



City of Belle Isle Job Site Permit Card **BOAT DOCK 2021-02-050**

Class: Residential

Site Address: 1534 Hoffner Ave- Belle Isle, FL 32809

PaParcel Number: 18-23-30-5120-01-730. Municipality Belle Isle

INSPECTIONS CANNOT BE SCHEDULED IF A NOC IS PENDING FOR THIS PROJECT.

=====
Description of Work: BOAT DOCK FOR SINGLE FMAILY RESIDENCE
=====

Issued: ASDF DESIGN GROUP LLC, SANCHEZ DE FUENTES, A E

CGC1515393 Contact # 407 230-7883

Payment/ Issued Date & Method: 4 / 9 / 2021

Picked up by _____ Sent by mail to the mailing address Emailed

Visa Master Card Amex Discover Check / Money Order#

2023 | | | | | | | | | | | | | | | | | | | | | |

SEPARATE PERMITS WILL BE REQUIRED FOR ALL SUB-WORK
(Including electrical, & roof)

A DEMO FINAL INSPECTION MUST BE PASSED IF AN EXISTING DOCK IS TO BE DEMOLISH & A SINGLE FAMILY RESIDENCE MUST BE IN PLACE PRIOR TO BUILDING THE NEW BOAT DOCK. (A TURBIDITY BARRIER is required)

Inspection requests & inquiries regarding results are to be emailed to: BDscheduling@UniversalEngineering.com

BUILDING	INSPECTOR	DATE	COMMENTS
200 Framing			
250 Final			
260 Other			

PLEASE NOTE: In order to schedule any inspections, the PERMIT / plans-specs. must be issued and POSTED on the JOB SITE! THIS WILL AVOID ANY FAILED INSPECTIONS & RE-INSPECTION FEES. A permit expires in 6 months if approved inspections are not recorded /scheduled within that time frame. You are responsible for scheduling and keeping track all of your inspections - ☆ Inspection requests are to be emailed to BDscheduling@UniversalEngineering.com; a confirmation email will be sent back to you upon scheduling. Next-Day Inspection requests must be made by 3:00 p.m. Please include the following requirements in your request:

- Project Address
- Corresponding Permit Number
- Type of Inspection (Please reference your permit card for inspection codes)
- Date of Inspection (If no date is specified, the inspection will be scheduled for the next business day)
- Contact Name
- Contact Phone Number
- Gate / Entry code (If applicable)
- AM, PM, or Any Time (We do our best to accommodate time requests but cannot guarantee an exact arrival)

Universal Engineering Sciences - 3532 Maggie Blvd., Orlando, FL 32811 407-581-8161 * Fax 407-581-0313
www.universalengineering.com

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."



City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
 Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

Building / Land Use Permit Application

DATE: 2/11/2021

PERMIT # 2021-02-050

PROJECT ADDRESS 1534 HOFFNER AVENUE 1534 Hoffner Ave, Belle Isle, FL X 32809 32812

PROPERTY OWNER OLGA SANCHEZ DE FUENTES PHONE 407 791 2778 VALUE OF WORK (labor & material) \$ 6,000.00

PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS 407 791-2778 IS = 35,224

BOAT DOCK FOR SINGLE FAMILY RESIDENCE

Please provide information, if applicable.

- SINGLE FAMILY RESIDENCE:** 8.5"x11" Plat Survey, Plot Plan of Home and Floor Plans of New Construction/Revision Required
- BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- SEPTIC SYSTEM (RESIDENTIAL):** - Provide verification of DC Health Dept approval for on-site septic tank system, per FAC Chap. 64E-6
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

18-23-30-5120-01-730

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 18-23-30-5120-01-730

To obtain this information, please visit <http://www.ocpafl.org/Searches/ParcelSearch.aspx>

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCROACH INTO ANY EASEMENT OR REQUIRED SETBACK. Survey specific foundation plan required to show compliance with zoning setbacks. Note: this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

PLANNING & ZONING APPROVAL Date: 3/2/21 By: [Signature]
 DATE

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)

CONSTRUCTION TYPE CONVENTIONAL WOOD FRAMING

OCCUPANCY GROUP Comm Res: X Single Fam Multi Fam

#BLDG. #UNITS #STORIES TOTAL SQ.FT. 726 726

MAX. FLOOR LOAD MAX. OCCUPANCY

MIN. FLOOD ELEV. LOW FLOOR ELEV.

WATER SERVICE WELL SEPTIC

BUILDING REVIEWER [Signature] DATE 3/10/2021

VERIFIED CONTRACTOR'S LICENSE & INSURANCE ARE ON FILE [Signature] DATE 2/25/21

Per FSS 105.3.3:
 An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC.

Wind Exposure Category: B C D X

SPRINKLERS REQ'D	Y	N	
If Required - SUBMIT COPY OF PLANS FOR FIRE REVIEW			RCD
ZONING	<input checked="" type="checkbox"/>	N	\$ 165.
CERT OF OCC	<input checked="" type="checkbox"/>	N	\$
TRAFFIC	<input checked="" type="checkbox"/>	N	\$
SCHOOL	<input checked="" type="checkbox"/>	N	\$
FIRE	<input checked="" type="checkbox"/>	N	\$
SWIMMING POOL	<input checked="" type="checkbox"/>	N	\$
SCREEN ENCLOSURE	<input checked="" type="checkbox"/>	N	\$
ROOFING	<input checked="" type="checkbox"/>	N	\$
BOAT DOCK	<input checked="" type="checkbox"/>	N	\$ 241.50
BUILDING	<input checked="" type="checkbox"/>	N	\$
WINDOW(S)	<input checked="" type="checkbox"/>	N	\$
DOOR(S)	<input checked="" type="checkbox"/>	N	\$
FENCE	<input checked="" type="checkbox"/>	N	\$
SHED	<input checked="" type="checkbox"/>	N	\$
DRIVEWAY	<input checked="" type="checkbox"/>	N	\$
OTHER	<input checked="" type="checkbox"/>	N	\$

1% BCAIB FEE 2.42
 1.5% DCA FEE 3.62
 TOTAL 412.54

OTHER PERMITS REQUIRED:

ELECTRICAL	Y	NA
PREPOWER	Y	NA
MECHANICAL	Y	NA
PLUMBING	Y	NA
ROOFING	Y	NA
GAS	Y	NA

PAID
2021

157K
 4 x 35
 195616

136
 161 = 2
 80.50
 241.50



City of Belle Isle
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
 Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

Building Permit (Land Use) Application
 To be completed as required by State Statute Section 713 and other applicable sections.

PERMIT # 2021-02-050


Owner's Name OLGA SANCHEZ DE FUENTES
 Owner's Address 1534 HOFFNER AVE. BELLE ISLE FLORIDA

Contractor Name <u>Alberto Sanchez de Fuentes</u>	Company Name <u>ASDF DesignGroup LLC</u>
License # <u>CGC1515393</u>	Company Address <u>1534 Hoffner Avenue</u>
Contact Phone/Cell <u>407 230 7883</u>	City, State, ZIP <u>Belle Isle, FL, 32809</u>
Contact Email <u>asdfsdesigngroup@gmail.com</u>	Contact Fax _____

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations (www.floridabuilding.org) and City Ordinances (www.municode.com) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and /or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ROOFING, ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, SCREEN ENCLOSURES, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner Signature Olga Sanchez de Fuentes
 The foregoing instrument was acknowledged before me this 02/11/2021
 by Olga Sanchez de Fuentes who is personally known to me
 and who produced FL DL 790-0
 as identification and who did not take an oath.
 Notary as to Owner
 State of Florida
 County of Orange


Contractor Signature [Signature]
 COMPANY NAME ASDF DESIGN GROUP LLC
 The foregoing instrument was acknowledged before me this 02/11/2021
 by Alberto Sanchez de Fuentes who is personally known to me
 and who produced FL DL 029 0
 as identification and who did not take an oath.
 Notary as to Contractor
 State of Florida
 County of Orange


Impervious Surface Ratio Worksheet
 Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1A, R-1 per City Code, Section 50-74: Impervious Surface Ratio

1. Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).
 Total Lot Area _____ X 0.35 = _____
 Allowable Impervious Area (BASE) _____

2. Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc.

- House _____
- Driveway _____
- Walkway _____
- Accessory Buildings _____
- Pool & Spa _____
- Deck & Patio _____
- Other _____

Actual Impervious Area (AIA) _____

3. If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.

4. If AIA is greater than BASE, then onsite retention **must be provided**.

Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed

NOT RECALCULATED

roof will be 2021-02-051



Permit Number: _____
Folio/Parcel Identification Number: 18-23-30-5120-01-730
Prepared by: ALBERTO SANCHEZ DE FUENTES
1534 HOFFNER AVENUE
BELLE ISLE FLORIDA 32809
Return to: ALBERTO SANCHEZ DE FUENTES
1534 HOFFNER AVENUE
BELLE ISLE FLORIDA 32809

NOTICE OF COMMENCEMENT

State of Florida, County of Orange

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. **Description of property** (legal description of the property, and street address if available)
J H LIVINGSTONS SUB B/33 B8G NB COR LOT 17 TH RUN S 48 DEG E 864.64 FT 844-28-00W 94.69 FT N44-11-00W 863.26 FT N 46 DEG E 35 FT TO POB & IN BELLEVIEW PLACE L/111 LOTS 1 & 2 BLK A

2. **General description of improvement**
BOAT DOCK

3. **Owner information or Lessee information if the Lessee contracted for the improvement**

Name OLGA SANCHEZ DE FUENTES
Address 1482 GRANDVIEW BLVD KISSIMMEE FL
Interest in Property OWNER
Name and address of fee simple titleholder (if different from Owner listed above)
Name _____
Address _____

4. **Contractor**

Name ASDF DESIGN GROUP LLC Telephone Number 407 230 7883
Address 1534 HOFFNER AVENUE BELLE ISLE FLORIDA

5. **Surety** (if applicable, a copy of the payment bond is attached)

Name NA Telephone Number _____
Address _____ Amount of Bond \$ _____

6. **Lender**

Name NA Telephone Number _____
Address _____

7. **Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by §713.13(1)(a)7, Florida Statutes.**

Name _____ Telephone Number _____
Address _____

8. **In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in §713.13(1)(b), Florida Statutes.**

Name _____ Telephone Number _____
Address _____

9. **Expiration date of notice of commencement** (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified) _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated in it are true to the best of my knowledge and belief.

Olga Sanchez de Fuentes
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager _____ Signatory's Title/Office _____

The foregoing instrument was acknowledged before me this 12th day of Feb 2021 by Olga Sanchez de Fuentes
month/year name of person

as _____ for _____
Type of authority, e.g., officer, trustee, attorney in fact Name of party on behalf of whom instrument was executed

Jennifer Hisson
Signature of Notary Public - State of Florida

Print type or stamp commissioned name of Notary Public
Notary Public State of Florida
Jennifer Hisson
My Commission GG 337473
Expires 05/22/2023

Personally Known _____ OR Produced ID ✓
Type of ID Produced FL DL 7900

Form Revised: September 28, 2011

State of FLORIDA, County of ORANGE.
Per §668.50, F.S., which defines and permits electronic signatures,
I certify that this is a true copy of the document as reflected in the
Official Records.

