



City of Belle Isle 2000-03-058
 Universal Engineering Sciences 3532 Maggle Blvd., Orlando, FL 32811
 Tel 407-581-8161 * Fax 407-581-0313 * www.universaleengineering.com

Building / Land Use Permit Application

DATE: 3-17-20

PROJECT ADDRESS 2820 Nela

PROPERTY OWNER Angela Rascote

PHONE 407-252-8656

PERMIT 2020-03-058
 2020-03-058

VALUE OF WORK (labor & material) \$ 200.00

PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

Remodel Existing Boathouse to Post & Beam Structure after demolition of Existing Wall Structure, Remodel & Enlarge Roof Structure
no works on pilings
 Replace portion of Deck Floor.

- SINGLE FAMILY RESIDENCE:** 8.5"x11" Plat Survey, Plot Plan of Home and Floor Plans of New Construction/Revision Required
- BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- SEPTIC SYSTEM (RESIDENTIAL):** - Provide verification of OC Health Dept approval for on-site septic tank system, per FAC Chap. 84E-8
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel id Number: 19-23-30-5892-00-141 19-23-30-5892-00-141
 To obtain this information, please visit <http://www.ocprfl.org/Searches/ParcelSearch.aspx>

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCLOSED INTO ANY EASEMENT OR REQUIRED SETBACK. Survey specific foundation plan required to show compliance with zoning setbacks. Note: this Zoning Approval MAY or MAY NOT be in compliance with your Deed Restrictions. For New Single Family Residences, a Traffic Impact Fee and school impact will be assessed.

PLANNING & ZONING APPROVAL: 4/9/20 By: [Signature]
 DATE 4/9/20 City of Belle Isle

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)
 CONSTRUCTION TYPE _____
 OCCUPANCY GROUP _____
 #BLDG. _____ #UNITS _____ #STORIES _____ Res: _____ Single Fam _____ Multi Fam _____
 MAX. FLOOR LOAD _____ TOTAL SQ.FT. 910
 MIN. FLOOD ELEV. _____ MAX. OCCUPANCY _____
 WATER SERVICE _____ WELL _____ SEPTIC _____

Pending - NOC

BUILDING REVIEWER electronic below DATE 4-16-20

VERIFIED CONTRACTOR'S LICENSE #/INSURANCE ARE ON FILE _____ DATE _____

Per FSS 105.3.3:
 An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC. 151K

Page 1 of 2



Digitally signed by Benjamin Surriel, Lic. AR92725 & PX3694
 DN: cn=Benjamin Surriel, Lic. AR92725 & PX3694,
 o=REVIEWED FOR CODE COMPLIANCE, ou=UES/
 BID Building Inspections & Plans Review Dpto.,
 email=bsurriel@universaleengineering.com, c=US
 Date: 2020.04.16 18:33:28 -04'00' 4x6
25
24
49.2
24.50
73.50
300.

Wind Exposure Category: B C D X

SPRINKLERS REQ'D	Y	N	
Y Required - SUBMIT COPY OF PLANS FOR FIRE REVIEW			
	Date Sent	RCD	
ZONING	<input checked="" type="checkbox"/>	N	\$165
CERT OF OCC	<input type="checkbox"/>	N	\$
TRAFFIC	<input type="checkbox"/>	N	\$
SCHOOL	<input type="checkbox"/>	N	\$
FIRE	<input type="checkbox"/>	N	\$
SWIMMING POOL	<input type="checkbox"/>	N	\$
SCREEN ENCLOSURE	<input type="checkbox"/>	N	\$
ROOFING	<input type="checkbox"/>	N	\$
BOAT DOCK	<input type="checkbox"/>	N	\$
BUILDING	<input checked="" type="checkbox"/>	N	\$73.50
WINDOW(S)	<input type="checkbox"/>	N	\$
DOOR(S)	<input type="checkbox"/>	N	\$
FENCE	<input type="checkbox"/>	N	\$
DRIVEWAY	<input type="checkbox"/>	N	\$
OTHER	<input type="checkbox"/>	N	\$
1% SCAIB FEE			<u>2 min</u>
1.5% DCA FEE			<u>2 min</u>
TOTAL			<u>242.50</u>
OTHER PERMITS REQUIRED:			
ELECTRICAL	Y	NA	
PREPOWER	Y	NA	
MECHANICAL	Y	NA	
PLUMBING	Y	NA	
ROOFING	Y	NA	
GAS	Y	NA	

