



City of Belle Isle Job Site Permit Card **SWIMMING POOL** 2021-04-001

Class: Residential

Site Address: 2231 Hoffner Ave- Belle Isle, FL 32809

Parcel Number: 18-23-30-5120-00-313. Municipality Belle Isle

INSPECTIONS CANNOT BE SCHEDULED IF A NOC IS REQUIRED FOR THIS PROJECT.

Description of Work: New Swimming Pool w/ Spa

Dimensions: 13' x 26'. **Deck Square Footage:** 665. **Deck Type:** Artistic

Issued: WATERLINE POOLS AND SPAS INC, NORBERG, V L

License # CPC044073 Contact # 321 363-7645

Payment/ Issued Date & Method: 9 / 28 / 2021

Picked up by _____ Sent by mail to the mailing address Emailed

Visa Master Card Amex Discover Check / Money Order#

7 4 9 8 | | | | | | | | | | | | | | | | | | | | | |

SCHEDULE THE ELECTRICAL & PLUMBING INSPECTIONS WITH THEIR CORRECT CODES INDICATED BELOW

BUILDING	INSPECTOR	DATE	COMMENTS
800 Pool Steel & Ground			
810 Pool Deck			
820 Pool Safety			
830 Final			

ELECTRICAL	INSPECTOR	DATE	COMMENTS
840 Rough/underground			
845 Equipotential Bond			
850 Pool Light (optional)			
860 Final			

PLUMBING	INSPECTOR	DATE	COMMENTS
870 Rough/underground			
880 Final			

PLEASE NOTE: In order to schedule any inspections, the PERMIT / plans-specs. must be issued and POSTED on the JOB SITE! THIS WILL AVOID ANY FAILED INSPECTIONS & RE-INSPECTION FEES. A permit expires in 6 months if approved inspections are not recorded /scheduled within that time frame. You are responsible for scheduling and keeping track all of your inspections -

☆ Inspection requests & inquiries regarding results are to be emailed to BIIDScheduling@UniversalEngineering.com; a confirmation email will be sent back to you upon scheduling. Next-Day Inspection requests must be made by 3:00 p.m. Please include the following requirements in your request:

- Project Address
- Corresponding Permit Number
- Type of Inspection (Please reference your permit card for inspection codes)
- Date of Inspection (If no date is specified, the inspection will be scheduled for the next business day)
- Contact Name
- Contact Phone Number
- Gate / Entry code (If applicable)
- AM, PM, or Any Time (We do our best to accommodate time requests but cannot guarantee an exact arrival)

Universal Engineering Sciences - 3532 Maggie Blvd., Orlando, FL 32811407-581-8161 *
 Fax 407-581-0313 www.universalengineering.com

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."



City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
Tel 407-581-8161 • Fax 407-581-0313 • www.universaleengineering.com

RECEIVED
MAR 31 2021
BY: [Signature]

Swimming Pool Permit Application

DATE: 1-16-21

PERMIT # 2021-04-001

PROJECT ADDRESS 2231 Haffner Ave Oak. 32809 Belle Isle, FL 32809 32812

PROPERTY OWNER NAME Steve Siegel PHONE NUMBER 407-230-7178

Parcel Id Number: 18-23-30-510-00-313
To obtain this information, please visit <http://www.coofl.org/Search/PromoSearch.aspx>

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCROACH INTO ANY EASEMENT OR REQUIRED SETBACK. Survey specific plan required to show compliance with zoning setbacks. **APPROVED**; see Page 2 of this application.

PLANNING & ZONING APPROVAL: 4/12/21 By: [Signature] DATE _____
City of Belle Isle

Note: this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions.

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)

Pool Dimensions: 18x26 Deck Square Footage: 665 Deck Type: Acrylic

Job Valuation: \$ 60,000.00 WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

• **REQUIRED:** Residential Swimming Pool Safety Affirmation form

Building Official: Alan Johnson Date: 4/26/2021
Verified Contractor's Licenses & Insurance are on file [Signature] Date: 3/9/21

Zoning Fee \$ 165.-
Building Fee \$ 261.-
Review Fee \$ 130.50
1% BCA/B Fee \$ 3.92
1.5% DCA Fee \$ 5.87
Total Permit Fee \$ 566.29

An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services within the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-230-7178.

contract through its code enforcement office. Failure to comply will result in a stop work order.

UICSA 7498
PAID
4/28/2021
15T1K 25
4x59 236
261 ÷ 2
130.50
391.50

145260



City of Belle Isle
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
 Tel 407-581-8161 • Fax 407-581-0313 • www.universalengineering.com

Swimming Pool Permit Application

To be completed as required by State Statute Section 713 and other applicable sections.

Owner's Name Steve Siegel PERMIT # 2021-04-001
 Owner's Address 2231 Haffner Ave. Orlando, FL 32809

License Holder Name <u>Vic Wansley</u>	Company Name <u>Waterline Pools & Spas, Inc</u>
License # <u>CPC 044073</u>	Company Address <u>5605 HANSEL AVE</u>
Contact Phone/Cell <u>Adam Coymen - 407-375-0602</u>	City, State, ZIP <u>ORL 32809</u>
Contact Email <u>adam@waterlinepoolsandspas.com</u>	Contact Fax <u>-</u>

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations (www.floridabuilding.org) and City Ordinances (www.municode.com) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ELECTRICAL, PLUMBING, GAS, SCREEN ENCLOSURES, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner Signature [Signature]
 The foregoing instrument was acknowledged before me this 1/11/21
 by Steve J. Siegel who is personally known to me
 and who produced as identification and who did not take an oath.
 Notary as to Owner
 State of Florida
 County of Orange
 Notary Public State of Florida
 Addison Coymen
 My Commission HH 025564
 Expires 07/30/2024

Contractor Signature [Signature]
 COMPANY NAME Waterline Pools & Spas, Inc
 The foregoing instrument was acknowledged before me this 1/11/21
 by Vic Wansley who is personally known to me
 and who produced as identification and who did not take an oath.
 Notary as to Owner
 State of Florida
 County of Orange
 Notary Public State of Florida
 Addison Coymen
 My Commission HH 025564
 Expires 07/30/2024

Impervious Surface Ratio Worksheet
 Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per City Code, Section 50-74: Impervious Surface Ratio

- Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).
 Total Lot Area 15,460 X 0.35 =
 Allowable Impervious Area (BASE) 5411.00ft²
- Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc.
 - House 3344ft²
 - Driveway 1,56ft²
 - Walkway 1,558ft²
 - Accessory Buildings 80ft²
 - Pool & Spa 297ft²
 - Deck & Patio 690ft²
 - Other 167ft²
 Actual Impervious Area (AIA) 7301ft²
- If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.
- If AIA is greater than BASE, then onsite retention must be provided.

Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed

THIS INSTRUMENT PREPARED BY:
Name: Adam Coyman
Address: 5605 Hansel Ave Orlando 32809

DOCM 20210145221
03/12/2021 03:09:43 PM Page 1 of 1
Rec Fee: \$10.00
Phil Diamond, Comptroller
Orange County, FL
NB - Ret To: KERI GYNN



NOTICE OF COMMENCEMENT

Permit Number: _____

Parcel ID Number: 18-23-30-5120-00-313

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

- DESCRIPTION OF PROPERTY:** (Legal description of the property and street address if available)
See Property Appraisal: H LIVINGSTONS SUB B/33 BEG AT INT OF WLY RW OF HOFFNER AVE
2231 Hoffner Ave
- GENERAL DESCRIPTION OF IMPROVEMENT:**
Install In Ground Gunite Swimming Pool
- OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:**
Name and address: Steven J Siegler, 2231 Hoffner Ave Belle Isle, FL 32809-3533
Interest in property: Owner
Fee Simple Title Holder (if other than owner listed above) Name: _____
Address: _____
- CONTRACTOR:** Name: Waterline Pools & Spas, Inc Phone Number: 407-339-3100
Address: 5605 Hansel Ave Orlando 32809
- SURETY** (If applicable, a copy of the payment bond is attached): Name: _____
Address: _____ Amount of Bond: _____
- LENDER:** Name: Ab Phone Number: _____
Address: _____
- Persons within the State of Florida Designated by Owner upon whom notice or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes.**
Name: Ab Phone Number: _____
Address: _____
- In addition, Owner designates _____ of _____
to receive a copy of the Lior's Notice as provided in Section 713.13(1)(b), Florida Statutes. Phone number: _____
- Expiration Date of Notice of Commencement (The expiration is 1 year from date of recording unless a different date is specified) _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS STATED IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Steven J Siegler
Signature of Owner or Lessee or Owner's or Lessee's Authorized Officer/Director/Partner/Manager (Print Name and Provide Signatory's Title/Office)

State of FLORIDA County of ORANGE

The foregoing instrument was acknowledged before me this 11 day of JAN, 20 21

by Steven J Siegler Name of person making statement Who is personally known to me OR

who has produced identification type of identification produced: _____



[Signature]
Notary Signature

State of FLORIDA, County of ORANGE
I hereby certify that this is a true copy of the document as reflected in the Official Records
PHIL DIAMOND, COUNTY COMPTROLLER
BY: [Signature] D.C.
DATED: MAR 12 2021





Limited Power of Attorney

I hereby name and appoint Keri Quinn

To be my lawful attorney in fact to act for me and apply for a swimming pool or spa permit.