PHIL DIAMOND, COUNTY COMPTROLLER

Tina Johnson 02/22/2021
Deputy Comptroller Date





City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809

Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleislefl.org

Boat Dock Zoning Review Application

PLEASE REFER TO WWW.MUNICODE.COM FOR CODE COMPLIANCE
SUBMIT LANDUSE APPLICATION WITH THIS FORM

Form with fields: Date (2.19.2021), Permit #, Cost, APPLICANT (OLGA SANCHEZ DE FUENTES), SITE ADDRESS (1534 HOFFNER AVENUE), Mailing Address (1534 HOFFNER AVE.), Land Use Classification (O/30 - SFR - LAKE FRONT), City, State, Zip (BELLE ISLE, FL 32809), Zoning District (R-1-AA), REQUIREMENTS TO BE SUBMITTED WITH APPLICATION, Legal Description LOT (LOTS 1 & 2 (BELUEVIEW PLACE)), Block (BLK A), Subdivision (JH LIVINGSTONS SUB 153 BEG NE COR LOT 17TH RUN S 48 DEG E 884.6 FT S 44-20-00W 94.67 FT N 44-11-00W 868.26)

PROPOSED BOAT DOCK INFORMATION

Length Waterward from 86.9 NHWE Contour Line (87'-1"), Square Footage Waterward from 86.9 NHWE contour line (726 sq ft), Side Setback from Property Line (25'-1"), Total Square Footage (1036 sq ft), Applicant/Agent Signature

- 1. Applicant brings completed application packet to the Building Inspector's (UES) office: a. \$165.00 review fee b. 3 sets of drawings, and 3 boundary surveys c. Land Use Permit App is available on our website www.cityofbelleislefl.org or can be picked up at City Hall - Monday thru Friday from 8:00am to 5:00pm. 2. If the application meets criteria for zoning compliance, UES will forward to the City for zoning review. 3. If the application does not meet the requirements of the Belle Isle Code, (i.e. setbacks, height, etc) the applicant is faxed a copy of the review letter citing the reasons for non-compliance with the Code and is given 2 options: a. Applying for a variance from the City of Belle Isle Planning and Zoning Board b. Revising the drawings to meet the requirements of the Code. 4. City's Planning & Zoning reviews documents and issues one of the following: a. Letter indicating zoning compliance with the Code b. Letter indicating additional documentation is needed and/or reason the application is not in compliance with the Code. 5. If the applicant chooses to apply for the variance, the City provides assistance with the variance process. Please call City Hall at 407-851-7730 for further information and deadline dates. 6. If the applicant chooses to make revisions to the drawings to meet the requirements of the Code, the additional information is reviewed for compliance. Once the application meets criteria for zoning compliance, it will be forwarded to the Building Department for review and completion. The City keeps one complete set of drawings, a copy of the application and the engineering review letter. 7. The Developer or Property Owner must pay all costs and fees associates with the City Engineer's and/or the City Attorney's review of the applicants application and plans.

Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order. PLEASE REFER TO WWW.MUNICODE.COM FOR CODE COMPLIANCE

1036 x 34 = 35,224



CITY OF BELLE ISLE, FLORIDA
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
 Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

POWER OF ATTORNEY

Date: 2/11/2021

Permit #: _____

I hereby name and appoint OLGA SANCHEZ de FUENTES
Alberto Sanchez de Fuentes of
 (print name)

ASDF Design Group LLC to be my lawful attorney-in-fact to act for
 (company name)

me and apply to the City of Belle Isle Building Department for a BOAT DOCK permit
 (type of permit)

for work to be performed at the following location:

1534 Hoffner Ave, Belle Isle, FL 32809 32812 and
 (street address)

to sign my name and do all things necessary to this appointment.

Certified Contractor's Printed Name: Alberto Sanchez de Fuentes

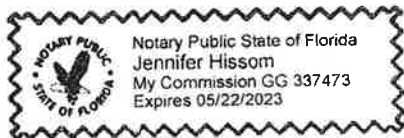
License Number: CGC1515393

Certified Contractor's Signature: [Signature]

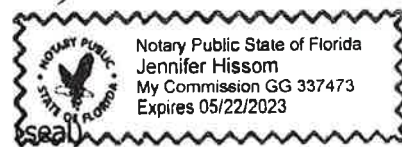
The foregoing instrument was acknowledged before me this 12th days of February of 2021
 by Alberto Sanchez de Fuentes who is personally known to me or who produced
FL DL 029-0 as identification and who did not take an oath.

State of Florida
 County of Orange

Jennifer Hissom
 Notary Public, Orange County, Florida



Olga Sanchez de Fuentes 2-12-21
 (owner)



STATE OF FLORIDA
 COUNTY OF Orange

The foregoing instrument was acknowledged before
 me this 12th day of Feb, 2021, by Olga Sanchez
Jennifer Hissom Jennifer Hissom
 Notary Public's Signature Notary Name
 Personally Known OR
 Type of Identification Produced FL DL HISSOM



ORANGE COUNTY PROPERTY APPRAISER

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1534 Hoffner Ave < 18-23-30-5120-01-730 >

Name(s)	Physical Street Address
Sanchez De Fuentes Alberto S	1534 Hoffner Ave
Sanchez De Fuentes Olga A	Postal City and Zipcode
Mailing Address On File	Orlando, FL 32809
1482 Grandview Blvd	Property Use
Kissimmee, FL 34744-6615	0130 - Sfr - Lake Front
Incorrect Mailing Address?	Municipality
	Belle Isle



View 2020 Property Record Card

- [Property Features](#)
- [Values, Exemptions and Taxes](#)
- [Sales Analysis](#)
- [Location Info](#)
- [Market Stats](#)
- [Update Information](#)

Parcel Sales History

Sale Date	Sale Amount	Instrument #	Book/Page	Seller(s)	Buyer(s)	Deed Code	Vac/Imp
09/11/2019	\$900,000	20190562818	/	Robinson Family Trust	Sanchez De Fuentes Alberto S Sanchez De Fuentes Olga A	Warranty Deed	Improved
07/16/2008	\$100	20080437805	09733 / 3921	Robinson J C Robinson Elizabeth T	Robinson James C Tr Robinson Elizabeth T Tr	Miscellaneous Multiple	Improved

Sales In Subdivision Within Last 1 Year

[Sales Analysis Tool](#)

	Address	Sale Date	Sale Amount	\$/SQFT	Deed Code	Beds/Baths	Instrument #	Book/Page
	1724 Hoffner Ave	01/22/2021	\$1,250,000	\$349	Warranty Deed	5/4	20210061225	/
	2221 Hoffner Ave	09/09/2020	\$660,000	\$344	Warranty Deed	3/3	20200501514	/
	1215 Hoffner Ave	07/15/2020	\$183,000	\$115	Warranty Deed	3/2	20200385164	/

This Data Printed on 03/26/2021 and System Data Last Refreshed on 03/25/2021



FLORIDA DEPARTMENT OF
Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

**CONDITIONS FOR DEPARTMENT OF THE ARMY SELF-CERTIFIED STATE
PROGRAMMATIC GENERAL PERMIT FOR A PROJECT AT A PRIVATE, SINGLE-FAMILY
RESIDENCE**

Self Certification File No.: **0382108001EE**

Verification that the project meets the Project Design Criteria:

You have verified that the project meets the Project Design Criteria (attached in a separate document), and have authorized FDEP to send a copy of this verification to the Corps on your behalf.

General Conditions:

1. The time limit for completing the work authorized on July 26, 2021.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit, you must obtain the signature of the new owner on the enclosed form and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit.
6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Further Information:

1. Limits of this authorization:
 - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b. This permit does not grant any property rights or exclusive privileges.
 - c. This permit does not authorize any injury to the property or rights of others.
 - d. This permit does not authorize interference with any existing or proposed Federal projects.
2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any

liability for the following:

- a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
 - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - d. Design or Construction deficiencies associated with the permitted work.
 - e. Damage claims associated with any future modification, suspension, or revocation of this permit.
3. **Reliance on Applicant's Data:** The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.
 4. **Reevaluation of Permit Decision:** This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (see 3 above).
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
 5. Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CER 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.
 6. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form.
 7. The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the U.S. Army Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal, relocation or alteration.

Manatee Conditions:

1. All personnel associated with the project will be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee will advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
2. All vessels associated with the construction project will operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
3. Siltation or turbidity barriers will be made of material in which manatees cannot become entangled, will be properly secured, and will be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.

4. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
5. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at **ImperiledSpecies@myFWC.com**.
6. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads Caution: Boaters must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.



FLORIDA DEPARTMENT OF
Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

TERMS AND CONDITIONS

Self Certification File No.: **0382108001EE**

Construction Conditions:

Private residential single family docks are subject to the following criteria in accordance with Section 403.813(1)(b), F.S. The dock to be constructed:

1. Has 1,000 square feet or less over water surface (includes adjacent wetlands) in accordance with Chapter 62-340, F.A.C.;
2. Is constructed on or held in place by pilings and is constructed so as not to involve filling or dredging other than that necessary to install the pilings;
3. Will not substantially impede the flow of water, cause water pollution, or create a navigational hazard;
4. Is used ONLY for recreational, noncommercial activities associated with the mooring or storage of boats and boat paraphernalia;
5. Is the sole dock on the parcel; and
6. Must not be subject to any conservation easement or restrictive covenant of record prohibiting the activity.

Boat lifts are subject to the following additional conditions:

1. Is to be installed in a proposed slip or, at or adjacent to the waterward end of the dock;
2. With other mooring will not result in the mooring of more than two vessels (including jet skis);
3. Will not substantially impede the flow of water, cause water pollution, or create a navigational hazard;
4. Will not be located in areas prohibited for mooring by a previously issued permit or other form of authorization issued by a local government;

General Conditions for Sovereignty/State-Owned Submerged Lands Authorizations:

Any use of sovereignty/state-owned submerged lands is subject to the following general conditions that are binding upon the applicant and are enforceable under Chapters 253, F.S. or 258, F.S.

1. Sovereignty/state-owned submerged lands may be used only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use will constitute a violation. Violation of the authorization will result in suspension or revocation of the applicant's use of the sovereignty/state-owned submerged lands unless cured to the satisfaction of the Board of Trustees of the Internal Improvement Trust Fund (Board).
2. Authorization under Rule 18-21.005, F.A.C., conveys no title to sovereignty/state-owned submerged

lands or water column, nor does it constitute recognition or acknowledgment of any other person's title to such land or water.

3. Authorizations under Rule 18-21.005, F.A.C., may be modified, suspended or revoked in accordance with its terms or the remedies provided in Sections 253.04, F.S. or Chapter 18-14, F.A.C.
4. Structures or activities will be constructed and used to avoid or minimize adverse impacts to resources.
5. Construction, use, or operation of the structure or activity will not adversely affect any species which is endangered, threatened or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.;
6. Structures or activities will not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity will be modified in accordance with the court's decision.
7. Structures or activities will not create a navigational hazard.
8. Structures will be maintained in a functional condition and will be repaired or removed if they become dilapidated to such an extent that they are no longer functional.
9. Structures or activities will be constructed, operated, and maintained solely for water dependent purposes.
10. The applicant agrees to indemnify, defend and hold harmless the Board and the State of Florida from all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty/state-owned submerged lands or the applicant's use and construction of structures on sovereignty/state-owned submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.
11. Failure by the Board to enforce any violation of the authorization or waiver by the Board of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure or waiver prevent the Board from enforcing the waived or unenforced provision in the event of a future violation of that provision.
12. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.
13. All costs incurred by the Board in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board in writing of any change of address at least ten days before the change becomes effective.
14. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant of record that prohibits the activity.

Manatee Conditions:

The following conditions are intended to protect manatees from direct project effects; THESE CONDITIONS APPLY ONLY IN WATERS THAT ARE ACCESSIBLE TO MANATEES:

1. All personnel associated with the project will be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee will advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
2. All vessels associated with the construction project will operate at 'Idle Speed/No Wake' at all times

- while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
3. Siltation or turbidity barriers will be made of material in which manatees cannot become entangled, will be properly secured, and will be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
 4. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
 5. Any collision with or injury to a manatee will be reported immediately to the FWC Hotline at 1-888-404-FWCC. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida.
 6. Temporary signs concerning manatees will be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Awareness signs that have already been approved for this use by the Florida Fish and Wildlife Conservation Commission (FWC) must be used (see MyFWC.com). One sign which reads Caution: Boaters must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for 'Idle Speed/No Wake' and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities.

Self-Certification Requirements:

The user agrees to the following:

1. The information provided herein is true and accurate.
2. **Construction of the project must be completed within one year from the self-certification date.** If the project cannot be completed within that time frame, or the project is to be modified, the Department must be contacted for authorization requirements.
3. Any substantial modifications in the plans for this project must be submitted to the Department for review, as changes may result in a permit being required.
4. This self-certification will automatically expire if site conditions materially change; if the terms, conditions, and limitations of the self-certification are not followed; or if the governing statutes or rules are amended before the project is completed.
5. Department personnel will be allowed to enter the property for purposes of inspecting the project for compliance with the terms and conditions of this self-certification.

