2" PLANKS	16d COMMON (3 1/2" X 0.162")	AT EACH BEARING
3. 1"x6" SUBFLOOR OR LESS TO EACH JOIST	2 - 8d COMMON (2 1/2" X 0.131")	FACE NAIL	26 COLLAR TIE TO RAFTER	3 - 10d COMMON (3" X 0.148") MIN. 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
4. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST	3 - 8d COMMON (2 1/2" X 0.131")	FACE NAIL	27 JACK RAFTER TO HIP	3 - 10d COMMON (3" X 0.148") 4 - 3" X 0.131 NAILS 4 - 3" 14 GAUGE STAPLES	TOE NAIL
5. 2" SUBFLOOR TO JOIST OR GIRDER	2 - 16d COMMON (3 1/2" X 0.162")	BLIND AND FACE NAIL	28 ROOF RAFTER TO 2-BY RIDGE BEAM	2 - 16d COMMON (3 1/2" X 0.162") 3 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL
6. SOLE PLATE TO JOIST OR BLOCKING	16d (3 1/2" X 0.135") AT 16" O.C. 3" X 0.131 NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 12" O.C.	TYPICAL FACE NAIL	29 JOIST TO BAND JOIST	3 - 16d COMMON (3 1/2" X 0.135") 4 - 3" X 0.131 NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
SOLE PLATE TO JOIST AT BLOCKING AT BRACED WALL PANEL	3 - 16d COMMON (3 1/2" X 0.135") AT 16" O.C. 4 - 3" X 0.131 NAILS AT 16" O.C. 4 - 3" 14 GAUGE STAPLES AT 16" O.C.	BRACED WALL PANEL	30 LEDGER STRIP	3 - 16d COMMON (3 1/2" X 0.162") 4 - 3" X 0.131 NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL AT EACH JOINT
7. TOP PLATE TO STUD	2 - 16d COMMON (3 1/2" X 0.162") 3 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	END NAIL	31 WOOD STRUCTURAL PANELS AND PARTICLEBOARD (B) SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS 19/32" TO 3/4" 7/8" TO 1" 1 1/8" TO 1 1/4" 3/4" AND LESS 7/8" TO 1" 1 1/8" TO 1 1/4"	6" O.C. EDGES AND INTERMEDIATE, 4" O.C. AT COMPONENT AND CLADDING EDGE STRIP # ZONE 3 (REFER TO FIG. 30.5.1 OF ASCE 7)
8. STUD TO SOLE PLATE	4 - 8d COMMON (2 1/2" X 0.131") 4 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL	32 PANEL SIDING (TO FRAMING) (Q)	1/2" OR LESS 5/8"	6" O.C. EDGES AND INTERMEDIATE
9. DOUBLE STUDS	2 - 16d COMMON (3 1/2" X 0.162") 3 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	END NAIL	33 FIBERBOARD SHEATHING (C,O)	1/2" AND LESS 25/32"	6" O.C. EDGES AND INTERMEDIATE
10. DOUBLE TOP PLATES	16d (3 1/2" X 0.135") AT 16" O.C. 3" X 0.131 NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 8" O.C.	TYPICAL FACE NAIL	34 INTERIOR PANELING	1/4" 3/8"	6" O.C. EDGES AND INTERMEDIATE
DOUBLE TOP PLATES	8 - 16d COMMON (3 1/2" X 0.135") AT 16" O.C. 12 - 3" X 0.131 NAILS AT 10" O.C. 12 - 3" 14 GAUGE STAPLES AT 16" O.C.	LAP SPLICE	<p>A. COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED. B. NAILS SPACED AT 6 INCHES ON CENTER ON EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING. C. COMMON OR DEFORMED SHANK (6d - 2 1/2" x 0.113", 8d - 2 1/2" x 0.131", 10d - 3" x 0.148") D. COMMON (6d - 2" x 0.113", 8d - 2 1/2" x 0.131", 10d - 3" x 0.148") E. DEFORMED SHANK (6d - 2" x 0.113", 8d - 2 1/2" x 0.131", 10d - 3" x 0.148") F. CORROSION-RESISTANT SIDING (6d - 2 1/2" x 0.113", 8d - 2 1/2" x 0.131", 10d - 3" x 0.148") G. FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATHING. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED FOR NONSTRUCTURAL SHEATHING. H. CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIAMETER HEAD AND 1 1/2" LENGTH FOR 1/2" SHEATHING AND 1 3/4" LENGTH FOR SHEATHING. I. CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN OR 1" CROWN AND 1 1/4" LENGTH FOR 1/2" FOR 25/32" SHEATHING. J. CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN OR 1" CROWN AND 1 1/4" LENGTH FOR 1/2" FOR 25/32" SHEATHING. K. PANEL SUPPORTS AT 24" CASING OR FINISH NAILS SPACED AT 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS. L. FOR ROOF SHEATHING APPLICATIONS, 8d NAILS (2 1/2" x 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS. M. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16". N. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS. O. FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND SHEATHING. P. FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING. Q. SEE FASTENER ALTERNATE SCHEDULE. R. FASTENERS MUST BE INSTALLED WITH EVEN SPACING BETWEEN THEM ACROSS ATTACHING MEMBER.</p>		
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3 - 8d COMMON (2 1/2" X 0.131") 3 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	TOENAIL			
12. RIM JOIST TO TOP PLATE	8d COMMON (2 1/2" X 0.131") AT 6" O.C. 3" X 0.131 NAILS AT 6" O.C. 3" 14 GAUGE STAPLES AT 6" O.C.	TOENAIL			
13. TOP PLATES, LAPS AND INTERSECTIONS	2 - 16d COMMON (3 1/2" X 0.162") 3 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL			
14. CONTINUOUS HEADER, TWO PIECES	16d COMMON (3 1/2" X 0.162")	16" O.C. ALONG EDGE			
15. CEILING JOISTS TO PLATE	3 - 16d COMMON (3 1/2" X 0.131") 5 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL			
16. RIM JOIST TO TOP PLATE	4 - 8d COMMON (2 1/2" X 0.131")	TOE NAIL			
17. CEILING JOISTS, LAPS OVER PARTITIONS (SEE TABLE 2308.10.4.1)	3 - 16d COMMON (3 1/2" X 0.135") MIN. 4 - 3" X 0.131 NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL			
18. CEILING JOISTS TO PARALLEL RAFTERS (SEE TABLE 2308.10.4.1)	3 - 16d COMMON (3 1/2" X 0.135") MIN. 4 - 3" X 0.131 NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL			
19. RAFTER TO PLATE	3 - 8d COMMON (2 1/2" X 0.131") 3 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL			
20. 1" DIAGONAL BRACE TO EACH STUD & PLATE	2 - 8d COMMON (2 1/2" X 0.131") 2 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL			
21. 1"x8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2 1/2" X 0.131")	FACE NAIL			
22. WIDER THAN 1"x8" SHEATHING TO EA BEARING	3 - 8d COMMON (2 1/2" X 0.131")	FACE NAIL			
23. BUILT-UP CORNER SUDS	16d COMMON (3 1/2" X 0.162") MIN. 3" X 0.131 NAILS 3" 14 GAUGE STAPLES	24" O.C. 16" O.C. 16" O.C.			