Address to be performed at:

2231 Hoffman Ave Ori Fl 32809

Steve Seeger

And to sign my name and do all thing necessary to this appointment.

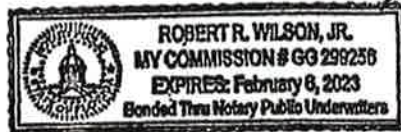
Victor L. Norberg
Waterline Pools and Spas, Inc.
State License #CPC044073

x [Signature]

Signature of License Holder
Victor L. Norberg, CPC044073

Sworn to and subscribed before me this 30th of March A.D. 2021, in the county of Orange, and in the state of Florida.

x [Signature]





32" CHANNEL DRAINS

CMP# 25506-32X-000*



Single or Multiple Drain Use
Submersed
Life: 7 Years
Floor or Wall
25506-32X

VGB-2008
COMPLIANT

Read and keep these instructions for future reference.

Always plumb and install all suction fittings according to all building codes that apply in your area.

WARNING: When using two or more suction fittings on a common suction line, suction must be separated by a minimum of 3 ft or they must be located on two different planes (i.e., one on floor and one on the wall).

WARNING: DO NOT locate suction outlets on seating areas or on backrests for such seating areas.

The maximum flow rating for this suction fitting with the center port plugged and outer ports open is 308 GPM (Floor) and 212 GPM (Wall) when using 2.5" plumbing and 268 GPM (Floor) and 192 GPM (Wall) when using 2" plumbing. The maximum flow rating for this suction fitting with the outer ports plugged and the center port open is 200 GPM (Floor) and 168 GPM (Wall) when using 2.5" plumbing and 184 GPM (Floor) and 176 GPM (Wall) when using 2" plumbing. This suction fitting is designed for installation on side wall or floor of hot tubs or pools. DO NOT adapt suction fitting to any pipe size smaller than ASTM 2" SCH 40 PVC. Suction fitting and fasteners should be observed for damage or tampering before each use.

Missing, broken, or cracked suction fittings shall be replaced before use. Loose suction fittings shall be reattached or replaced before use. Mount suction fittings on the walls, in the foot wells of hot tubs or pools. Do not mount directly under seats. Follow all winterizing instructions and recommendations of your pool and spa professional. Open area of the suction cover is 38.79 in².

Tools Needed: Phillips Head Screwdriver

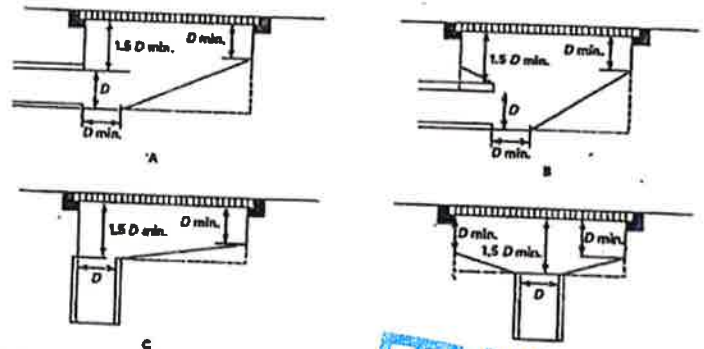
INSTALLATION INSTRUCTIONS

1. Install sump provided or construct sump per ANSI/APSP-16 Figure 2 (see below)
2. If mounting frame is provided, secure it in concrete or plaster.
3. Use mounting screws to secure cover to frame or sump.

NOTE: In the event that one suction outlet is completely blocked, the remaining suction outlet(s) serving that system MUST have a flow rating capable of the full flow of the pump(s) for the specific suction system.

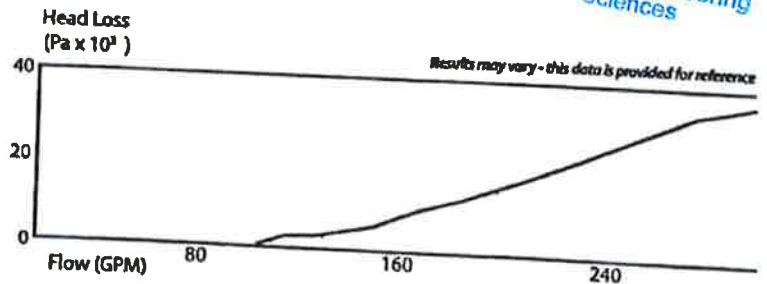
NOTE: Increasing size of the pump may increase flow rate of suction beyond rated safety limits causing entrapment or death.

CAUTION: Hair or body parts blocking the spa or pool suction may become trapped and held against the suction fitting. Entrapment against the suction fittings can result in drowning or other severe injury. Never sit on or lean up against suction fittings. Never exceed the maximum allowable flow rate stated on the suction fitting. The suction fitting and fasteners should be inspected for damage or tampering before each use of the facility. Missing, broken, or cracked suction fittings shall be replaced before using this facility. Loose suction fittings shall be reattached or replaced before use of this facility.



GENERAL NOTES:
 (A) D = inside diameter of pipe.
 (B) All dimensions shown are minimums.
 (C) A broken line (---) indicates suggested sump configuration.

Reviewed for Code Compliance
 Universal Engineering Sciences



REPLACEMENT PARTS	
25506-32X-000	25506-32X-100
Cover 25506-32X-020	Cover 25506-32X-020
Sump 25506-320-010	Frame 25506-320-110
Plug 25520-050-020	Screw 61008-042-022
Screw 61008-042-022	
Optional Debris Guard 25506-320-030	Optional Frame Support 25520-050-120

Replace all parts within 7 installed years or immediately upon evidence of degradation or damage.

* X CAN BE ANY DIGIT 0-9 TO DENOTE COLOR

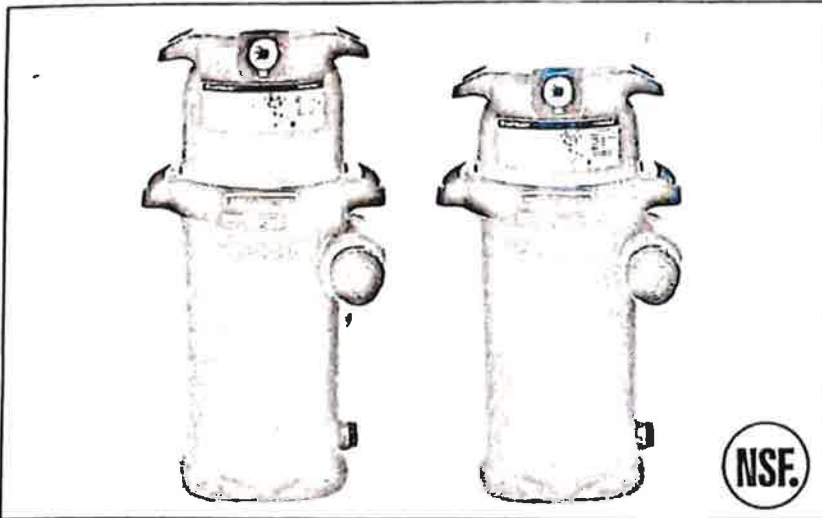
WARNING: To reduce the risk of drowning from hair and body entrapment, install suction fittings with a marked flow rate in gallons per minute that exceeds the flow rate of your system by at least 25%. Always use multiple suction outlets. If the fitting/cover breaks, is damaged, or is missing, shut the system down immediately. Do not use the system until damaged parts have been replaced.

WARNING: Keep hair and clothing a minimum of 12 inches from all suction fittings and drains at all times. Persons with long hair should secure hair to a minimal length or wear swimming cap. Children should never be left unattended at any time in a swimming pool, spa, or bathtub. Be sure the temperature of the water never exceeds the manufacturer's recommendations.



SwimClear™

CARTRIDGE FILTERS



SwimClear Cartridge Filters

SwimClear Cartridge Filter Buying Guide

Model Number	Effective Filtration Area	Union Connections	Dimensions Width* Height	Clearance for Head Removal	Ctn. Qty.	Ctn. Weight
C100S	100 ft. ²	2" x 2 1/2"	18 1/4" 30 1/2"	12"	1	33 lbs.
C150S	150 ft. ²	2" x 2 1/2"	18 1/4" 33 3/4"	15"	1	37 lbs.
C200S	200 ft. ²	2" x 2 1/2"	18 1/4" 38 3/4"	18"	1	40 lbs.

NOTE: *Based on lock ring — width at base is 13".



Hayward's newest addition to the SwimClear family is simply the most efficient single element cartridge filter ever produced. It captures more dirt for superior water clarity while the industry's lowest head loss can increase energy savings. SwimClear is the easiest to service: the Easy-Lok™ ring design, comfort grip handles, and lowest lift height provide fast element cleaning and replacement. For energy savings, reliable performance, and the ultimate in service ease, the choice is crystal clear: SwimClear.