FDEP ERP Self-Certification Receipt

1 message

no-reply@dep.state.fl.us <no-reply@dep.state.fl.us>

Thu, Nov 14, 2019 at 1:35 PM

To: albertosdf@gmail.com

Cc: SPGP@usace.army.mil, ERICA.GOSHLESKI@dep.state.fl.us, ERP.SELFCERTS@dep.state.fl.us, CORPSJAXREG@usace.army.mil, NMFS.SER.PROGRAMMATICREVIEW@noaa.gov

DEP Logo

FLORIDA DEPARTMENT OF Environmental Protection

Ron DeSantis

Governor

Jeanette Nuñez

Lt. Governor

Noah Valenstein

Secretary

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Receipt for Submission

SELF-CERTIFICATION FOR A PROJECT AT A PRIVATE, RESIDENTIAL SINGLE-FAMILY

11/14/2019

Self-Certification File No.: 0382108001EE

File Name: 1534 Hoffner Ave Belle Isle, FL 32809 - Self Cert Exempt Dock with Boat Lift(s) (General)

Dear **Alberto Sanchez de Fuentes**: On 11/14/2019 you used the Florida Department of Environmental Protection's electronic Self Certification Process to certify compliance with the terms and conditions of the Federal State Programmatic General Permit (SPGP) Self Certification Process for a project at private, single-family residence located at:

LAT - Degrees: 28 Minutes: 28 Seconds: 27.3976
LONG - Degrees: -81 Minutes: 21 Seconds: 27.2948
SITE ADDRESS: 1534 Hoffner Ave Belle Isle, FL 32809
COUNTY: Orange

For:

Alberto Sanchez de Fuentes
1534 Hoffner Ave Orlando, FL 32809

You have certified that the project you propose to construct at the above location meets all the conditions of the Self-Certification Process. A project that is built in conformance to those conditions (attached for reference) will:

1. Qualify for a regulatory exemption under Section 403.813(1)(b) of the Florida Statutes (F.S.) and Chapter 62-330, Florida Administrative Code (F.A.C.). As such, it is exempt from the need to obtain a DEP Environmental Resource Permit;
2. Qualify for Consent by Rule or Letter of Consent (as applicable) under Chapter 253, F.S. and Chapter 18-21, F.A.C. (and Chapter 258, F.S. and Chapter 18-20, F.A.C., if applicable), when the project is located on submerged lands owned by the State of Florida.

Your Self-Certification is based solely on the information you provided under this process, and applies only to the statutes and rules in effect when your certification was completed. The certification is effective only for the specific project proposed, and only if the project is constructed, operated, and maintained in conformance with all the terms, conditions, and limitations stated in the Self-Certification Process. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required.

You have acknowledged that this Self Certification will automatically expire if:

1. Construction of the project is not completed within one year from the self-certification date;
2. site conditions materially change;
3. the terms, conditions, and limitations of the Self Certification are not followed; or
4. the governing statutes or rules are amended before construction of the project.

Completion of the Self Certification constitutes your authorization for Department or Corps personnel to enter the property for purposes of inspecting for compliance.

Receipt of this Self-Certification constitutes authorization to use sovereignty/state-owned submerged lands, as required by rule 18-21.005, F.A.C.

The authorization must be visibly posted during all construction activities.

In waters that are accessible to manatees, obtain information on your mandatory Manatee Protection sign by clicking [here](#).

FEDERAL STATE PROGRAMMATIC GENERAL PERMIT (SPGP)

You have certified that the project you propose to construct at the above location meets all the conditions of the SPGP Self-Certification Process and will be built in conformance to those conditions (attached for reference). Your proposed activity as certified is in compliance with the SPGP program. U.S. Army Corps of Engineers (Corps) Specific conditions apply to your project, attached. **No further permitting for this activity is required by the Corps. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.**

Notifications to the Corps. For all authorizations under this SPGP V-R1, including Self-Certifications, the Permittee shall provide the following notifications to the Corps:

- a. Commencement Notification. Within 10 days before the date of initiating the work authorized by this permit or for each phase of the authorized project, the Permittee shall provide a written notification of the date of commencement of authorized work to the Corps
- b. Corps Self-Certification Statement of Compliance form. Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the "Self-Certification Statement of Compliance" form (attached) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the "Self-Certification Statement of Compliance" form. The description of any deviations on the "Self-Certification Statement of Compliance" form does not constitute approval of any deviations by the Corps.
- c. Permit Transfer. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form.
- d. Reporting Address. The Permittee shall submit all reports, notifications, documentation, and correspondence required by the general and special conditions of this permit to the following address.
 1. For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL, 32232-0019.
 2. For electronic mail: SAJ-RD-Enforcement@usace.army.mil (not to exceed 10 MB). The Permittee shall reference this permit number, SAJ-2015-2575 on all submittals.

This SPGP Self-Certification is based solely on the information you provided under this process, and applies only to the statutes and rules in effect when your certification was completed. You have recognized that your certification is effective only for the specific project proposed, and provided the project is constructed, operated, and maintained in conformance with all the terms, conditions, and limitations stated in the SPGP Self-Certification Process. This Self-Certification will not apply if any substantial modifications are made to the project. You agree to contact the Department for review of any plans to construct additional structures or to modify the project, as changes may result in a permit being required.

You have acknowledged that this Self-Certification will automatically expire if:

1. construction of the project is not completed by midnight, July 25, 2021, unless construction commenced or a contract to construct was executed before July 25, 2021, in which case the time limit for completing the work authorized by the SPGP ends at midnight, July 25, 2022. However, in no case can construction continue for more than one year beyond the Self-Certification date;
2. site conditions materially change;
3. the terms, conditions, and limitations of the Self-Certification are not followed; or

4. the governing statutes or rules are amended before construction of the project.

Completion of the Self-Certification constitutes your authorization for Department or Corps personnel to enter the property for purposes of inspecting for compliance.

If you have any questions, please contact your local Department District Office. Contact information can be found at: https://floridadep.gov/sites/default/files/SLERC_contacts_web_map_01-2017_0.pdf.

For further information, contact the Corps directly at: <http://www.saj.usace.army.mil/Missions/Regulatory.aspx>. When referring to your project, please use the SPGP Self-Certification file number listed above.

Authority for review - an agreement with the U.S. Army Corps of Engineers entitled Coordination Agreement between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.

ADDITIONAL INFORMATION

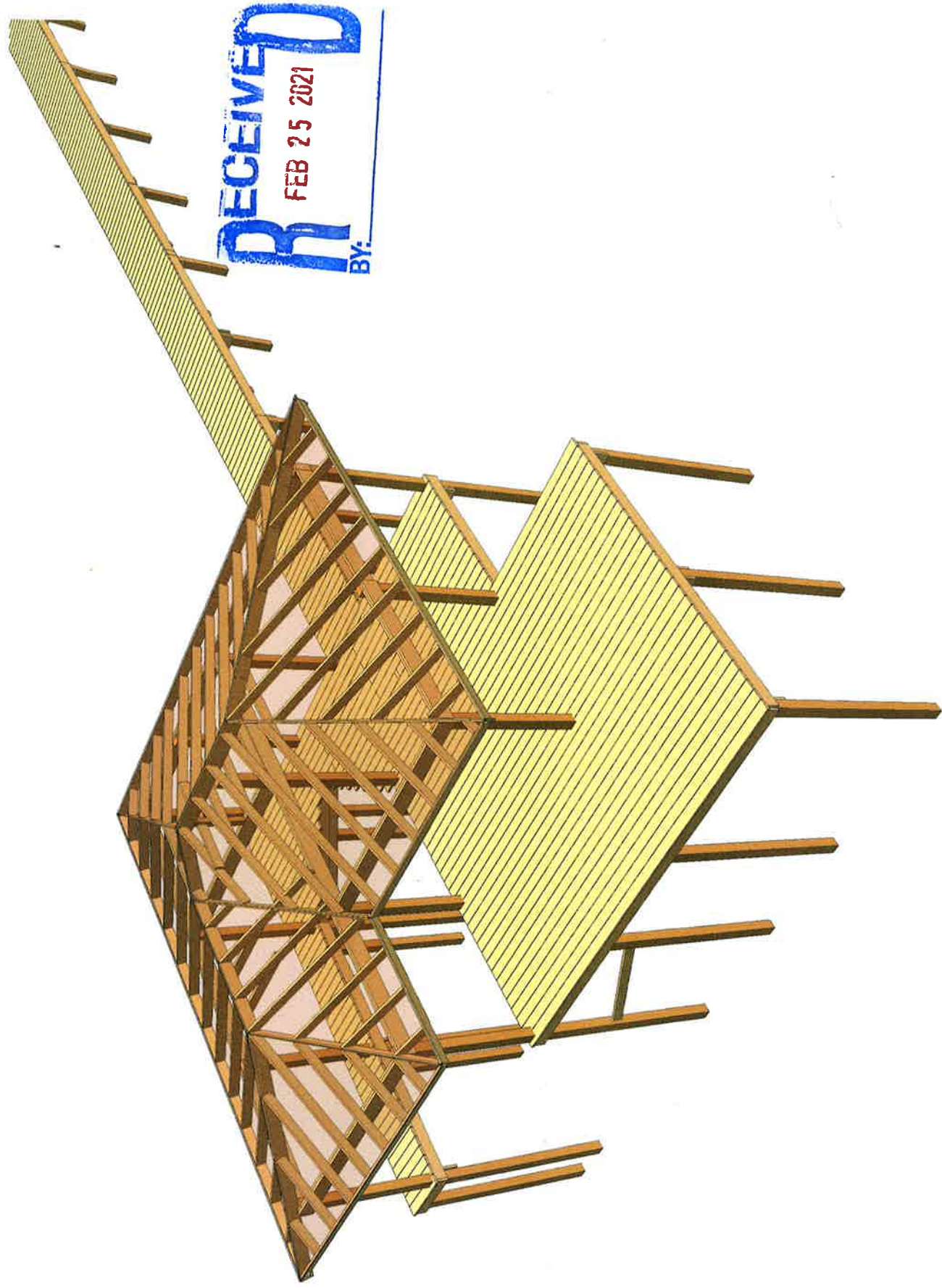
This Self-Certification Process does not relieve you from the responsibility of obtaining other permits or authorizations from other agencies (federal, state, Water Management District, or local) that may be required for the project. Failure to obtain all applicable authorizations prior to construction of the project may result in enforcement.

If you have any problems with the attached documents, please call the ERP Coordinator at (850) 245-8495 or by e-mail at ERP_eApps@dep.state.fl.us.

Sincerely,
Florida Department of Environmental Protection.

Attachments:

FDEP Terms and Conditions
SPGP Terms and Conditions
Project Design Criteria



PERSPECTIVE VIEW - FOR REFERENCE ONLY

FLORIDA STATUTE REQUIRED STATEMENT - CHAPTER 553.79 (1) (d). TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY, IN ACCORDANCE WITH CHAPTER 553.79 AND CHAPTER 633 OF THE FLORIDA STATUTES.

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AND SHALL NOTIFY THE ARCHITECT OF ANY ERROR, INCONSISTENCY PRIOR TO BIDDING AND/OR PROCEEDING WITH THE WORK.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.
3. THE CONTRACTOR IS TO HAVE INSPECTED THE SITE AND REVIEW ALL EXISTING CONSTRUCTION CONDITIONS PRIOR TO PRICING. FAILURE OF THE CONTRACTOR TO INSPECT EXISTING CONDITIONS SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION WITH RESPECT TO HIS WORK.
4. THE CONTRACTOR IS TO BE THOROUGHLY FAMILIAR WITH THE PLANS, SPECIFICATIONS, AND DOCUMENTS. THE FAILURE OR OMISSION OF ANY CONTRACTOR TO EXAMINE ANY FORM, INSTRUMENT, OR DOCUMENT, SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION WITH RESPECT TO HIS WORK.
5. THE CONTRACTOR SHALL AT ALL TIMES ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG THE CONTRACTOR'S EMPLOYEES AND SHALL NOT EMPLOY ON THE WORK ANY UNFIT PERSON OR ANYONE NOT SKILLED IN THE TASK ASSIGNED THEM.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND SHALL COORDINATE ALL PORTIONS OF THE WORK.
7. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, CODES, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
8. THE ARCHITECT/OWNER RESERVES THE RIGHT TO REJECT ITEMS INCORPORATED INTO THE WORK, WHICH FAIL TO MEET THE SPECIFIED MINIMUM REQUIREMENTS. THE ARCHITECT FURTHER RESERVES THE RIGHT, AND WITH OUT PREJUDICE TO OTHER RECOURSE THE ARCHITECT MAY TAKE, TO ACCEPT NON-COMPLYING ITEMS SUBJECT TO AN ADJUSTMENT IN THE CONTRACT AMOUNT AS APPROVED BY THE ARCHITECT AND THE OWNER.
9. THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ALL WORK NOT CONFORMING TO THESE REQUIREMENTS, INCLUDING SUBSTITUTIONS NOT PROPERLY APPROVED AND AUTHORIZED, MAY BE CONSIDERED DEFECTIVE. MATERIALS AND EQUIPMENT SPECIFIED FOR REUSE ARE TO BE PROPERLY CLEANED AND RECONDITIONED PRIOR TO REINSTALLATION.
10. ALL DIMENSIONS INDICATED "CLR" TO BE MAINTAINED AS CLEAR FINISHED DIMENSIONS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE DONE TO PROPERTY BY PERSONS IN HIS EMPLOY OR IN THE EMPLOY OF HIS SUBCONTRACTORS.
12. PROTECT ALL WORK FROM DAMAGE THAT IS TO REMAIN IN PLACE. USE BARRICADES, TARPAULIN, TEMPORARY WALLS, PLYWOOD, PLANKING, MASKING, OR OTHER SUITABLE MEANS AND METHODS AS APPROVED.
13. THE CONTRACTOR SHALL MAINTAIN THE PREMISES IN A CLEAN & ORDERLY FASHION DURING THE ENTIRE CONSTRUCTION PERIOD, REMOVING ALL TRASH & DEBRIS AS REQUIRED.