USA 7721
PAID
4-30-2020



City of Belle Isle
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
 Tel 407-581-8161 * Fax 407-581-0313 * www.universaleengineering.com

RECEIVED
 MAR 18 2020

Building Permit (Land Use) Application
 To be completed as required by State Statute Section 713 and other applicable sections.

Owner's Name Angela Rosselot
 Owner's Address 2820 Nela Avenue, Belle Isle, Fl. 32809

PERMIT # 000-03-058

Contractor Name <u>Angela Rosselot - By Owner</u>	Company Name <u>Homeowner</u>
License # <u>N/A</u>	Company Address
Contact Phone/Cell <u>407-252-8656</u>	City, State, ZIP <u>N/A</u>
Contact Email <u>amrhealth@aol.com</u>	Contact Fax

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations (www.floridabuilding.org) and City Ordinances (www.municode.com) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ROOFING, ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, SCREEN ENCLOSURES, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner Signature Angela Rosselot
 The foregoing instrument was acknowledged before me this 03/13/2020
 by Angela Rosselot who is personally known to me
 and who produced R 243-013-56-888-0
 as identification and who did not take an oath.
 Notary as to Owner
 State of Florida
 County of Orange



Contractor Signature Angela Rosselot
 COMPANY NAME _____
 The foregoing instrument was acknowledged before me this 03/13/2020
 by Angela Rosselot who is personally known to me
 and who produced _____
 as identification and who did not take an oath.
 Notary as to Owner
 State of Florida
 County of Orange

Impervious Surface Ratio Worksheet
 Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per City Code, Section 50-74: Impervious Surface Ratio

- Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).
 Total Lot Area _____ X 0.35 = _____
 Allowable Impervious Area (BASE) _____
- Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc.
 - House _____
 - Driveway _____
 - Walkway _____
 - Accessory Buildings _____
 - Pool & Spa _____
 - Deck & Patio _____
 - Other _____
 Actual Impervious Area (AIA) _____
- If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.
- If AIA is greater than BASE, then onsite retention must be provided.

Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed

23 20



City of Belle Isle
 1600 Nela Avenue, Belle Isle, FL 32809
 Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleislefl.org
Boat Dock Zoning Review Application
PLEASE REFER TO WWW.MUNICODE.COM FOR CODE COMPLIANCE
SUBMIT LANDUSE APPLICATION WITH THIS FORM



Date 3-17-20	Permit #	Cost \$ 7000.00
APPLICANT		SITE ADDRESS
Property Owner's Name Angela Rosselot		Site Address 2820 Nela Ave, Belle Isle, FL 32809
Mailing Address Angela Rosselot 2820 Nela Ave.		Land Use Classification 0130 - sfr - Lake Front
City, State, Zip Belle Isle, FL 32809		Zoning District R-1AA
REQUIREMENTS TO BE SUBMITTED WITH APPLICATION		Legal Description LOT: NELA ISLE ANNEX R74 THE W 60FT OF LOT 14 & ALL LOT 15 & E 10 FT OF LOT 16 & LAND TO WATERS OF LAKE
<ul style="list-style-type: none"> • \$165.00 ZONING APPLICATION FEE • FL DEP CLEARANCE FORM (call 407-897-4100 for info) 		Block:
<p>COMPLETION OF AN APPLICATION IS REQUIRED AND APPLICANT IS SUBJECT TO ALL COUNTY, STATE AND/OR DEP REQUIREMENTS AND FEES. APPROVAL OF THIS APPLICATION DOES NOT GUARANTEE THE ISSUANCE OF A BUILDING PERMIT FROM THE CITY'S BUILDING DEPARTMENT.</p>		Subdivision: Nela Isle Annex