Applications

- In-ground pools
- In-ground pool/spa combinations



Features

- Captures more dirt for superior water clarity without the need of any supplemental media
- Industry-leading hydraulic efficiency allows the pump to run at a lower speed or less time, which increases energy savings
- Easy-Lok ring design allows quick access to internal components for quick and simple maintenance
- Ergonomic grip handles provide multiple handling locations without touching fiberglass for easy installation and maintenance
- Lowest body height to lift elements for convenient and quick cleaning and replacement
- Recessed pressure gauge and manual air relief enables user to place head assembly upside down on pool pad, protecting the seal from contamination
- 2" x 2 1/2" union connections makes installation and servicing fast and easy

Performance Data – Residential

Model Number	Effective Filtration Area	Design Flow Rate	Turnover (In Gallons)	
			8 Hours	10 Hours
C100S	100 ft. ²	100 GPM	48,000	60,000
C150S	150 ft. ²	120 GPM	57,600	72,000
C200S	200 ft. ²	120 GPM	57,600	72,000

Residential Design Flow Rate based on 1 GPM/ft.²

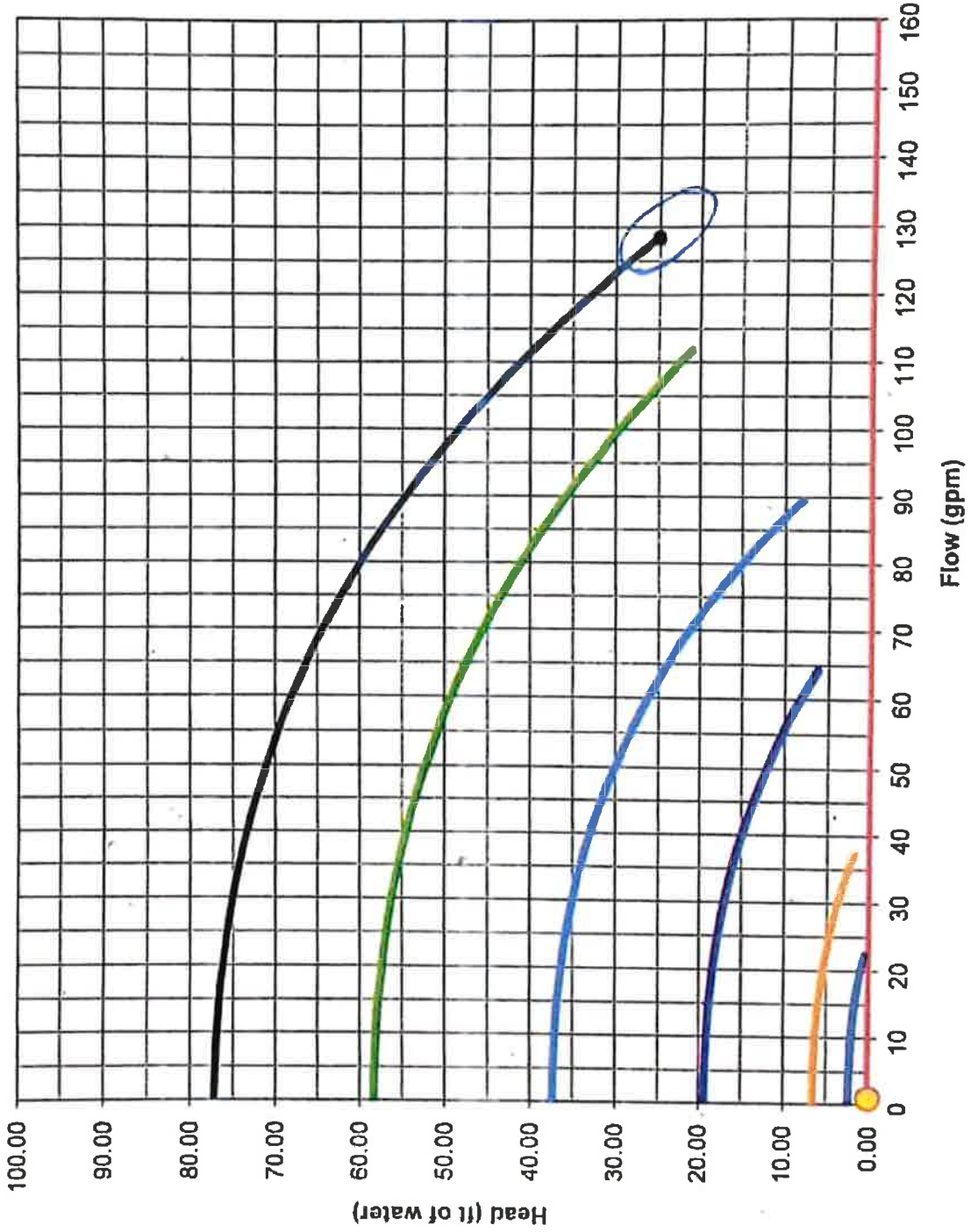
Performance Data – Public and APSP-15

Model Number	Effective Filtration Area	Design Flow Rate	Turnover (In Gallons)	
			8 Hours	10 Hours
C100S	100 ft. ²	38 GPM	18,240	22,800
C150S	150 ft. ²	56 GPM	26,880	33,600
C200S	200 ft. ²	75 GPM	36,000	45,000

Public and APSP-15 Design Flow Rate based on .375 GPM/ft.²

Replacement Elements – Page 31

System Curve & TriStar VS Performance Curves



EXPERT LINE

NOT SOLD ONLINE

TriStar® VS 900/950 Omni

VARIABLE-SPEED PUMPS WITH SMART POOL CONTROL

Hayward TriStar® VS 900/950 Omni variable-speed pumps provide next generation energy efficiency and reliability, plus smart pool control for up to 4 pieces of equipment. Each model is supplied with everything needed to install smart pool control: VS Omni Control Pad, VS Omni Hub, VS Omni Smart Relay. An additional Smart Relay can be purchased to enable a fourth product to be controlled.

TriStar VS 900/950 VS Omni pumps are the ideal combination of energy efficiency and smart pool control. They feature new EnduraDrive™ technology and a Viton® seal for long-lasting performance.

Applications

- In-ground pools

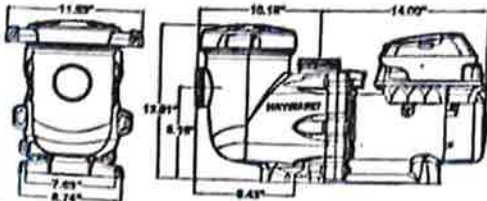
Features

- Fast and easy installation. No electrician needed - except where required by local code.
- Provides smartphone control for up to 4 pieces of pool equipment from anywhere
- Controls the VS pump, heater and pool light. An extra Smart Relay can be purchased to extend control to a fourth pool feature.
- Integrates seamlessly with most pool equipment brands
- The most energy-efficient pumps of any leading brand - saves up to \$1500 in energy costs each year*
- New EnduraDrive technology provides long-lasting performance
- Advanced, chemical-resistant Viton seal enhances durability in all environments
- An additional base is included to allow simple retrofit upgrades for Pentair® WhisperFlo® models

*Savings compared to a single speed pump running 12 hours per day, on a 20,000 gallon pool, at an average electrical rate of \$0.15/kWh. Actual savings may vary.

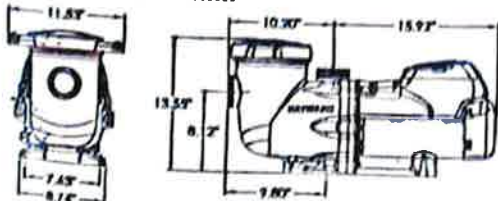
Overall Dimensions (inches)

TriStar VS 900 Omni

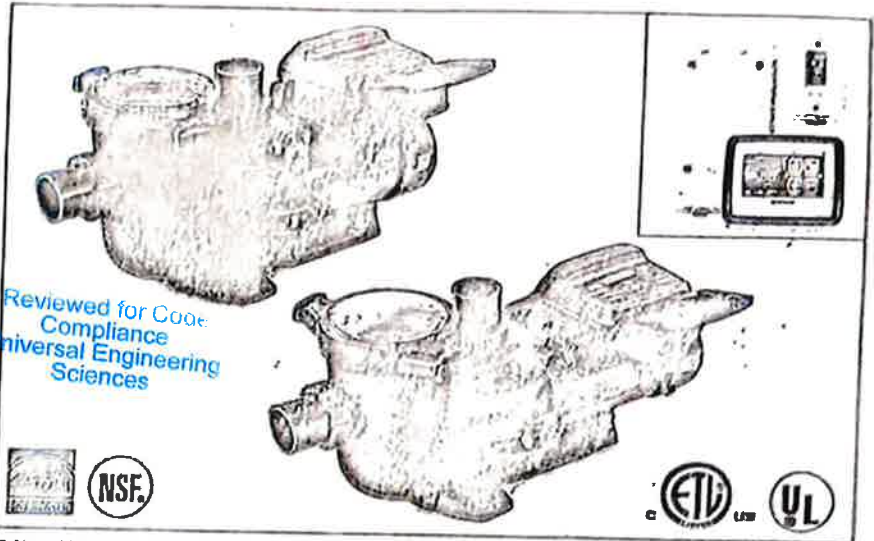


Overall Dimensions (inches)

TriStar VS 950 Omni



For replacement parts see page 143.



TriStar VS 900 Omni and TriStar VS 950 Omni Variable-Speed Pumps

TriStar VS 900/950 Omni Specifications

Model Number	Description	Total H.P.	Speed Range	Voltage at 60 Hz	Union Connections	Ctn. Qty.	Ctn. Weight
HL32900VSP*	TriStar VS 900	1.85	600-3450 RPM	230V	2" x 2 1/2"	1	70 lbs.
HL32950VSP*	TriStar VS 950	2.70	600-3450 RPM	230V	2" x 2 1/2"	1	83 lbs.