DRAWING SHEET INDEX

SHEET NO.#	COVER SHEET	SHEET NAME	REVISION NO.
A-00	COVER SHEET		
A-01	SITE PLAN - A		
A-02	SITE PLAN - B		
A-03A	FLOOR FRAMING PLAN		
A-03B	FLOOR FRAMING PLAN		
A-04	ROOF PLAN AND SECTION DETAIL		
A-05	ELEVATIONS		
A-06	DOCK SECTION AND DETAILS		
A-07	SPECIFICATIONS AND DETAILS		

APPLICABLE CODES:

- 2020 FLORIDA BUILDING CODE 7th EDITION
- 2020 FLORIDA BUILDING CODE EXISTING BUILDING 7th EDITION
- 2020 FLORIDA BUILDING CODE RESIDENTIAL 7th EDITION
- 2017 FLORIDA NATIONAL ELECTRICAL CODE (NEC) NFPA 70
- ASCE 7-10 - MINIMUM DESIGN LOADS AND ASSOCIATED CRITERIA FOR BUILDINGS AND OTHER STRUCTURES
- CODE OF ORDINANCES - CITY OF BELLE ISLE, FLORIDA



Reviewed for Compliance
 ARCHITECT
 ALBERTO SANCHEZ DE FUENTES
 #AA AR93925
 3714 WYLDWOOD LANE
 ORLANDO, FL 32806

COVER SHEET

SANCHEZ DE FUENTES BOAT DOCK

1534 HOFFNER AVENUE
 BELLE ISLE, FL 32809

A-00 02/07/21 2021-001

SITE PLAN PART -1A-01
BLOCK B
MATCHLINE

LOT 6 LOT 5 LOT 4 LOT 3 LOT 2

IVE

ACE
PAGE 111

BLOCK A

RIVEWAY

11' W DESCRIPTION 863.26'
2'49'21" W 881.38'

LIVINGSTON'S
AGE 33



Reviewed For Code Compliance
Universal Engineering Science
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ARCHITECT
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3714 WYLDWOOD LANE
ORLANDO, FL 32806

SITE PLAN - A
0 40 80 FT
A-01
02/07/21
2021-001

SANCHEZ DE FUENTES BOAT DOCK

1534 HOFFNER AVENUE
BELLE ISLE, FL 32809

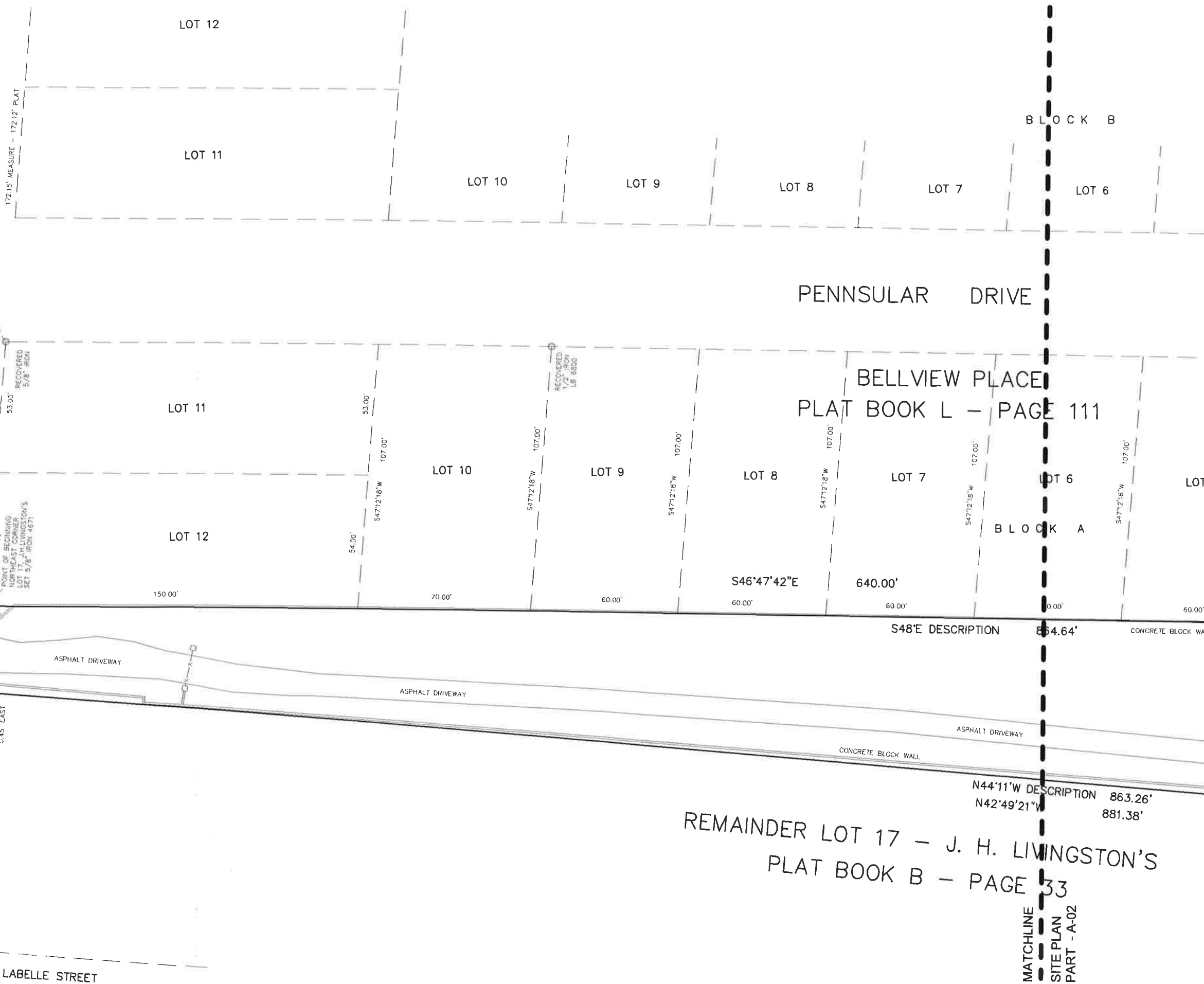
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FOR INFORMATION PURPOSES ONLY - NO WORK TO BE COMPLETED IN THIS AREA

N46°E DESCRIPTION

HOFFNER AVENUE

LABELLE STREET



Review of Plans
 Compliance
 Universal Engineering Science, Inc.
 ARCHITECT
 ALBERTO SANCHEZ DE FUENTES
 #AA AR93925
 3714 WYLDWOOD LANE
 ORLANDO, FL 32806

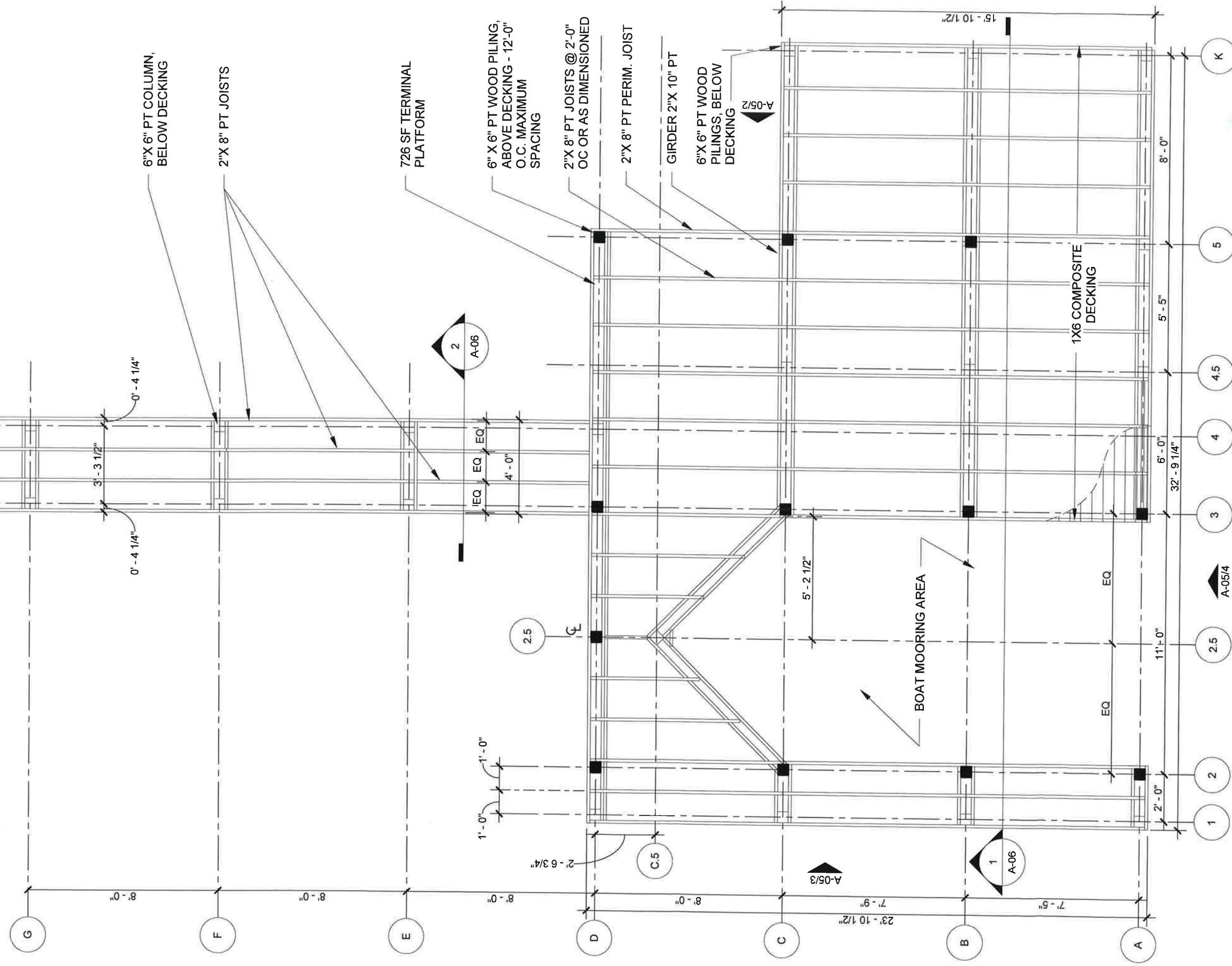
SITE PLAN - B
 0 40 80 FT
 A-02
 02/07/21 2021-001

SANCHEZ DE FUENTES BOAT DOCK

1534 HOFFNER AVENUE
 BELLE ISLE, FL 32809

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FLOOR FRAMING PLAN A-03B
MATCHLINE



Review for Compliance
University of Central Florida
Engineering Sciences

ARCHITECT
ALBERTO SANCHEZ DE FUENTES
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3714 WYLDWOOD LANE
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FLOOR FRAMING PLAN