PROPOSED BOAT DOCK INFORMATION

Length Waterward from 86.9 NHWE Contour Line: 81.7'	<ol style="list-style-type: none"> 1. Applicant brings completed application packet to the Building Inspector's (UES) office: <ol style="list-style-type: none"> a. \$165.00 review fee b. 3 sets of drawings, and 3 boundary surveys c. Land Use Permit App is available on our website www.cityofbelleislefl.org or can be picked up at City Hall - Monday thru Friday from 8:00am to 5:00pm. 2. If the application meets criteria for zoning compliance, UES will forward to the City for zoning review. 3. If the application does not meet the requirements of the Belle Isle Code, (i.e. setbacks, height, etc) the applicant is faxed a copy of the review letter citing the reasons for non-compliance with the Code and is given 2 options: <ol style="list-style-type: none"> a. Applying for a variance from the City of Belle Isle Planning and Zoning Board b. Revising the drawings to meet the requirements of the Code. 4. City's Planning & Zoning reviews documents and issues one of the following: <ol style="list-style-type: none"> a. Letter indicating zoning compliance with the Code b. Letter indicating additional documentation is needed and/or reason the application is not in compliance with the Code. 5. If the applicant chooses to <u>apply for the variance</u>, the City provides assistance with the variance process. Please call City Hall at 407-851-7730 for further information and deadline dates. 6. If the applicant chooses to make revisions to the drawings to meet the requirements of the Code, the additional information is reviewed for compliance. Once the application meets criteria for zoning compliance, it will be forwarded to the Building Department for review and completion. The City keeps one complete set of drawings, a copy of the application and the engineering review letter. 7. The Developer or Property Owner must pay all costs and fees associates with the City Engineer's and/or the City Attorney's review of the applicants application and plans.
Square Footage Waterward from 86.9 NHWE contour line 1136	
Side Setback from Property Line 69'	
Total Square Footage 1136 Applicant/Agent Signature	
<p>Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order. PLEASE REFER TO WWW.MUNICODE.COM FOR CODE COMPLIANCE</p>	

new roof = 26 x 35 = 910 x 6 =

Permit Number: 2020-03-058
 Folio/Parcel ID #: 1-23-30-5892-00-141
 Prepared by: Angela Rosselot
2820 Nela Avenue
Belle Isle, Fl. 32809
 Return to: Angela Rosselot
2820 Nela Avenue
Belle Isle, Fl. 32809

DOCH 20200208335
 04/01/2020 01:35:09 PM Page 1 of 1
 Rec Fee: \$10.00
 Phil Diamond, Comptroller
 Orange County, FL
 SA - Ret To: ANGELA ROSSELOT



NOTICE OF COMMENCEMENT

State of Florida, County of Orange

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

- Description of property** (legal description of the property, and street address if available)
NELA ISLE ANNEX R/74 THE W 60 FT OF LOT 14& ALL LOT 15& E 10FT OF LOT 16 & LAND TO WATERS OF LAKE
- General description of improvement**
Remodel of boathouse & construction of roof system, replace portion of decking
- Owner information or Lessee information if the Lessee contracted for the improvement**
 Name Angela Rosselot
 Address 2820 Nela Avenue, Belle Isle, FL. 32809
 Interest in Property Owner
 Name and address of fee simple titleholder (if different from Owner listed above)
 Name _____
 Address _____
- Contractor**
 Name Angela Rosselot Telephone Number 407-252-8656
 Address 2820 Nela Avenue, Belle Isle, FL. 32809
- Surety** (if applicable, a copy of the payment bond is attached)
 Name N/A Telephone Number _____
 Address _____ Amount of Bond \$ _____
- Lender**
 Name N/A Telephone Number _____
 Address _____
- Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by §713.13(1)(a)7, Florida Statutes.**
 Name N/A Telephone Number _____
 Address _____
- In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in §713.13(1)(b), Florida Statutes.**
 Name N/A Telephone Number _____
 Address _____
- Expiration date of notice of commencement** (the expiration date will be 1 year from the date of recording unless a different date is specified) _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Angela Rosselot _____ owner
 Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager Signatory's Title/Office