*Extended Warranty for SP32950VSP is 4 years and SP32900VSP is 3 years.

Performance Data - TriStar VS 900 Omni

RPM	Percent Output	Pump Output (GPM) vs. Total Resistance to Flow (Feet of Head)						
		10 ft	20 ft	30 ft	40 ft	50 ft	60 ft	70 ft
1375	40%	29	—	—	—	—	—	—
1725	50%	55	—	—	—	—	—	—
2075	60%	76	52	—	—	—	—	—
2425	70%	94	77	54	—	—	—	—
2750	80%	111	97	80	58	—	—	—
3100	90%	128	116	103	87	87	34	—
3450	100%	145	134	123	110	96	78	54

Performance Data - TriStar VS 950 Omni

RPM	Percent Output	Pump Output (GPM) vs. Total Resistance to Flow (Feet of Head)							
		10 ft	20 ft	30 ft	40 ft	50 ft	60 ft	70 ft	80 ft
1375	40%	61	—	—	—	—	—	—	—
1725	50%	80	42	—	—	—	—	—	—
2075	60%	100	82	41	—	—	—	—	—
2425	70%	117	110	90	58	—	—	—	—
2750	80%	133	133	118	100	73	—	—	—
3100	90%	149	149	144	130	117	91	36	—
3450	100%	194	184	172	160	146	130	110	84



CITY OF BELLE ISLE, FLORIDA
Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

RESIDENTIAL SWIMMING POOL
SAFETY AFFIRMATION

Belle Isle

Date: 3-30-21

Address: 2231 Hoffend Ave 32809

I, Vic Donsey, License # CPC 044073
(print contractor's name)

hereby affirm that the pool will be isolated from access from within the dwelling AND from adjacent properties by a barrier that meets the pool barrier requirements of Florida Statute 515.29 and the 2020 Florida Building Code, Residential Section, Seventh Edition R4501.17.

Check the applicable barrier requirements from the following options and show on the site plan:

- The pool will be equipped with an approved safety pool cover that complies with ASTM F1346 (Standard Performance Specifications for Safety Covers for Swimming Pools, Spas and Hot Tubs) per FBC R4501.17, Exception.
- The pool will be isolated from access by a mesh safety barrier that meets the requirements of FBC R4501.17.1.15.
- The pool will be isolated from access by a screen enclosure that meets the requirements of FBC R4501.17.1.11.
- The pool will be isolated from access by a fence and pedestrian gates that meet the requirements of FBC R4501.17.1.1 through 4501.17.1.8.

Does any part of the barrier consist of dwelling walls which contain doors or windows?

Yes No If yes, then check which of the three options below are applicable:

- All doors and windows providing direct access from the dwelling to the pool will be equipped with an exit alarm that meets the requirements of FBC R4501.2.17.1.9(1) unless Exceptions a, b or c apply.
- All doors providing direct access from the dwelling to the pool will be equipped with self-closing, self-latching devices installed 54" above the threshold that meet the requirements of FBC R4501.2.17.1.9, exception 2.
- A floating swimming pool alarm that meets & is independently certified to ASTM Standard F2208 will be provided per FBC R4501.17.1.9(3).

I understand that the above indicated shall be installed before the time of pool safety inspection per FBC R4501.19.

Vic Donsey
(Contractor's Signature)

[Signature]
(Property Owner's Signature)



Use and Care Instructions PA-25 & PA-30



The Pool Patrol Alarm is not intended as a life saving device. It is not intended to replace any other safety considerations; such as adult supervision, lifeguards, fences, gates, pool covers, locks, and so fourth. The Pool Patrol Alarm may not detect from gradual entry. The Pool Patrol Alarm is intended to be an additional layer of security to protect your loved ones.

It is important to spend sufficient time in becoming familiar with the operation of your Pool Patrol Alarms and to properly test the unit so that it adequately covers all areas of the pool for the person(s) or pet(s) you wish to protect.

The Pool Patrol Alarm meets requirements of ASTM Standard F2208.

IMPORTANT:

- * Do not use this product prior to reading the instructions.
- * Do not allow the pool alarm to float free.
- * Do not drop, submerge, mistreat, or place unit upside down in the pool.
- * Do not use when pool sweeps in use or while cleaning.
- * Do not place in pool near filter return area.
- * Do not use with other objects in pool, such as toys, dispensers, chairs, etc.
- * Do not alter or attempt to repair yourself.
- * Do not leave out overnight until you have learned how to operate the alarm.

TO INSTALL OR CHANGE BATTERY: (Battery not included)



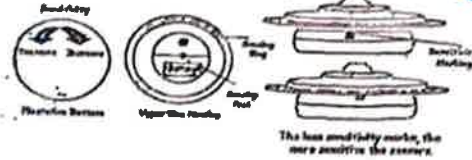
Upper Blue Housing

As a guide, one alkaline battery should last approximately four months under normal use.

Do not store your alarm for an extended period of time with the battery in it.

- (1) Turn the alarm upside down and turn the black floatation base from the upper blue housing by rotating base in a counter clockwise direction until base is loose from the upper blue housing.
- (2) Remove the two screws and lift off the battery cover and gasket.
- (3) Snap a 9-volt alkaline battery into battery connections. It is important to use an alkaline battery, as other batteries will not last as long.
- (4) Replace battery cover and gasket, then tighten with the two retaining screws. Do not over-tighten screws but tighten enough to create a seal between the cover and the gasket to prevent water from getting into the battery compartment.
- (5) Return the black floatation base to the upper blue housing by rotating the base in a clockwise direction.

TO ADJUST SENSITIVITY



The less sensitivity marks, the more sensitive the alarm.

Turning the black floatation base clockwise or counterclockwise raises or lowers the sensing ring connected to the upper blue housing. The closer the sensing ring is located to the water, the more sensitive your alarm becomes.

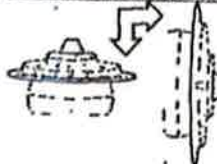
Turn the black floatation base clockwise (until it stops). Turn the floatation base counter clockwise anywhere between two full turns to three full turns. This sets your sensitivity for a child twenty pounds or less. When making adjustments to find your correct setting only make 1/4 turns at a time.

TO TEST YOUR ALARM:



Place your alarm in the pool and tip so that the sensing ring makes contact with the water. The alarm should sound.

POOL ALARM RESET



After your pool alarm has sounded off you will need to reset the alarm. Lift the alarm out of your pool. Shake off excess water around the sensing ring and center post. Tilt the alarm sideways or at 90° angle for at least five seconds. After the pool waves have settled you can replace the pool alarm in the pool.

If the alarms are activated and no one is home to reset them, they will both automatically reset after three minutes.

POOL SET-UP

Get your string and clips out. Start by burning or cutting the string in half (we recommend burning so the nylon does not fray). Tie one string to each tab on the float.

Position your alarm in your pool according to shape and size. Do not place your alarm next to the filter return. After testing your alarm you may need to make adjustments. Here are some suggestions on placement.



ORANGE COUNTY PROPERTY APPRAISER

Searches

Sales Search

Results

Property Record Card

My Favorites

Sign up for e-Notify...

5101 Gramont Ave < 17-23-30-4379-01-760 >

Name(s)	Physical Street Address
Wells Dawn B Tr	5101 Gramont Ave
Mailing Address On File	Postal City and Zipcode
5101 Gramont Ave	Orlando, FL 32812
Belle Isle, FL 32812-1011	Property Use
Incorrect Mailing Address?	0103 - Single Fam Class III
	Municipality
	Belle Isle



View 2020 Property Record Card

Property Features

Values, Exemptions and Taxes

Sales Analysis

Location Info

Market Stats

Update Information

2021 values will be available in August of 2021.

View Plat

Property Description

LAKE CONWAY ESTATES SECTION 3 Y/19 LOT 176

Total Land Area 10,580 sqft (+/-) | 0.24 acres (+/-) GIS Calculated Notice

Land

Land Use Code	Zoning	Land Units	Unit Price	Land Value	Class Unit Price	Class Value
0100 - Single Family	R-1-AA	1 LOT(S)	working...	working...	working...	working...

Page 1 of 1 (1 total records)

Buildings

Important Information		Structure				
	Model Code:	01 - Single Fam Residence	Actual Year Built:	1962	Gross Area:	2543 sqft
	Type Code:	0103 - Single Fam Class III	Beds:	4	Living Area:	1827 sqft
	Building Value:	working...	Baths:	2.0	Exterior Wall:	Concrete/Cinder Block
	Estimated New Cost:	working...	Floors:	1	Interior Wall:	Drywall

Page 1 of 1 (1 total records)

Extra Features

Description	Date Built	Units	XFOB Value
FPL2 - Fireplace 2	01/01/1962	1 Unit(s)	working...
SCR2 - Scm Enc 2	01/01/1990	1 Unit(s)	working...
SHED - Shed	12/31/2015	1 Unit(s)	working...

Page 1 of 1 (3 total records)

This Data Printed on 03/25/2021 and System Data Last Refreshed on 03/24/2021

What are you looking to do today? You can also type your question below.





**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**


**CONSTRUCTION INDUSTRY LICENSING BOARD
2601 BLAIR STONE ROAD
TALLAHASSEE FL 32399-0783**

(850) 487-1395

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!