ALTERNATE FASTENING SCHEDULE		
CONNECTION	FASTENING	
ALT 31-33. WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS	2" X 0.092" RING SHANK NAIL 5" FROM EDGE, 10" O.C.

PRODUCT OPTIONS				
PRODUCT CAT.	SUB. CATEGORY	MANUFACTURER	MODEL / DESC.	STATE OF FL APPROVAL #
PANEL WALLS	SIDING	JAMES HARDIE	5/16" CEDAR	FL# 13223.1
PANEL WALLS	SIDING	JAMES HARDIE	5/16" STUCCO	FL# 13223.2
PANEL WALLS	SIDING	ADVANCED ALUM.	0.19 GA	FL# 23138.1
PANEL WALLS	SIDING	PLY GEM	X	FL# X
PANEL WALLS	SIDING	ADVANCED ALUM.	X	FL# 31737.1
PANEL WALLS	SIDING	SIMPSON LUMBER	X	FL# X
EXTERIOR DOORS	SWINGING EXT	EAGAN	E1HDL	FL# 12820-R3
EXTERIOR DOORS	SWINGING EXT	CROFT	2009 LITE	FL# -
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL# 10953-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL# 15527-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL# 16082-R3
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL# 16153-R1
WINDOWS	HORIZ SLIDER	CROFT	HORIZ SLIDER	FL# 27202
WINDOWS	HORIZ SLIDER	CROFT	HORIZ SLIDER	FL# 28822
WINDOWS	HORIZ SLIDER	CROFT	HORIZ SLIDER	FL# 30848

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Professional Engineer  
No. 38709  
STATE OF FLORIDA

CONSULTING ENGINEER  
JULIO ORBEGOSO  
FLORIDA  
PE LICENSE #38769

DATE: 01-19-2021  
DRAWN: R.L.G.  
JOB: SS20-CI-NONH  
SHEET NO. A7

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