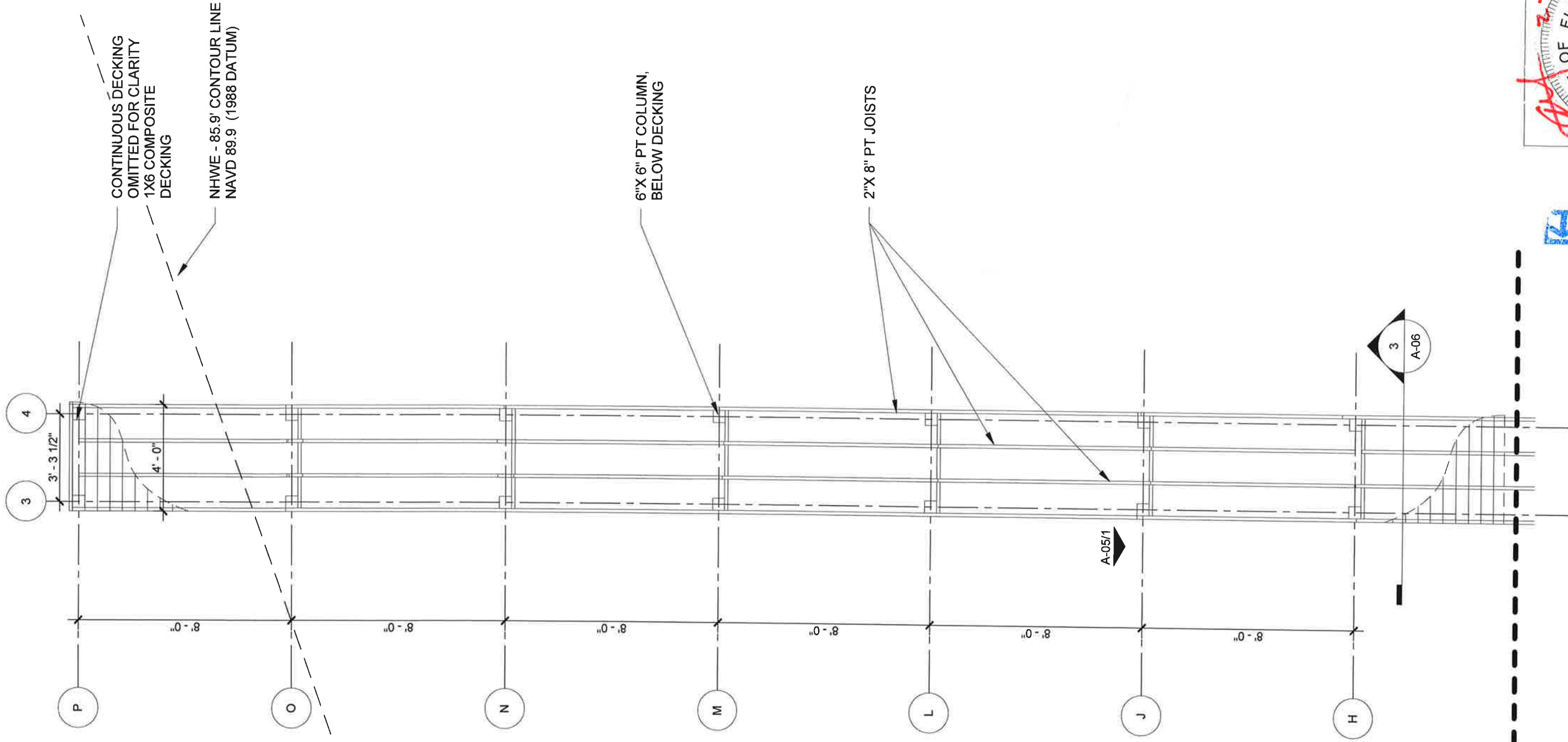
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02/07/21

2021-001

SANCHEZ DE FUENTES BOAT DOCK

1534 HOFFNER AVENUE
BELLE ISLE, FL 32809



MATCHLINE
 FLOOR FRAMING PLAN A-03A

FLOOR FRAMING PLAN

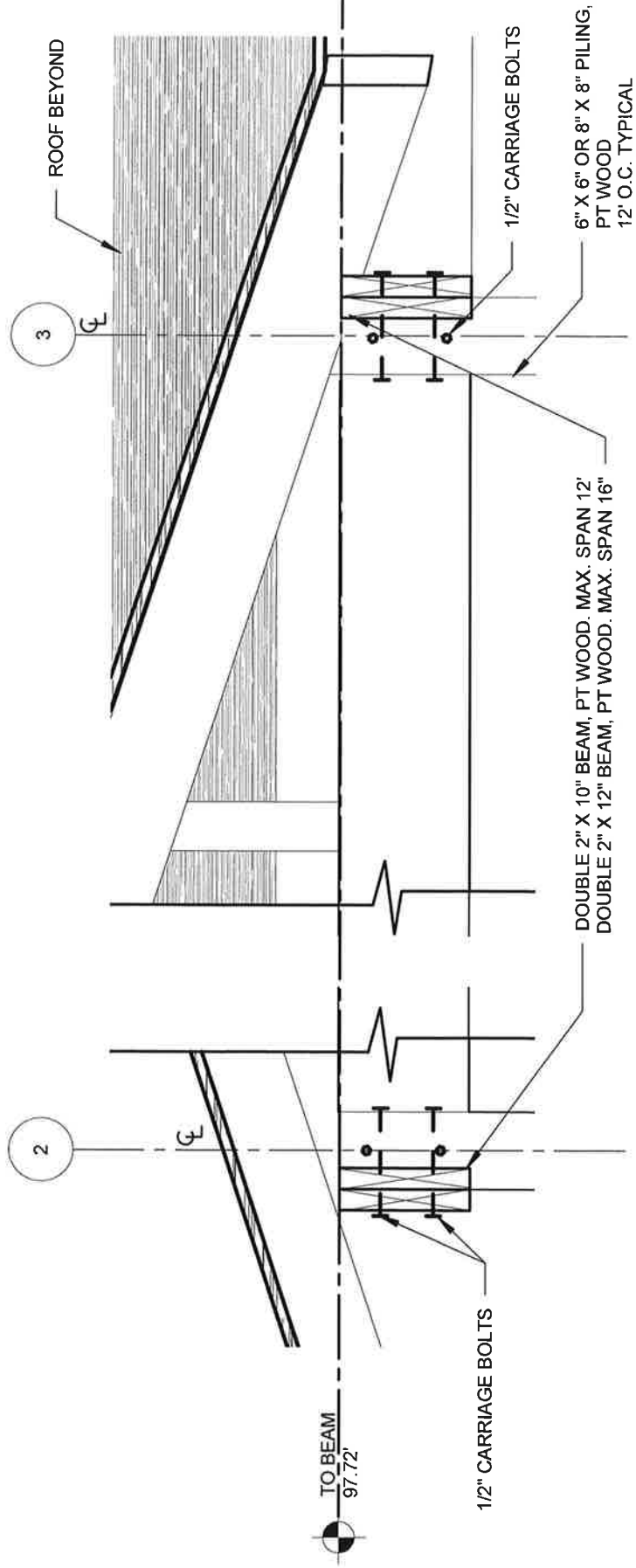


SANCHEZ DE FUENTES BOAT DOCK

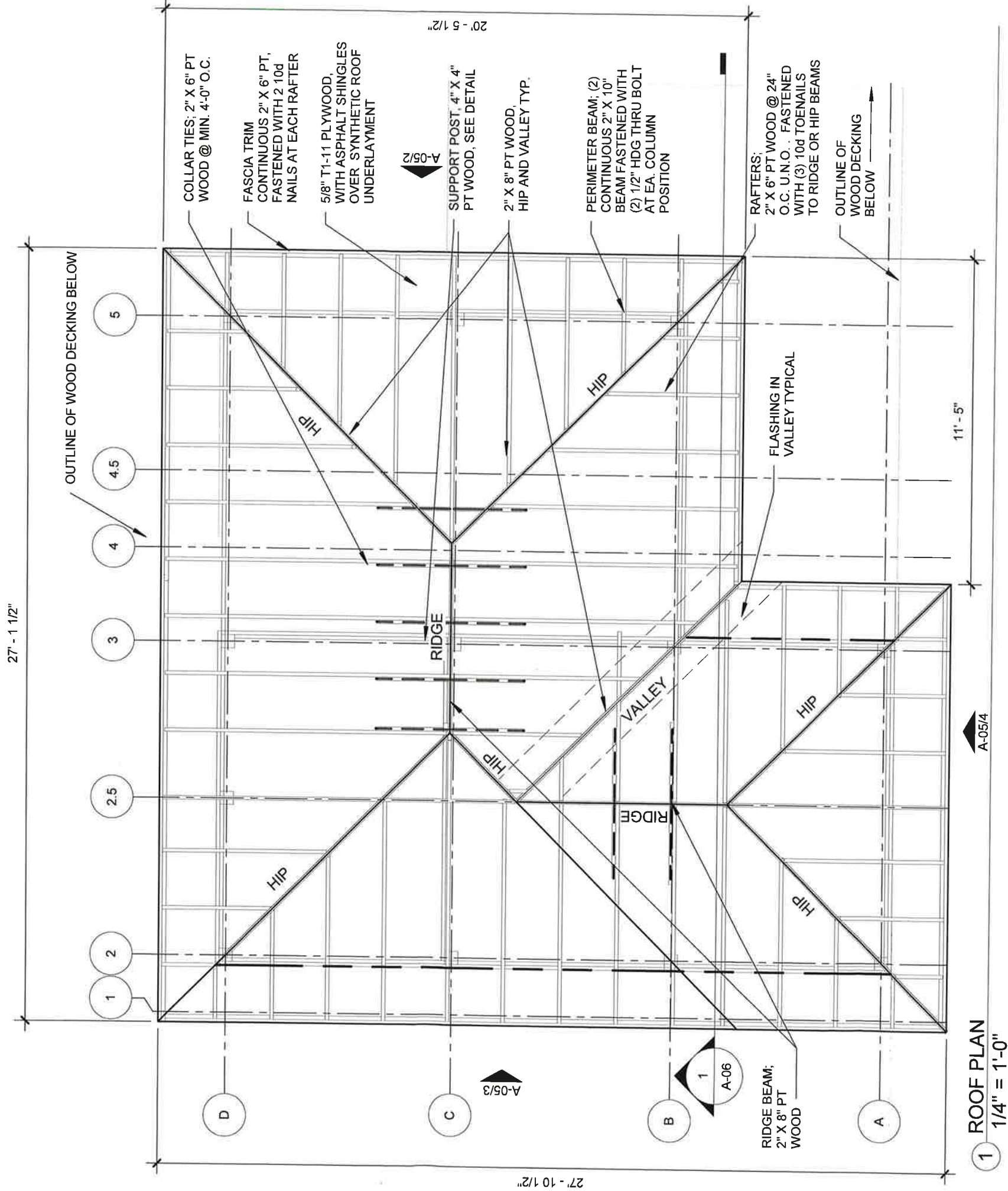
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 3714 WYLDWOOD LANE
 ORLANDO, FL 32806





2 SECTION DETAIL AT PERIMETER BEAM
1" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"

MAILING SCHEDULE:

ROOF SHEATHING - 1/2" CDX APA RATED PLYWOOD W/ 8d SINKER NAILS @ 6" O.C. AT SUPPORTED PANEL EDGES & 8" O.C. IN THE FIELD
 SIMPSON H2.5Z - FOUR 8d X 1 1/2" NAILS TO RAFTERS AND BEAMS
 SIMPSON LUS26Z - FOUR 8d X 1 1/2" NAILS TO HEADERS AND JOISTS

FRAMING:

2" X 6" RAFTERS 2' O.C. W/(4) 10d TOE NAILS TO HIP AND RIDGE
 2" X 8" HIP AND VALLEYS W/(4) 10d TOE NAILS EA END
 2" X 6" COLLAR TIES W/(4) 10d NAILS EA END
 2" X 6" FASCIA W/(2) 10d NAILS TO RAFTERS
 (2) 2" X 10" PERIMETER BEAM W/(2) 1/2" HDG THRU BOLT