**STATE OF FLORIDA DEPARTMENT
OF BUSINESS AND PROFESSIONAL
REGULATION**

CPC044073 **ISSUED: 06/03/2020**
CERT COMMERCIAL POOL/SPA CONTR
NORBERG, VICTOR LYNN
WATERLINE POOLS AND SPAS INC

Signature

LICENSED UNDER CHAPTER 489, FLORIDA STATUTES
EXPIRATION DATE: AUGUST 31, 2022

Ron DeSantis, Governor

Halsey Beshears, Secretary

**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD**

LICENSE NUMBER: CPC044073

EXPIRATION DATE: AUGUST 31, 2022

**THE COMMERCIAL POOL/SPA CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES**

**NORBERG, VICTOR LYNN
WATERLINE POOLS AND SPAS INC
5605 HANSEL AVE
ORLANDO FL 32809**



ISSUED: 06/03/2020

Always verify licenses online at MyFloridaLicense.com

Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
7/8/2020

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Insurance by Ken Brown, Inc. 707 Pennsylvania Ave Ste 1300 Altamonte Springs FL 32701	CONTACT NAME: PHONE (A/C No. Ext): 321-397-3870 FAX (A/C No): 321-397-3888 E-MAIL ADDRESS: certificates@insbykenbrown.com	
	INSURER(S) AFFORDING COVERAGE	NAIC #
INSURED Waterline Pools & Spas, Inc. 5605 Hansel Avenue Orlando FL 32809	INSURER A: Amerisure Mutual Insurance Company	23396
	INSURER B: Amerisure Insurance Company	19488
	INSURER C:	
	INSURER D:	
INSURER E:		
INSURER F:		

COVERAGES CERTIFICATE NUMBER: 1051938245 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ITR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		CPP21118280102	6/1/2020	6/1/2021	EACH OCCURRENCE \$500,000 DAMAGE TO RENTED PREMISES (EA occurrence) \$100,000 MED EXP (Any one person) \$5,000 PERSONAL & ADV INJURY \$500,000 GENERAL AGGREGATE \$1,000,000 PRODUCTS - COMP/OP AGG \$1,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY					COMBINED SINGLE LIMIT (EA accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input type="checkbox"/> N/A	WC131620222	6/1/2020	6/1/2021	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$100,000 E.L. DISEASE - EA EMPLOYEE \$100,000 E.L. DISEASE - POLICY LIMIT \$500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER CANCELLATION

City of Belle Isle 1600 Neia Avenue Belle Isle FL 32809	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
---	---

Tax Collector Scott Randolph

Local Business Tax Receipt

Orange County, Florida

	2020		EXPIRES 9/30/2021			1805-1034474
1805 GERT COMM POOL/SPA C	\$30.00	6 EMPLOYEES	5000 BUSINESS OFFICE	\$30.00		6 EMPLOYEES

TOTAL TAX	\$60.00
PREVIOUSLY PAID	\$60.00
TOTAL DUE	\$0.00

NORBERG VICTOR L QUALIFIER

WATERLINE POOLS AND SPAS INC
 NORBERG VICTOR L
 5605 HANSEL AVE
 ORLANDO FL 32809-4215

5605 HANSEL AVE
U - ORLANDO, 32809

PAID: \$60.00 0099-00934413 7/6/2020

Tax Collector Scott Randolph

Local Business Tax Receipt

Orange County, Florida

This local Business Tax Receipt is in addition to and not in lieu of any other tax required by law or municipal ordinance. Businesses are subject to regulation of zoning, health and other lawful authorities. This receipt is valid from October 1 through September 30 of receipt year. Delinquent penalty is added October 1.

	2020		EXPIRES 9/30/2021			1805-1034474
1805 CERT COMM POOL/SPA C	\$30.00	6 EMPLOYEES	5000 BUSINESS OFFICE	\$30.00		6 EMPLOYEES

TOTAL TAX	\$60.00
PREVIOUSLY PAID	\$60.00
TOTAL DUE	\$0.00



NORBERG VICTOR L QUALIFIER

WATERLINE POOLS AND SPAS INC
 NORBERG VICTOR L
 5605 HANSEL AVE
 ORLANDO FL 32809-4215

5605 HANSEL AVE
U - ORLANDO, 32809

PAID: \$60.00 0099-00934413 7/6/2020

This receipt is official when validated by the Tax Collector.

Orange County Code requires this local Business Tax Receipt to be displayed conspicuously at the place of business in public view. It is subject to inspection by all duly authorized officers of the County.

"EXHIBIT B"

ORIGINAL

GENERAL SPECIFICATIONS

Pool Size 13' x 26' Area 297 Shape G60 Depth 3.5'
 Spa Size - x - Area - Shape - Depth 5.5'
 Pool Capacity 297 Spa Capacity -

Decking ARTISTIC Area 690 Color IVORY Deck Drain -
 Tile 1x2 Color BSTONE Pattern - Code -
 Step Tile Color LINE TILES Code KSL9-1

Filter Hayward Size 200 Pump VS Size Hayward
 Return Lines (4) Safety Device FUDARY
 Lights Color Pool Cleaner only Time Clock mini Swimout yes
 Chlorinator SALT Therapy Jets 0 Hand Rails 0

Screen Color NO SCREEN
 Wall Height N/A
 Top Design N/A
 Footer PER PLAN
 Elite Roof N/A

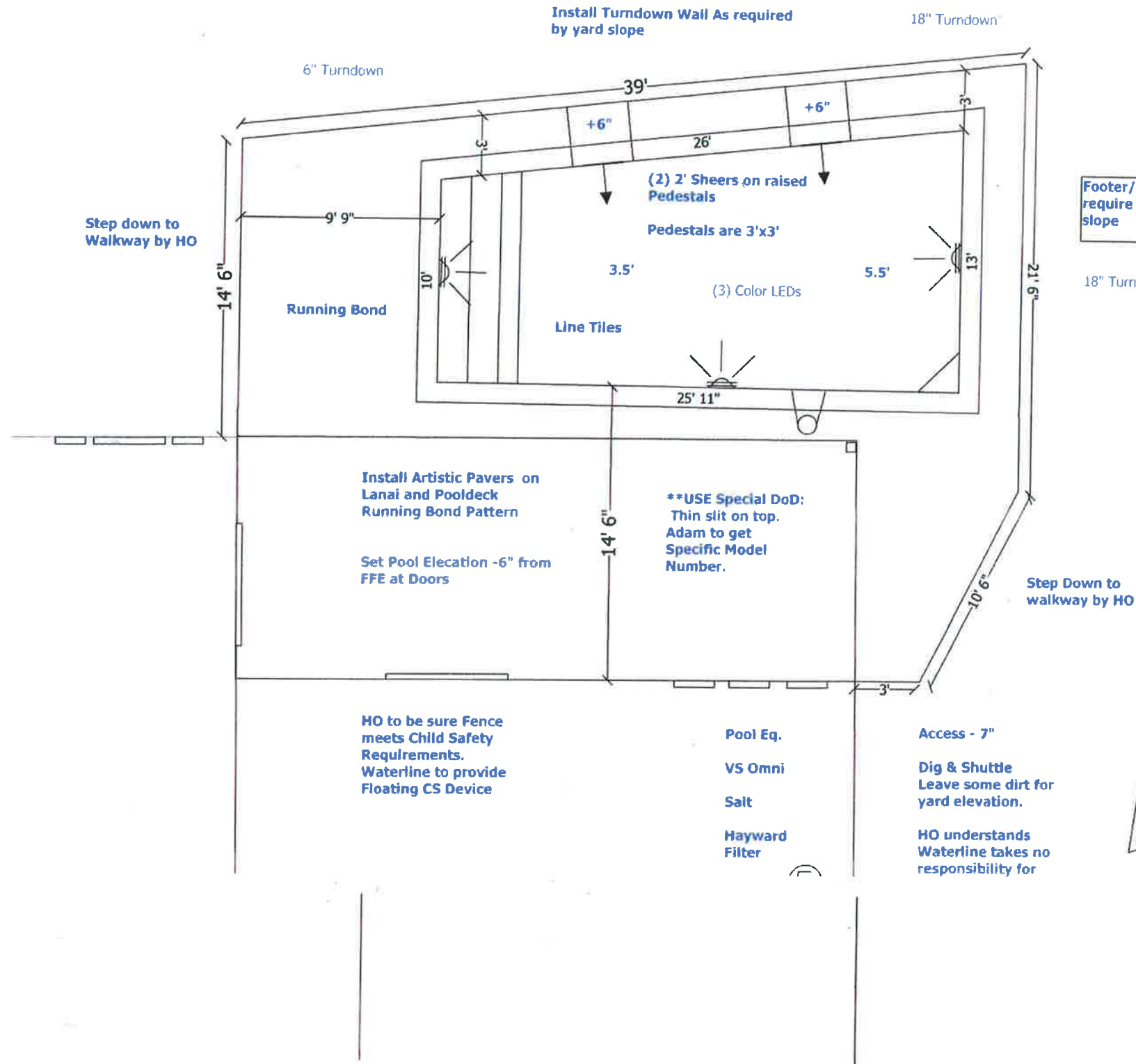
Note: If you are getting fan beams, The fan and wiring is not included.