The foregoing instrument was acknowledged before me this 20 day of 2/2020 by Angela Rosselot
 month/year name of person
 as owner for Subject property
 Type of authority, e.g., officer, trustee, attorney in fact Name of party on behalf of whom instrument was executed

M. Herrera _____
 Signature of Notary Public - State of Florida Print, type, or stamp commissioned name of Notary Public

Personally Known OR Produced ID A
 Type of ID Produced FL ID



Owner Builder Disclosure Statement

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:
Project Address: 2820 Nela Ave, Belle Isle, FL 32809 AR Initial
12. I agree to notify the City of Belle Isle Building/Zoning Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. AR Initial
13. FBC 105.3.6 requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. AR Initial

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if any unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit. A copy of the property owner's driver license, the notarized signature of the property owner, or other type of verification acceptable to the local permitting agency is required when the permit is issued.

Signature: <u>Angela Rosselot</u> <small>(Signature of the property owner)</small>	Print: <u>Angela Rosselot</u> <small>(Name of the property owner)</small>
Signature: _____ <small>(Signature of the property owner)</small>	Print: _____ <small>(Name of the property owner)</small>
Owner's Address: <u>2820 Nela Avenue, Belle Isle, FL 32809</u>	
The foregoing instrument was acknowledged before me this <u>03 / 13 / 2020</u>	
by <u>Angela Rosselot</u> <u>who is personally known to me</u> / who produced the following _____ as identification and who did not take an oath.	
State of Florida / County of <u>Florida</u>	Seal: <u>see form</u>
Notary Signature _____	

2-300



City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

OWNER BUILDER DISCLOSURE STATEMENT

Per Florida Statue 455.228:

**Homeowners hiring unlicensed Contractors may be
subject a fine of up to \$5,000.00!**

2820 Nela
BOAT DOCK
RECEIVED
APR 13 2020
BY:

Before me this day personally appeared Angela Rosselot, who being duly sworn, deposes, and says as follows. "I hereby acknowledge that I have read and fully understand the individual provisions of this instrument."

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license AR Initial
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility. AR Initial
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts. AR Initial
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000.00. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption. AR Initial
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction. Initial AR
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance. AR Initial
7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit, that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property. AR Initial
8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk. AR Initial
9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations. AR Initial
10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at (850)487-1395 or www.Call.Center@dbpr.state.fl.us for more information about licensed contractors. AR Initial

State of Florida Acknowledgement Notary Certificate

STATE OF FLORIDA

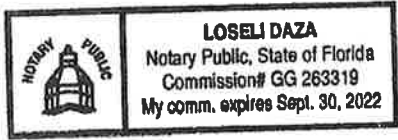
COUNTY OF Orange

On 03/13/2020, before me, Loseli Daza, a notary public, personally appeared by physical presence, Angela Marie Rosselot who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the attached ^{owner builder} Disclosure Statement [name of document] instrument and acknowledged to me that that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s) or entity upon behalf of which the person(s) acted executed the instrument. I certify under PENALTY OF PERJURY under the laws of the State listed above that the foregoing paragraph is true and correct. WITNESS my hand and official seal.

Personally known OR

Produced identification Type of identification produced: FUD # R243-013-56-888-0

Loseli Daza
(Signature of notary public)



My commission expires: SEPT, 30th, 2022.

Official Seal

3-3 PD.



Product Evaluation Report
SENTRIGARD METAL ROOFING SYSTEMS ASSOCIATION, INC.,
an NB HANDY COMPANY

Sentrigard NS 100, 24 Ga. 16" Wide Roof Panel over 15/32" Plywood

Florida Product Approval # 9860.7 R5

Florida Building Code 2017

Per Rule 61G20-3

Method: 1 -D

Category: Roofing

Subcategory: Metal Roofing

Compliance Method: 61G20-3.005(1)(d)

NON HVHZ

Product Manufacturer:

Sentrigard Metal Roofing Systems Association, Inc.,
an NB Handy Company
65 10th Street
Lynchburg, Virginia 24502

Engineer Evaluator:

Terrence E. Wolfe, P.E. # 44923

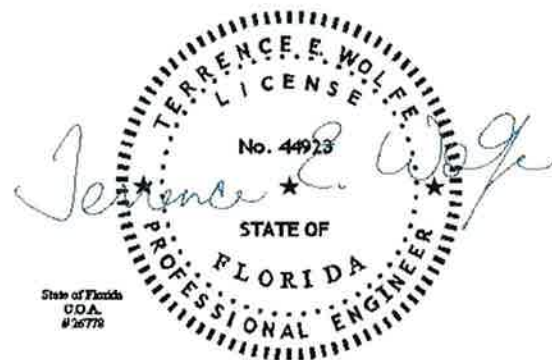
Florida Evaluation ANE ID: 1920

Validator:

Brian Jaks P.E. #70159

Contents:

Evaluation Report Pages 1 - 4





Compliance Statement: The product as described in this report has demonstrated compliance with the Florida Building Code 2017, Sections 1504.3.2.

Product Description: Sentrigard NS 100, 1" Nailstrip Roof Panel, 24 Ga. Steel, 16" Wide, Roof Panel attaching to 15/32" APA Plywood decking. Non-structural Application.

Panel Material/Standards: Material: 24 Ga. Steel conforming to Florida Building Code 2017 Section 1507.4.3
Yield Strength: Min. 50.0 ksi
Corrosion Resistance: Panel Material shall comply with Florida Building Code 2017, Section 1507.4.3

Panel Dimension(s):
Thickness: 0.024"
Width: 16" max coverage
Female Rib: 1" tall
Male Rib: 3/4" tall rib w/ slotted strip.
Panel Seam: Snap Lock

Panel Fastener: Through Panel Slot: (1) #10-13 x 1" GP Pancake Type A
In Pan of Panel: (2) #10-11 x 1" Eclipse Head Type A
3/4" minimum penetration through plywood
Corrosion Resistance: Per Florida Building Code 2017, Section 1507.4.4.

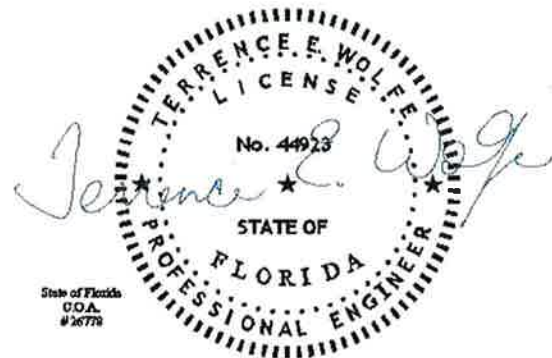
Substrate Description: Min. 15/32" thick, APA Rated plywood over supports at maximum 24" O.C.
Design of plywood and plywood supports are outside the scope of this evaluation. Substrate must be designed in accordance w/ Florida Building Code 2017.

Allowable Design Uplift Pressures:

Table "A"

Maximum Total Uplift Design Pressure:	59.75 psf	101.0 psf	153.5 psf
Panel Slot Fastener Spacing:	16" O.C.	6 3/4" O.C.	6 3/4" O.C.
Panel Pan Fastener Spacing:	NA	NA	12" O.C.

*Design Pressure includes a Safety Factor = 2.0.