ROOF PLAN AND SECTION DETAIL

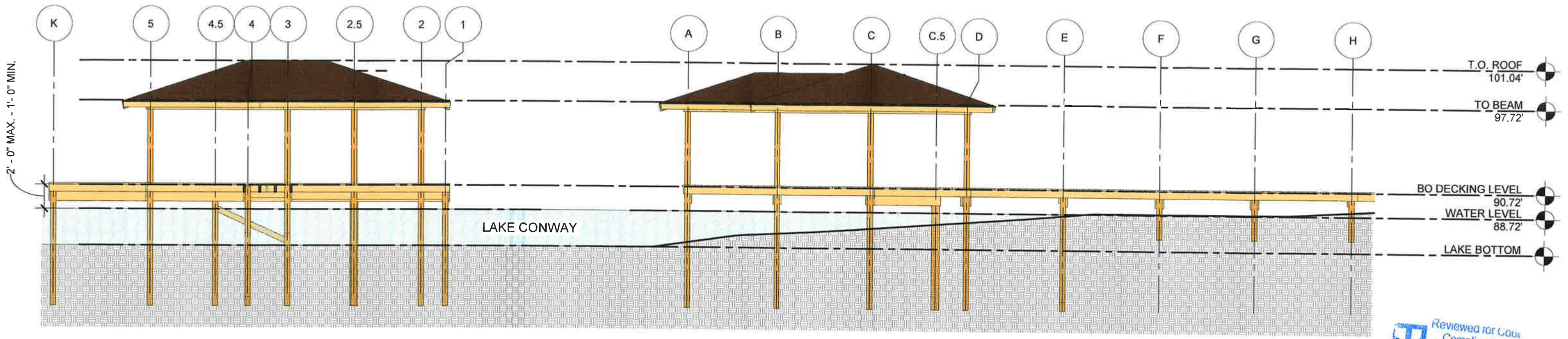
0	4	8 FT	2021-001
A-04		02/07/21	

SANCHEZ DE FUENTES BOAT DOCK

1534 HOFFNER AVENUE
 BELLE ISLE, FL 32809

ARCHITECT
 ALBERTO SANCHEZ DE FUENTES
 #AA AR93925
 3714 WYLDWOOD LANE
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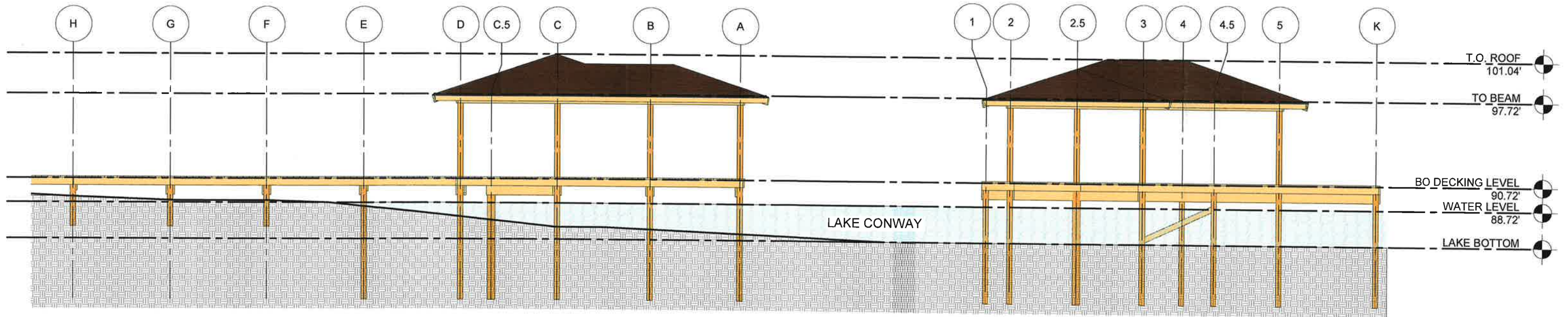
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Reviewed for Code Compliance
 Universal Engineering Sciences

1 NORTH ELEVATION
 1/8" = 1'-0"

2 EAST ELEVATION
 1/8" = 1'-0"



3 WEST ELEVATION
 1/8" = 1'-0"

4 SOUTH ELEVATION
 1/8" = 1'-0"

THE NHWE OF LAKE CONWAY WAS 85.9, NAVD 1988 DATUM

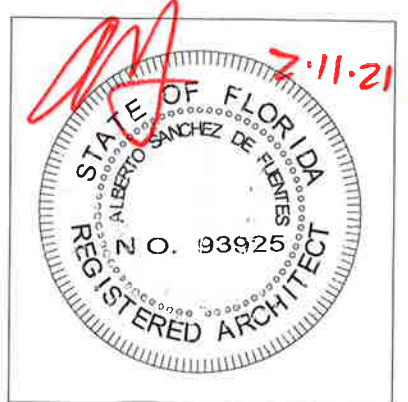
SANCHEZ DE FUENTES BOAT DOCK

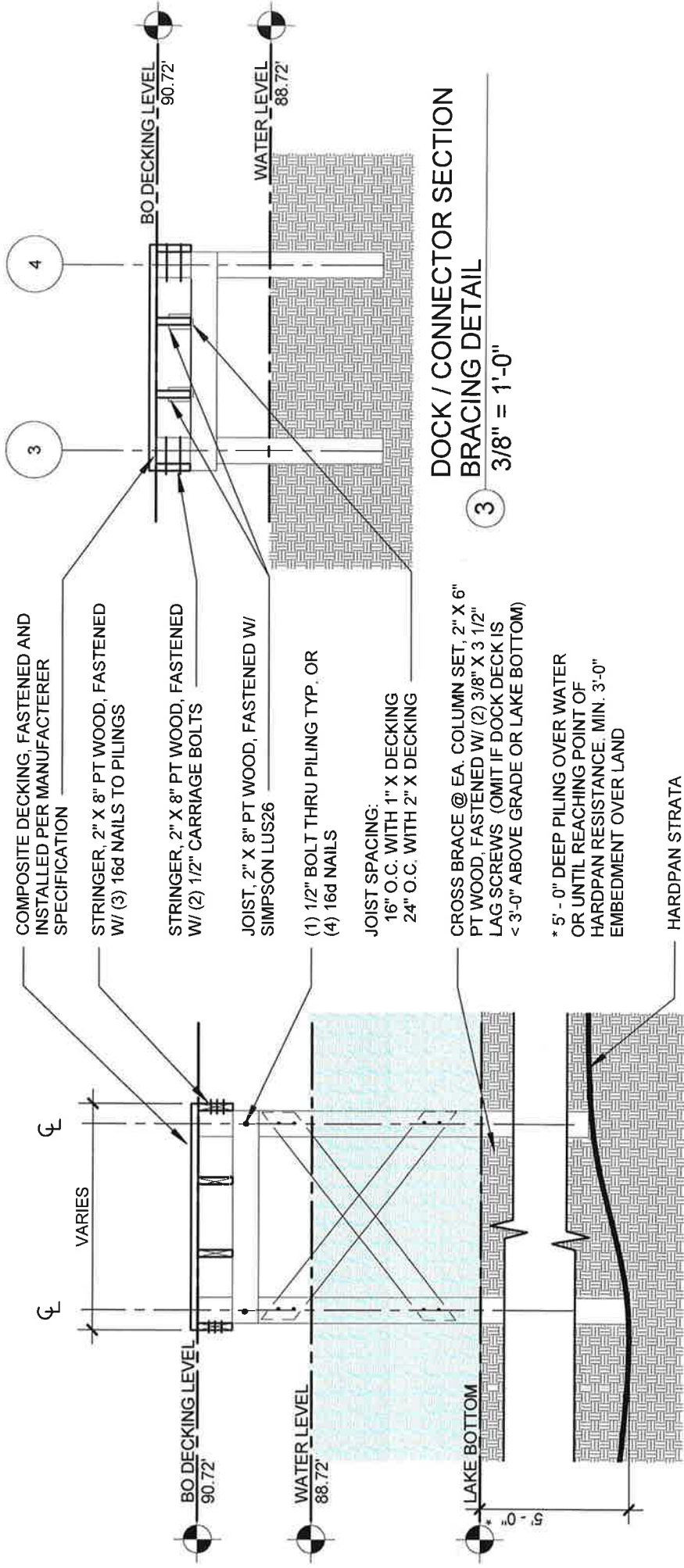
1534 HOFFNER AVENUE
 BELLE ISLE, FL 32809

ELEVATIONS

0	8	16 FT
A-05	02/07/21	2021-001

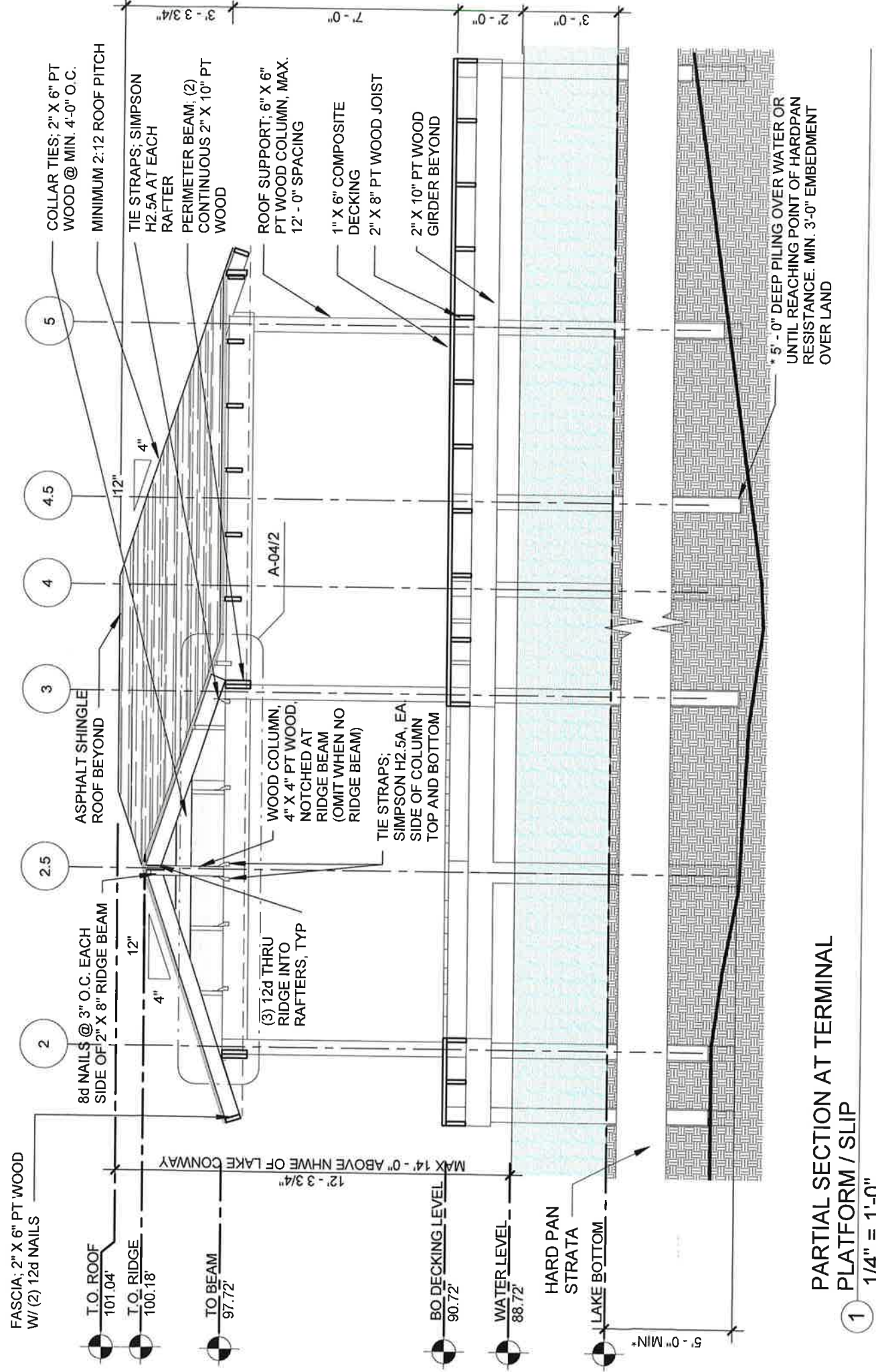
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DOCK / CONNECTOR SECTION BRACING DETAIL
 3 3/8" = 1'-0"

2 STEPPED FRAMING DETAIL
 3/8" = 1'-0"



PARTIAL SECTION AT TERMINAL PLATFORM / SLIP
 1 1/4" = 1'-0"



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 Universal
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DOCK SECTION AND DETAILS

SANCHEZ DE FUENTES BOAT DOCK

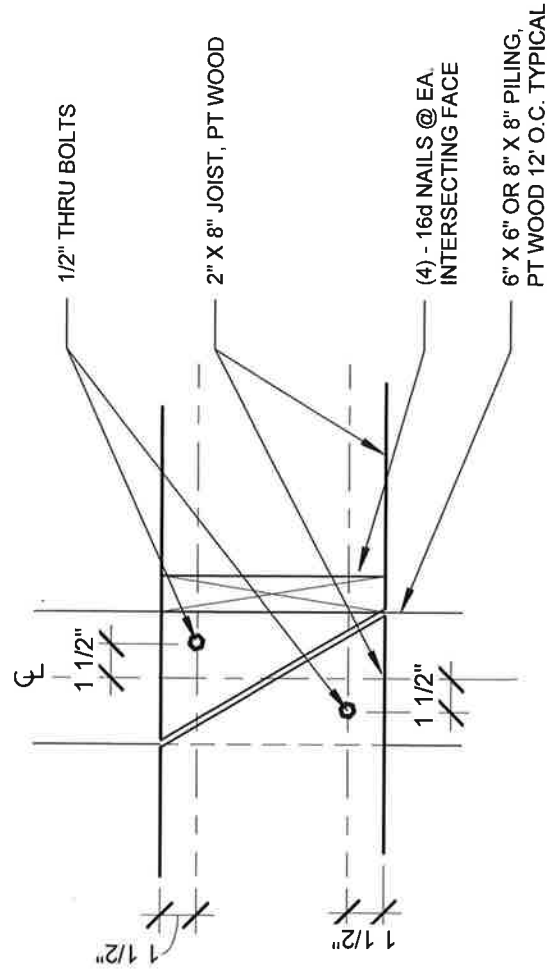
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A-06

02/07/21

2021-001

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① **FRAMING SPLICE (AS NEEDED)**
 1 1/2" = 1'-0"

WOOD FRAMING:
 DESIGN IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, WITH LOADING IN ACCORDANCE WITH THE FLORIDA BUILDING CODE. ALL GRADED STRUCTURAL LUMBER SHALL BE PRESSURE TREATED AND MEET THE FOLLOWING MINIMUM REQUIREMENTS:

- CONTRACTOR MAY USE SOUTHERN YELLOW PINE NO. 2 U.N.C.
- MINIMUM BENDING STRESS = 1250 PSI (NO. 1 DENSE SOUTHERN PINE)
- YOUNG MODULUS = 1600 KSI
- MAXIMUM 15% MOISTURE CONTENT

LUMBER SIZES SHOWN ARE NOMINAL SIZES. LUMBER SHALL BE FURNISHED IN FINISHED SIZES MEETING THE REQUIREMENT OF THE AMERICAN SOFTWOOD LUMBER STANDARD.