Additional Notes
(2) Pedestals w/ (2) 2' Sheers

Legal Description of Property
 Lot See Block map Subdivision APP Platbook - Pages -
 County of Orange Permit Issued By City of Bell Isle

Address 2231 Haffner Ave
 City ORL Zip Code 32809
 Home # - Cell # 407-230-7178
 Gate Code NONE

Customer's Signature [Signature]
 Designed By Adam Coyman Date 1-11-21



Footer/Turndown as required for yard slope

18" Turndown

Step Down to walkway by HO

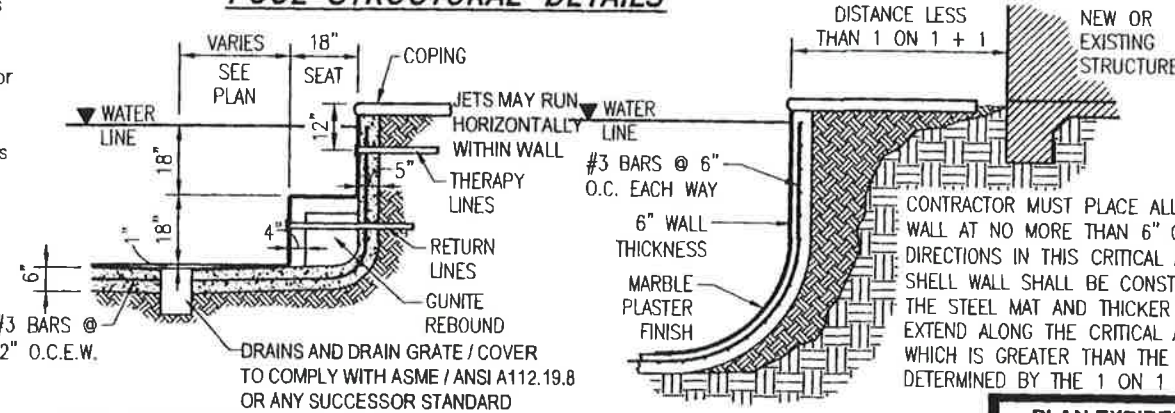
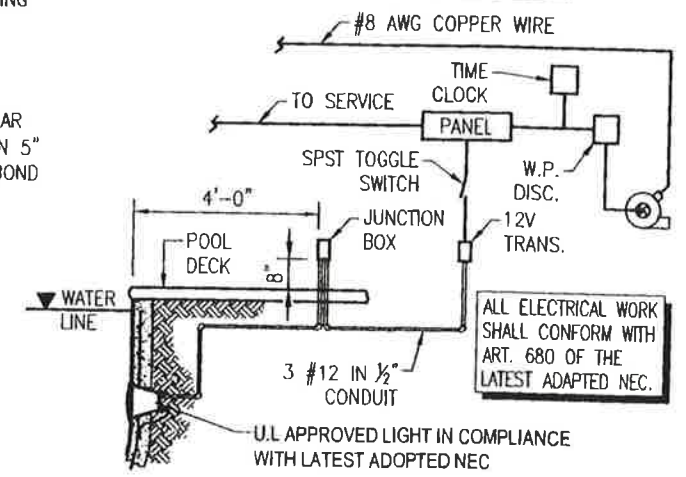
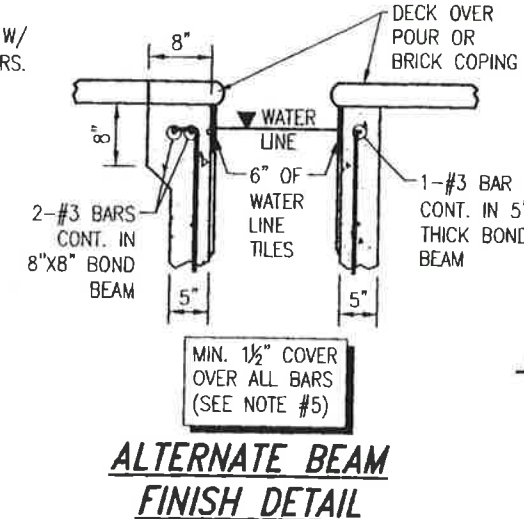
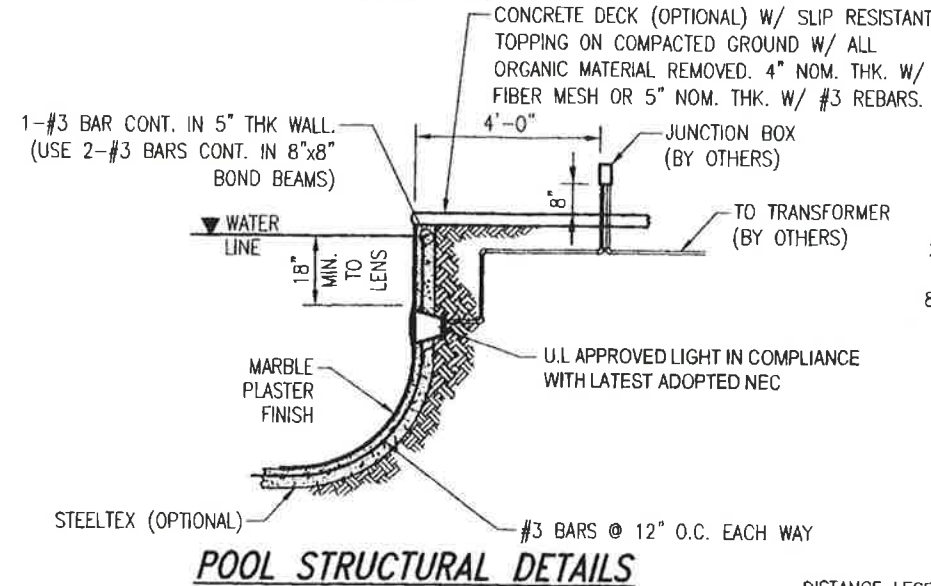
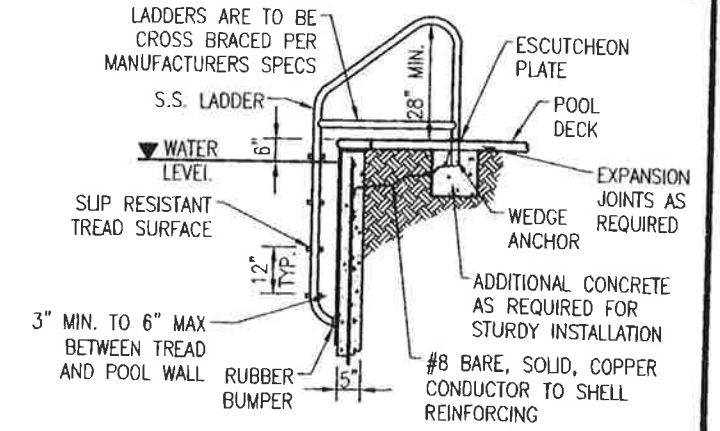
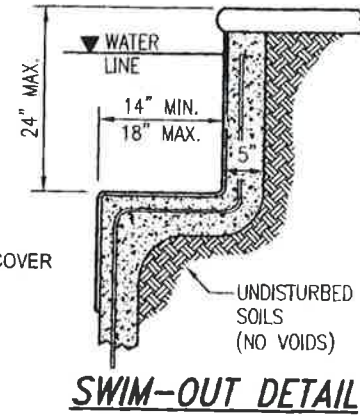
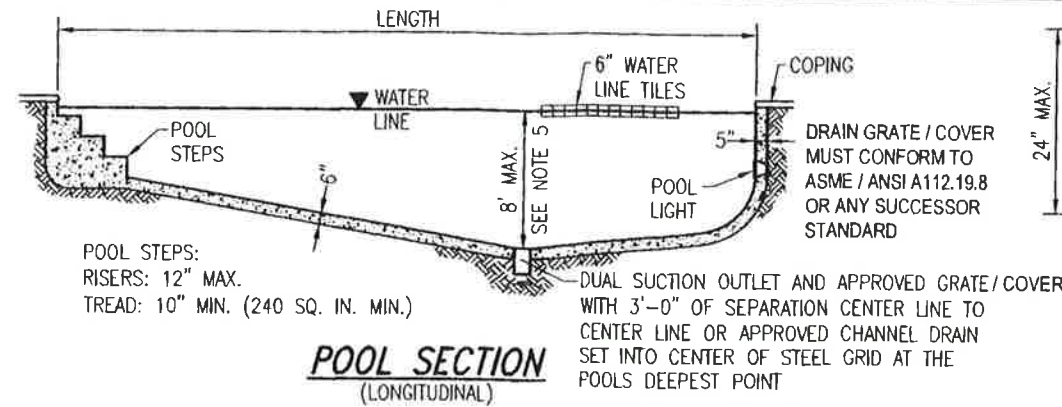
Reviewed for Code Compliance
 Universal Engineering Sciences

Unknown Conditions - We anticipate hitting some underground water while excavating your pool. For that reason we include 3 tons of underground pea-rock which would cover what is typical and normal. There are however situations where we discover water conditions that require additional pea-rock to control the wet/watery soil. For every ton of rock over the included 3 tons there will be a change order of \$65.00 per ton installed to control water