- Code Compliance:** The product described herein has demonstrated compliance with The Florida Building Code 2017, Section 1504.3.2.
- Evaluation Report Scope:** The product evaluation is limited to compliance with the structural wind load requirements of the Florida Building Code 2017, as relates to Rule 61G20-3.
- Performance Standards:** The product described herein has demonstrated compliance with:
- UL 580-06 - Test for Uplift Resistance of Roof Assemblies
 - UL 1897-2012 - Uplift Test for Roof Covering Systems
 - TAS 100-95 - Test Procedure for Wind and Wind Driven Rain Resistance of Discontinuous Roof Systems
- Reference Data:**
1. UL 580-94 / 1897-98 Uplift Test
Force Engineering & Testing, Inc. (FBC Organization # TST-5328)
Report No. 72-0314T-06*, Dated 03/24/2007
 2. TAS 100-95
Farabaugh Engineering & Testing, Inc. (FBC Organization # TST-1654)
Report No. T158-07*, Dated 04/05/2007
 3. Certificate of Independence
By Terrence E. Wolfe, P.E. (No. 44923) @ Force Engineering & Testing, Inc.
(FBC Organization # ANE ID: 1920)
- Test Standard Equivalency:**
1. The UL 580-94 test standard is equivalent to the UL 580-06 test standard.
 2. The UL 1897-98 test standard is equivalent to the UL 1897-2012 test standard.
- Quality Assurance Entity:** The Report Holder has demonstrated compliance with Florida Building Code and Rule 61G20-3.005 (3) for manufacturing locations audited by an approved quality assurance entity (Keystone Certifications, Inc – FBC OrgID QUA 1824). A listing of manufacturers authorized by the Report Holder to employ the Florida Product Approvals qualified by this report can be found at <http://www.keystonecerts.com/qa-assoc/sentrigrad> or by scanning the following QR Code:



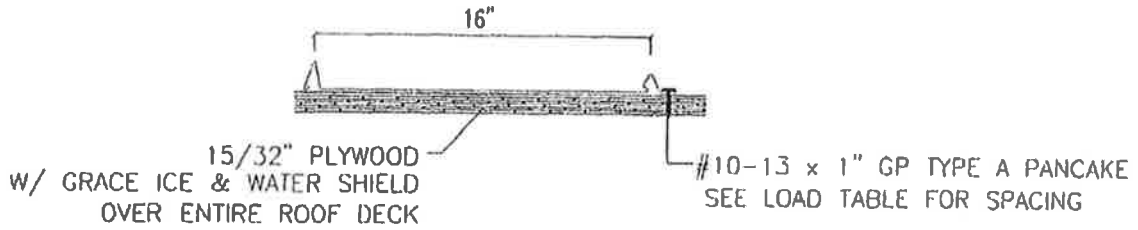


- Minimum Slope Range:** Minimum Slope shall comply with Florida Building Code 2017, including Sections 1507.4.2 and in accordance with Manufacturers recommendations.
- Installation:** Install per manufacturer's recommended details.
- Underlayment:** Self-adhered roofing underlayment minimum 40 mil thickness. Per Florida Building Code 2017 Section 1507.1.1 and manufacturer's installation guidelines per
- Roof Panel Fire Classification:** Fire classification is not part of this acceptance.
- Shear Diaphragm:** Shear diaphragm values are outside the scope of this report.
- Design Procedure:** Based on the dimensions of the structure, appropriate wind loads are determined using Chapter 16 of the Florida Building Code 2017 for roof cladding wind loads. These component wind loads for roof cladding are compared to the allowable pressure listed above. The design professional shall select the appropriate erection details to reference in his drawings for proper fastener attachment to his structure and analyze the panel fasteners for pullout and pullover. Support framing must be in compliance with Florida Building Code 2017 Chapter 22 for steel, Chapter 23 for wood and Chapter 16 for structural loading.

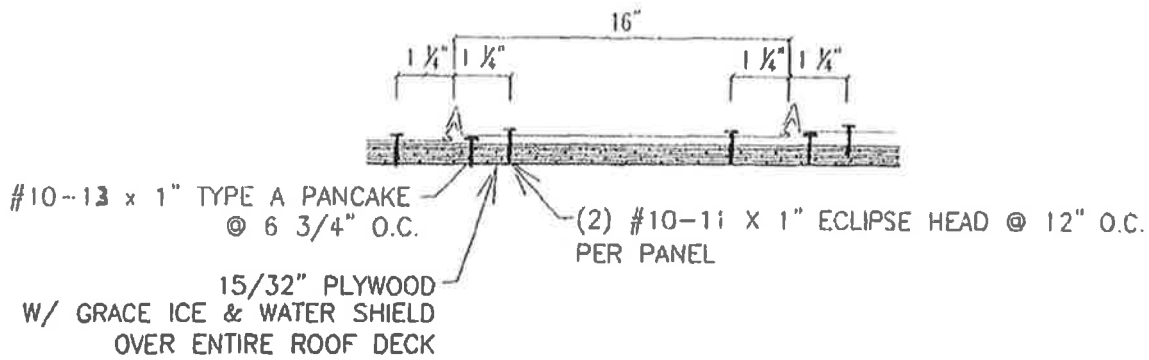
*The Test Reports are owned by Metalforming, Inc. Metalforming, Inc. gives the above manufacturer permission to use these test reports.