WOOD DECKING SHALL BE ATTACHED TO EACH SUPPORTING MEMBER WITH NOT LESS THAN (2) 8d X 1 1/2" THREADED NAILS OR (2) NO.# 8 WOOD SCREWS. MAXIMUM ALLOWABLE SPACING SHALL BE IN ACCORDANCE WITH TABLE R507.4 (FBC)

CONCRETE:

CONFORM TO ACI 318, LATEST EDITION AND ACI 301
 COMPRESSIVE ULTIMATE STRENGTH (MINIMUM AT 28 DAYS) SHALL BE 3,000 PSI
 EXPOSED OUTSIDE EDGES SHALL BE CHAMFERED TO 3/4"

STRUCTURAL ALUMINUM:

CONFORM TO LATEST EDITION OF ALUMINUM ASSOCIATION OF FLORIDA STANDARD PRACTICE FOR ALUMINUM DESIGN.
 ALL ALUMINUM SHALL BE 6061-T6 (E= 10,000 KSI; FY = 35 KSI)

REINFORCING STEEL:

CONFORM TO ACI 318 AND 315, LATEST EDITION
 ALL REINFORCEMENT STEEL SHALL BE ASTM A615 GRADE 60, WITH A MINIMUM COVERAGE OF 3"
 SMOOTH DOWELS & TIES SHALL BE ASTM A185

GALVANIZED BOLTS:

ALL BOLTS SHALL BE GALVANIZED BE ASTM A572, GRADE 50 THREADED ROUND STOCK WITH A MINIMUM YIELD STRESS OF 50,000 PSI.

TURBIDITY CURTAIN SPECIFICATIONS:

- INSTALL FLOATING TURBIDITY BARRIERS WITH WEIGHTED SKIRTS THAT EXTEND TO WITHIN 1 FT OF THE BOTTOM AROUND ALL WORK AREAS THAT ARE IN, OR ADJACENT TO, SURFACE WATERS.
- USE THESE TURBIDITY BARRIERS THROUGHOUT CONSTRUCTION TO CONTROL EROSION AND SILTATION AND ENSURE THAT TURBIDITY LEVELS WITHIN THE PROJECT AREA DO NOT EXCEED BACKGROUND CONDITIONS.
- POSITION TURBIDITY BARRIERS IN A WAY THAT DOES NOT BLOCK SPECIES' ENTRY TO OR EXIT FROM DESIGNATED CRITICAL HABITAT.
- MONITOR AND MAINTAIN TURBIDITY BARRIERS IN PLACE UNTIL THE AUTHORIZED WORK HAS BEEN COMPLETED AND THE WATER QUALITY IN THE PROJECT AREA HAS RETURNED TO BACKGROUND CONDITIONS.

DESIGN LOADS:

SHALL BE IN ACCORDANCE WITH CHAPTERS 26 TO 30 OF ASCE AND CHAPTER 16 OF THE FLORIDA BUILDING CODE. LIVE LOADS PER TABLE 1607.1 AND WIND LOADS (PER LOCATION & RISK CATEGORY) FIGURE 1609.3(1)

- ULTIMATE DESIGN WIND SPEEDS (VULT): 140 MPH AT 3 SECOND GUST (30 PSF MINIMUM)
- RISK CATEGORY II (TABLE 1604.5)
- EXPOSURE CATEGORY: "D" (FBC 1609-4.3 ASCE 7-10, SECTION 267.2)
- DECK LIVE LOAD: 40 PSF DEAD LOAD: 10 PSF (PER FBC TABLE 1607.1)
- ROOF LIVE LOAD: 20 PSF (PER FBC TABLE 1607.1)
- COMPONENTS AND CLADDING, DESIGN WIND PRESSURES + 38PSF / -38PSF



ARCHITECT
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 ORLANDO, FL 32806

SPECIFICATIONS AND DETAILS

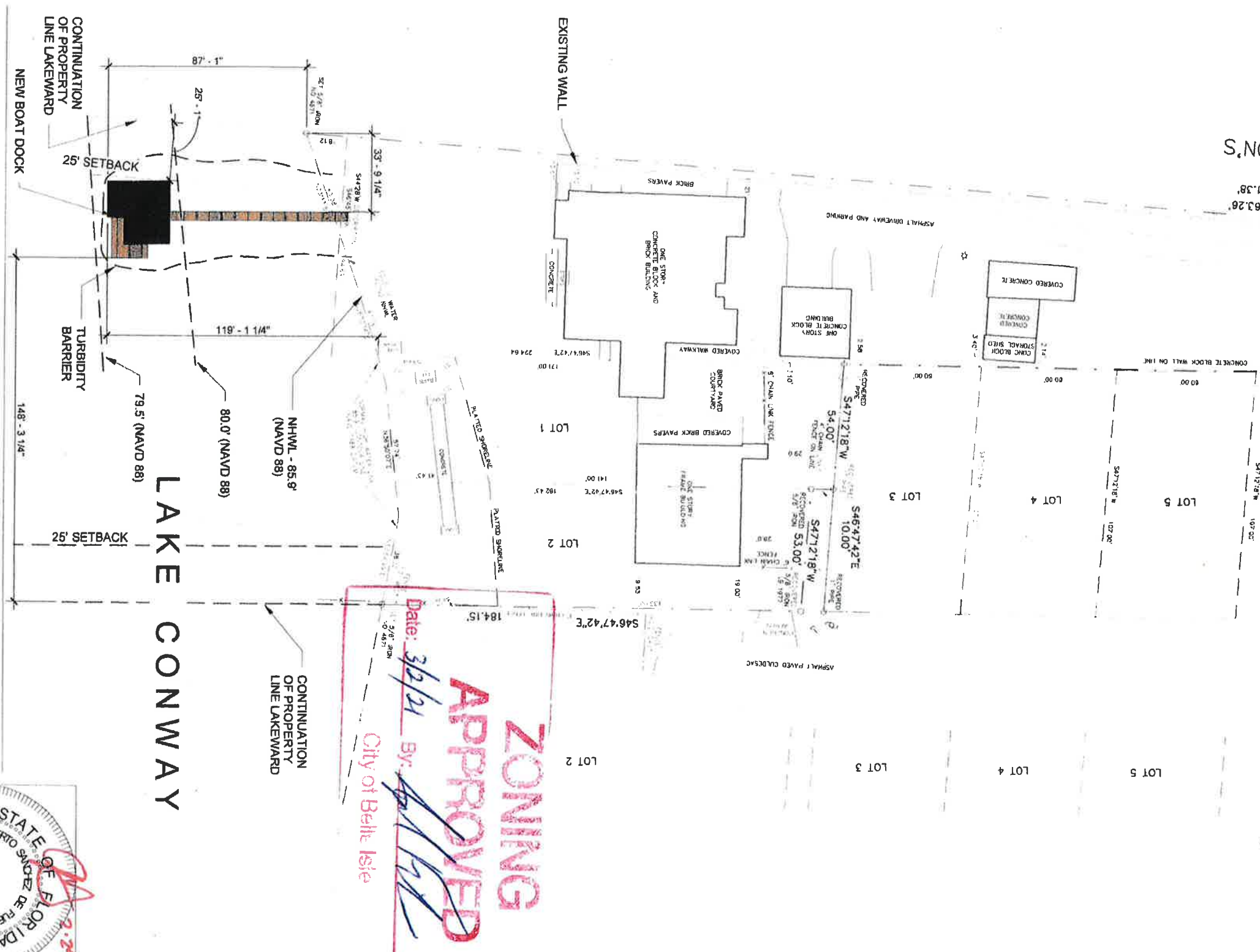
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A-07 02/07/21 2021-001

LIVINGSTON'S
 249'21" W
 881.38
 11' W DESCRIPTION 863.26

AGE 33
 BLOCK A
 LOT 6
 LOT 5
 LOT 4
 LOT 3
 LOT 2
 LOT 1
 BLOCK B
 LOT 6
 LOT 5
 LOT 4
 LOT 3
 LOT 2
 LOT 1



SANGCHEZ DE FUENTES BOAT DOCK
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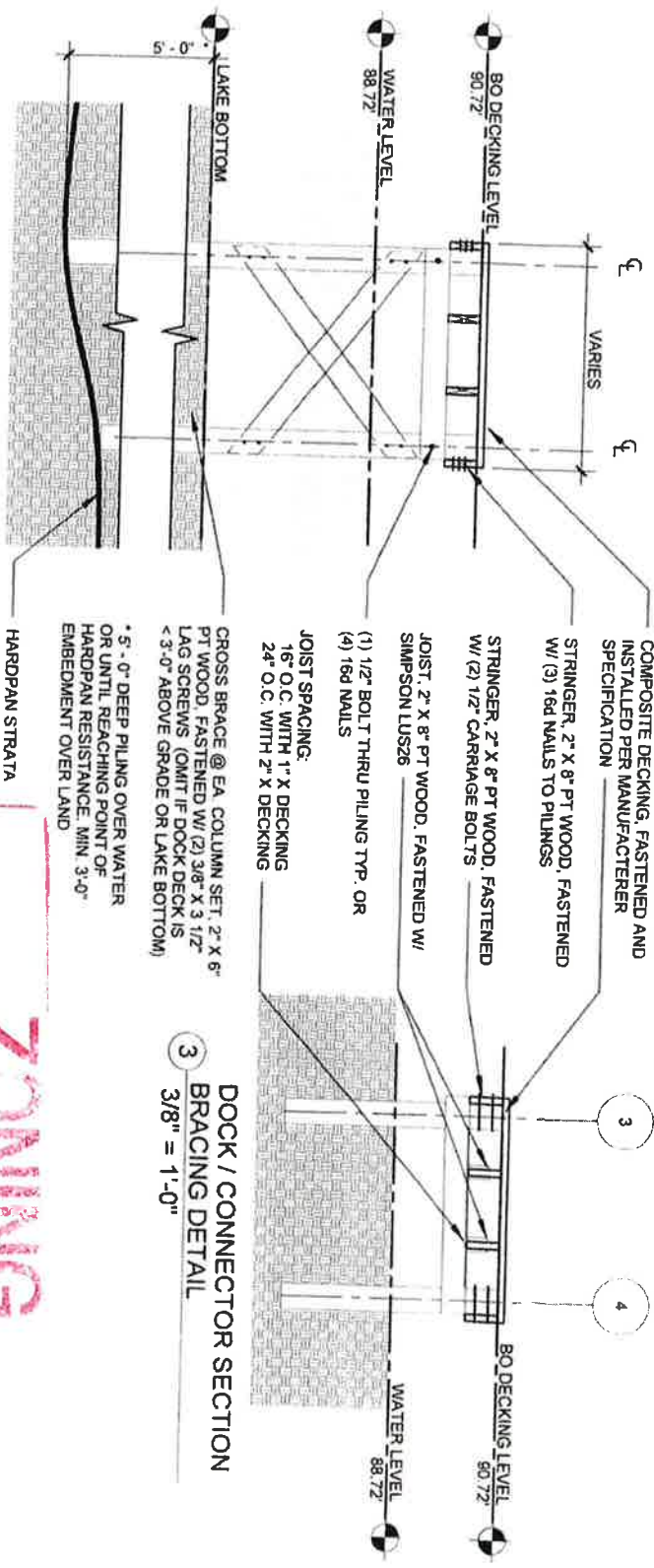