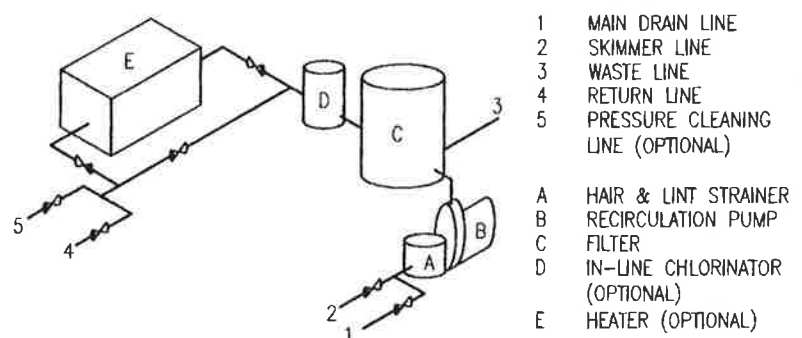
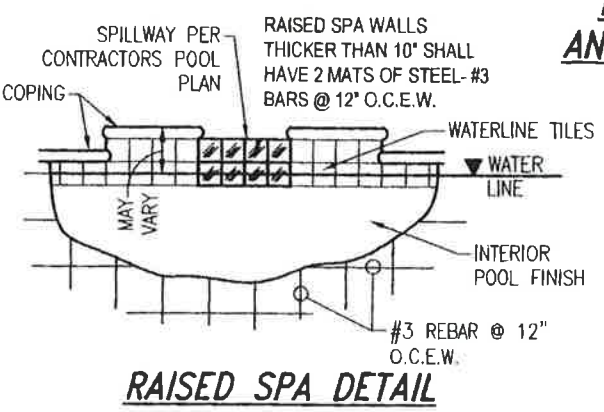
Sod and Landscaping not included. Sprinkler repair not included.
 All Measurements are approximate and not exact.

GENERAL NOTES

- For pool plan, size, deck, and special details, see Contractor's Pool Plan.
- Pool Walls shall be 5" thick and Floors shall be 6" thick and shall be pneumatically applied Concrete with a Compressive Strength of 3,000 psi in 28 days. Concrete Decks shall be 2,500 psi. Concrete construction will conform to ACI Standard 318.
- All Pool design, construction and workmanship shall be in conformity with the requirements of Florida Building Code, 7th Edition, 2020 (FBC) Accessibility; FBC Building; FBC Residential, and; ANSI/APSP/ICC-3, ANSI/APSP/ICC-4, ANSI/APSP/ICC-5; ANSI/APSP/ICC-6 and ANSI/APSP-7; ANSI/APSP-15 and the Adopted National Electric Code 2017 (NEC) and Chapter 45 of the Florida Building Code, 7th Edition, 2020, Residential.
- All Pool Piping to be Schedule 40 PVC, bearing the mark of NSF Approval unless otherwise noted.
- All Reinforcing Steel to conform to ASTM 615, Grade 40. Reinforcing shall be #3 bars at 12" on center in each direction, w/ 15" lap joints in walls and floors up to 6'. Where the pool depth is over 6ft (measured vertically down from the Waterline), use #3 bars at 6" on center in each direction in the areas that exceed 6ft in depth. If Concrete is cast against Bare Earth without a Separation Barrier, the minimum cover shall be 3". With a Barrier (Steelex) between Concrete and Earth, the minimum cover shall be 1 1/2". Min. cover shall be 1 1/2" between steel and main drains and piping.
- All Metallic Pool Fittings within 5' of the inside wall and deck reinforcing steel to be bonded to the Pool Reinforcing Steel with #8 AWG Copper Wire. The #8 Copper Wire to be run internally and externally with the NEC approved PVC Light Conduit from the Light Niche to the Junction Box. Completion of the pool grounding to the Electrical Panel Ground to be by Electrician.
- Bond all Sheathed Cables, Raceways, Metal Piping and all Fixed Metal Parts not separated by a permanent barrier, if within 5'-0" Horizontally from Water and 12'-0" Vertically of Maximum Water Level.
- Equipotential Bonding to be accomplished in accordance with Article 680 of the Adopted National Electrical Code 2017 (NEC).
- Pool or Patio shall bear only on Rock or Clean Sand, which shall be compacted to provide a Structurally Safe Bearing Capacity. Any Unsuitable Material encountered in excavation shall be removed in its entirety and the area shall be backfilled with acceptable material and properly compacted. Where unsuitable Material cannot be removed, the pool must be redesigned.
- The Contractor must protect Existing Structures from failure by acceptable methods if required. The Engineer accepts no responsibility for the safety of Existing Structures.
- The Design Engineer assumes no responsibility for pool construction in Easements or Required Setback areas. Pool Contractor and/or Owner shall verify the layout and all dimensions shown prior to construction.
- Contractor shall determine the location of all Utilities in relation to the Pool and its Equipment and ensure minimum clearances in accordance with Local Regulations and Ordinances.
- Contractor shall provide adequate Temporary Fencing around the construction area to prevent unauthorized entry into the Pool Area.
- If a water supply is provided, a minimum 3" Atmospheric Break will be provided.
- All Structural, Filtration and Electrical details outlined in these drawings also relate to Spa Construction.
- All Pool and Spa Heaters shall be equipped with an On/Off Switch mounted for easy access to allow the Heater to be Shut Off without adjusting the Thermostat settings and to allow restarting without relighting the Pilot Light.
- WARNING!** To empty the Pool for any reason, the Hydrostatic Uplift Pressure must be eliminated. The Owner must consult a Contractor experienced in eliminating Uplift Pressure.



TYPICAL WALL AND FLOOR WITHIN ANGLE OF REPOSE



Reviewed for Code Compliance
Universal Engineering Sciences

PLAN EXPIRES 1 YEAR FROM SIGNATURE DATE OR ON THE EFFECTIVE DATE OF A MAJOR CODE CHANGE.

MAR 01 2021

LARRY B. SCHNAPER
LICENSE
NO. 32046
STATE OF FLORIDA
PROFESSIONAL ENGINEER

SkiLo Engineering Services, Inc.
Larry B. Schnaper, PE - FL PE NO. 32046
2431 Aloma Ave., Ste.124
Winter Park, FL 32792 (407) 275-1099

Waterline
DOCS & SPEC

5605 HANSEL AVE ORLANDO FL 32809 (407) 339-3100 CPC044073

RESIDENTIAL SWIMMING POOL SPECIFICATION FOR:
2231 HOFFNER AVE ORLANDO FL 32809

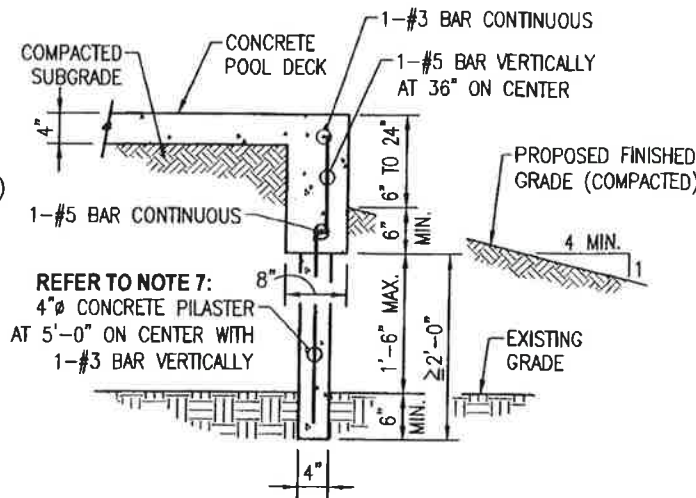
NTS

TURNDOWN NOTES

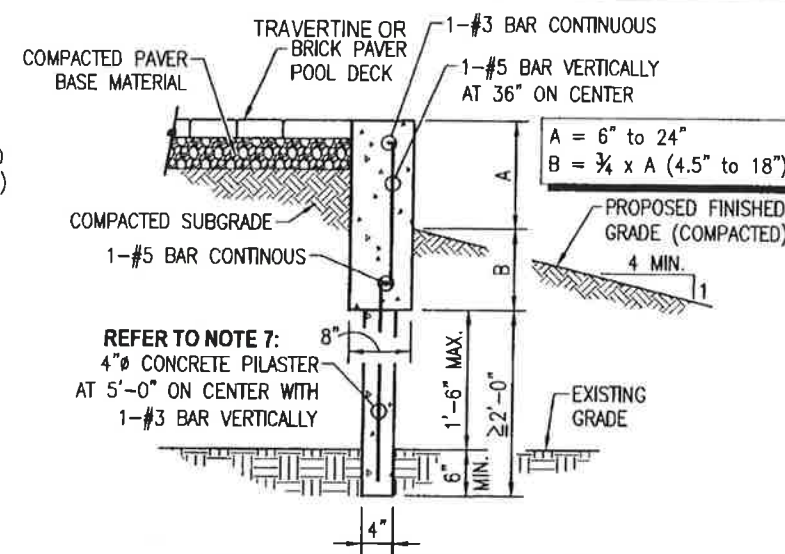
- Detail is based on NO surcharge behind the Turndown and the Ground away from the Turndown is Level (>4 to 1). Turndown may abut Ribbon Footer and be tied into Footer if Appropriate, with #3 Rebar.
- Turndown shall bear on Rock, Clean Sand or Structurally Sound Soils (>1,500 PSF) that shall be compacted to provide Optimum Bearing Capacity and prevent Settling or Shifting.
- All Reinforcing Steel is to Conform to ASTM 615, Grade 40.
- Concrete shall contain Fiber Mesh and have a 28 Day Compressive Strength of 2,500 PSI.
- All Construction to Conform to Florida Building Code, 7th Edition, 2020, FBC Building and FBC Residential.
- Refer to Contractor's Plan on file with the Building Department for Details on Turndown Location.
- If the Base of the Turndown does not extend into the Old (Existing) Ground, a 4"Ø Pilaster will be required every 5'-0" that will be either 2'-0" into the Ground or to 6" into the Indigenous Material, Whichever is Deeper. The Pilaster will have a #3 Rebar tied into the #5 Rebar in the base of the Vertical Pour.
- A Deck Turndown is NOT intended to be a substitute for a Retaining Wall. If the Vertical Dimension from the Top of the Concrete Deck to the Old (Existing) Ground reaches 36" for a 6" Turndown, 42" for a 12" Turndown, 48" for a 18" turndown, 54" for a 24" Turndown, for more than 20% of the Turndown Length or the Finished Grade Slope exceeds (steeper than) 4' Horizontally and 1' Vertically, a Turndown should not be used.
- For a Paver Deck, if the Vertical Dimension from the Top of the Deck to the Old (Existing) Ground reaches 24" for a 6" Turndown, 30" for a 12" Turndown, 36" for a 18" Turndown, 42" for a 24" Turndown, for more than 20% of the Turndown Length or the Finished Grade Slope exceeds (steeper than) 4' Horizontally and 1' Vertically, a Turndown shall not be used.
- If a Screen Enclosure is to be installed, the Swimming Pool Contractor must coordinate Design and Construction of the Turndown Requirements with the Screen Contractor to Ensure it meets their Requirements.

FOOTER NOTES

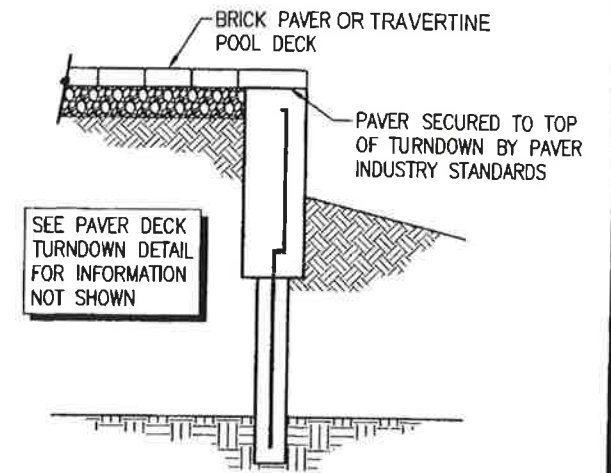
- If a Screen Enclosure is to be installed, the Swimming Pool Contractor must Coordinate Design and Construction of any required Footer with the Screen Contractor.
- Footer shall bear on Rock, Sand or Structurally Sound Soils (>1,500 PSF) that shall be compacted to provide Optimum Bearing Capacity and prevent Settling or Shifting.
- Concrete shall have a 28 Day Compressive Strength of 2,500 PSI with Fiber Mesh or 6x6-10x10 W.W. Mesh.
- (3) #3 Rebars is Equivalent to (1) #5 Rebar.
- Paver or Travertine deck may be placed over the top of the footer or abutting the side of the footer.



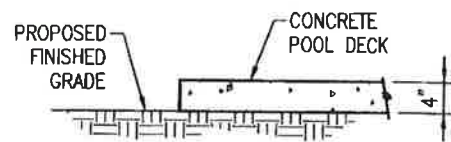
CONCRETE DECK TURNDOWN



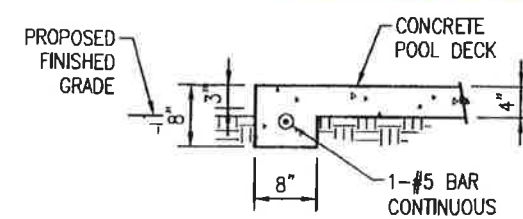
PAVER DECK TURNDOWN



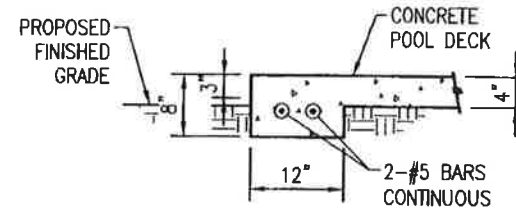
ALTERNATE PAVER ON TURNDOWN



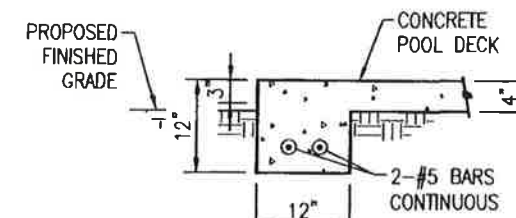
NO FOOTER



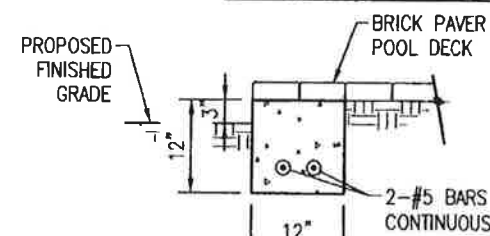
8" x 8" FOOTER



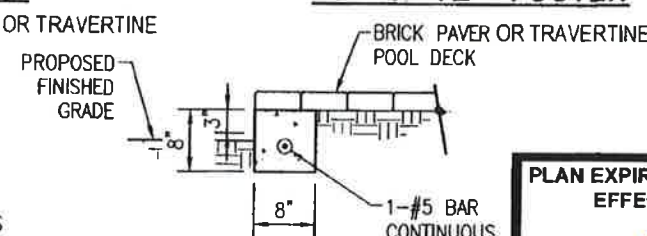
8" x 12" FOOTER



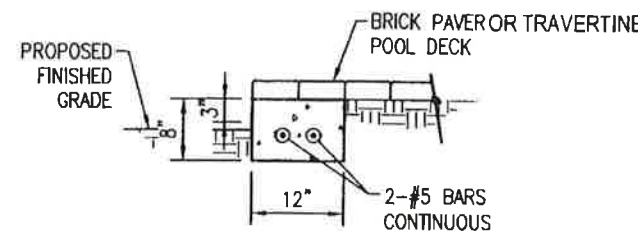
12" x 12" FOOTER



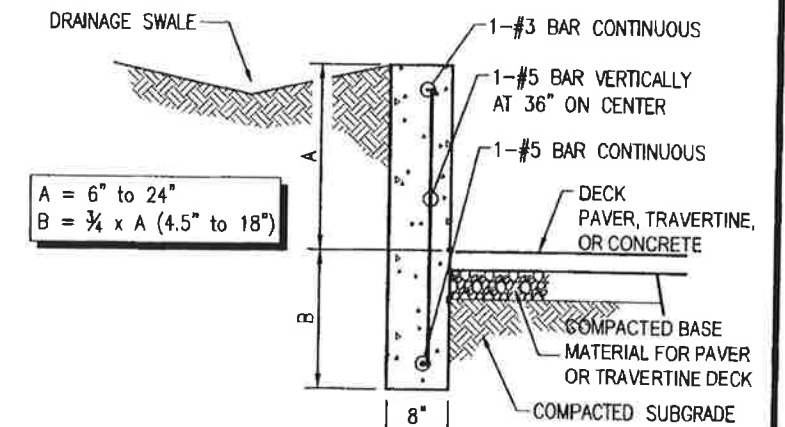
12" x 12" FOOTER W/ PAVER DECK



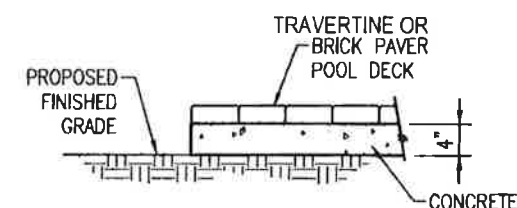
8" x 8" FOOTER W/ PAVER DECK



8" x 12" FOOTER W/ PAVER DECK

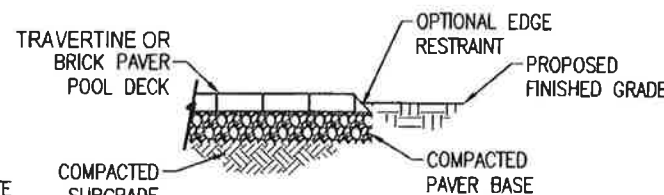


TURN UP CURB DETAIL



PAVERS ON CONCRETE DECK

CONCRETE DECK MAY BE CONSTRUCTED WITH A FOOTER OR WITHOUT A FOOTER



PAVER DECK WITHOUT FOOTER

OPTIONAL: CONCRETE OR PLASTIC EDGE RESTRAINT MAY BE ADDED TO THE DECK PERIMETER AS NEEDED TO SECURE PAVERS

PLAN EXPIRES 1 YEAR FROM SIGNATURE DATE OR ON THE EFFECTIVE DATE OF A MAJOR CODE CHANGE.



MAR 01 2021

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DECK, FOOTER, AND TURNDOWN SPECIFICATION SHEET FOR:

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NTS