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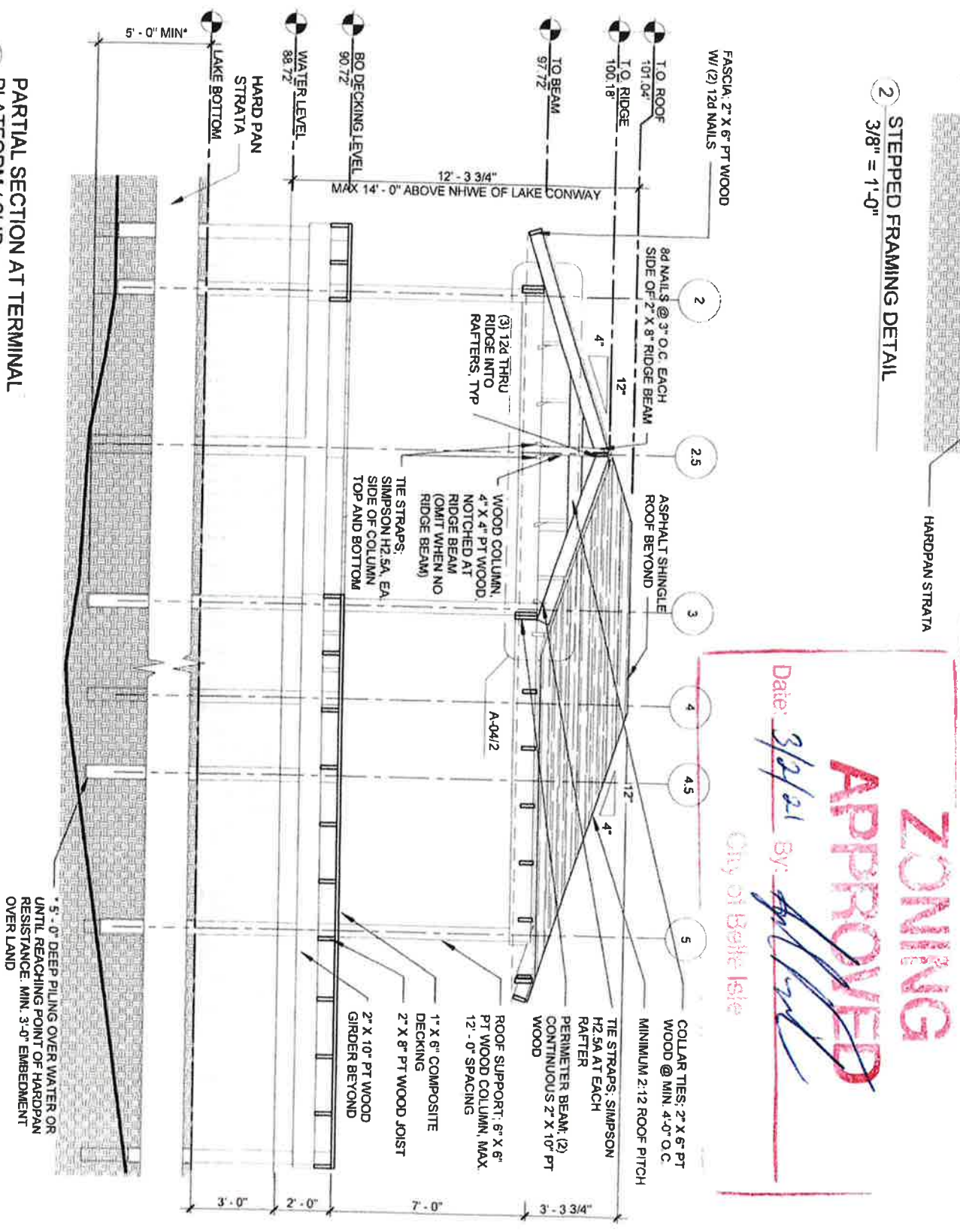


ZONING APPROVED
 Date: 3/2/21 By: [Signature]
 City of Belle Isle

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3 DOCK / CONNECTOR SECTION
3/8" = 1'-0"



ZONING APPROVED

Date: 3/2/21 By: [Signature]

City of Belle Isle

SANCHEZ DE FUENTES BOAT DOCK
1534 HOFFNER AVENUE
BELLE ISLE, FL 32809

DOCK SECTION AND DETAILS
A-06
02/07/21 2021-001

ARCHITECT
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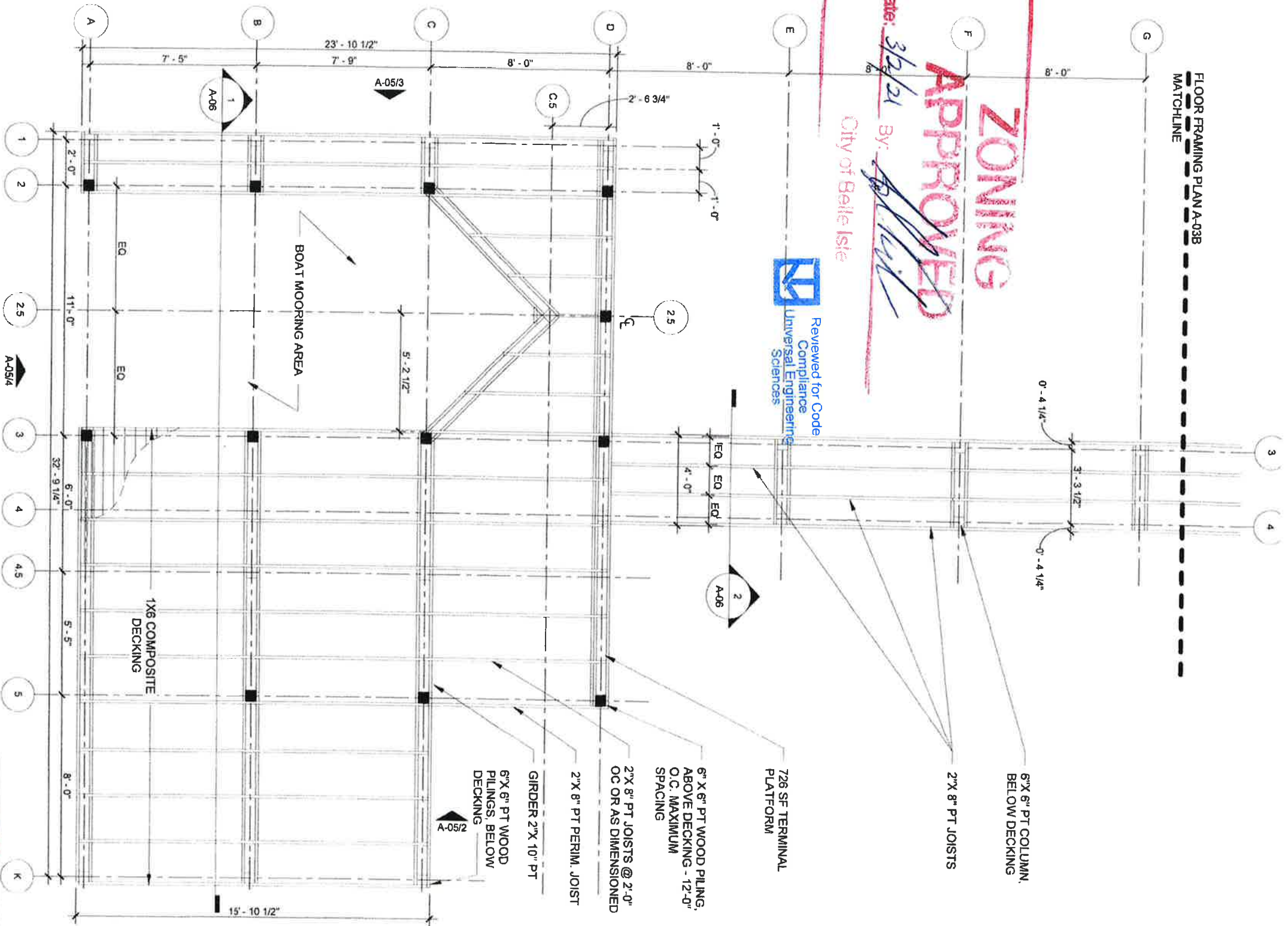
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Sciences

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FLOOR FRAMING PLAN A-03B
MATCHLINE

ZONING APPROVED
 Date: 3/2/21 By: *[Signature]*
 City of Belle Isle

Reviewed for Code Compliance
 Universal Engineering Sciences



1534 HOFFNER AVENUE
 BELLE ISLE, FL 32809

SANCHEZ DE FUENTES BOAT DOCK

FLOOR FRAMING PLAN
 0 1 2 3 4 5
 A-03A 9 FT 02/07/21 2021-001

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**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**


BOARD OF ARCHITECTURE & INTERIOR DESIGN
2601 BLAIR STONE ROAD
TALLAHASSEE FL 32399-0783

(850) 487-1395

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.


Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

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**STATE OF FLORIDA DEPARTMENT
OF BUSINESS AND PROFESSIONAL
REGULATION**

AR93925 ISSUED: 02/09/2021
ARCHITECT
SANCHEZ DE FUENTES, ALBERTO EDUARDO



 Signature

LICENSED UNDER CHAPTER 481, FLORIDA STATUTES
EXPIRATION DATE: FEBRUARY 28, 2023

Ron DeSantis, Governor

**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
BOARD OF ARCHITECTURE & INTERIOR DESIGN**

LICENSE NUMBER: AR93925

EXPIRATION DATE: FEBRUARY 28, 2023

THE ARCHITECT HEREIN IS LICENSED UNDER THE
PROVISIONS OF CHAPTER 481, FLORIDA STATUTES

SANCHEZ DE FUENTES, ALBERTO EDUARDO
1534 HOFFNER AVE.
ORLANDO FL 32809



ISSUED: 02/09/2021

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CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

3/31/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Construction Pros Insurance LLC PO Box 186 San Antonio FL 33576	CONTACT NAME: Edward Collins PHONE (A/C, No., Ext): 800-685-0027 E-MAIL ADDRESS: office@constructionprosins.com	FAX (A/C, No): 813-659-5480
	INSURER(S) AFFORDING COVERAGE	
INSURED ASDF Design Group, LLC. 3714 Wyldwoode Lane Orlando FL 32806	ASDFDES-01 INSURER A: Rockingham Insurance Company INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:	NAIC # 10214


COVERAGES **CERTIFICATE NUMBER:** 1637192222 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL. SUBR. INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:	Y	RFLG215409-01	3/13/2021	3/13/2022	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below					<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 Qualifying Individual Alberto Eduardo Sanchez De Fuentes per license #CGC1515393

Please review named insured's policies referenced in this document for complete list of all applicable coverage's, limits, endorsements, exclusions, deductibles, and their respective terms and conditions they contain.

CERTIFICATE HOLDER City of Belle Isle 1600 Nela Avenue Belle Isle FL 32809	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
--	--

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JIMMY PATRONIS
CHIEF FINANCIAL OFFICER

**STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION**

**** CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW ****

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 6/1/2020

EXPIRATION DATE: 6/1/2022

PERSON: ALBERTO E SANCHEZ DE
FUENTES

EMAIL: ALBERTOSDF@GMAIL.COM

FEIN: 844537276

BUSINESS NAME AND ADDRESS:

ASDF DESIGN GROUP LLC

3714 WYLDWOODE LANE

ORLANDO, FL 32806

SCOPE OF BUSINESS OR TRADE:

Contractor-Project Manager,
Construction Executive,
Construction Manager or
Construction Superintendent

IMPORTANT: Pursuant to subsection 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to subsection 440.05(12), F.S., Certificates of election to be exempt issued under subsection (3) shall apply only to the corporate officer named on the notice of election to be exempt and apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to subsection 440.05(13), F.S., notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.



CITY OF BELLE ISLE

OCCUPATIONAL LICENSE

1600 Nela Avenue

Belle Isle, FL 32809

Business License Number: L1-00025
Effective Date: 10/01/20
Expiration Date: 09/30/21
Fee: 25.00

Business Name: ASDF DESIGN GROUP LLC

Location: 1534 HOFFNER AVENUE

Classification: CONSTRUCTION

**POST IN A CONSPICUOUS PLACE
NOT VALID UNLESS SIGNED BY CITY OFFICIAL**

The person, firm, or corporation named above is hereby granted this license as the receipt for fees paid to the City of Belle Isle for the business described above for the period indicated. Granting of this certificate does not entitle the holder to operate or maintain a business in violation of any law or ordinance. The City of Belle Isle does not guarantee the qualifications of the holder of this certificate.

Hidi R Pearson
City Official

LOCAL OCCUPATIONAL LICENSE

City of Belle Isle

1600 Nela Avenue

Belle Isle, FL 32809

Phone: 407-851-7730 Fax 407-240-2222

www.cityofbelleislefl.org