TYPE 1 FASTENER PATTERN (SEE LOAD TABLE)



TYPE 2 FASTENER PATTERN (SEE LOAD TABLE)



September 15, 2017

FIELD HEMMED PANEL END

CUT FEMALE END
BACK 1"

1. PANELS REQUIRING FIELD HEMMED ENDS SHOULD BE FABRICATED 1" LONGER THAN THE FINISHED PANEL LENGTH. VALLEY CONDITIONS MUST BE FIELD CUT TO THE APPROPRIATE ANGLE

2. CUT BACK PANEL JOINTS 1"

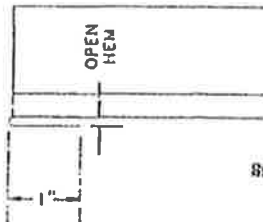
CUT MALE END
BACK 1"

3. PLACE PROTRUDING PAN INTO THE PANEL HEMMING TOOL. THE FRONT EDGE OF THE TOOL MUST REST AGAINST THE NOTCHED JOINT LEGS ON BOTH SIDES.

4. WHILE MAINTAINING PRESSURE AGAINST THE PANEL JOINTS, ROTATE THE HEMMING TOOL AS CLOSE TO 180° AS POSSIBLE.

PANEL HEMMING TOOL

5. INSPECT COMPLETED HEM TO INSURE THAT THE HEM IS OPENED AND CAPABLE OF RECEIVING THE CLEAT (SEE ERECTION DETAILS).

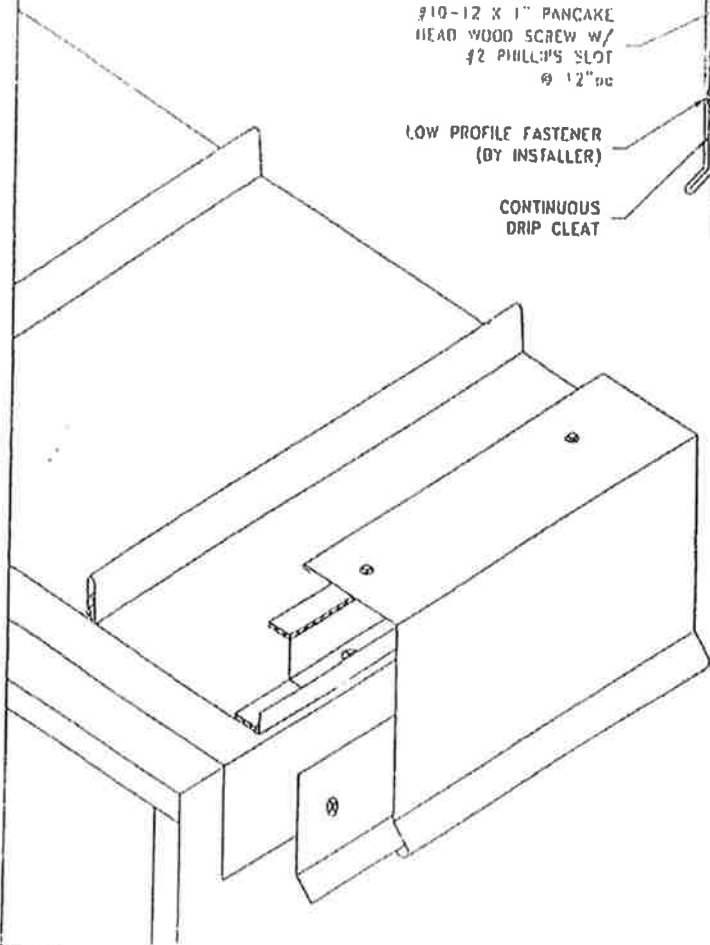
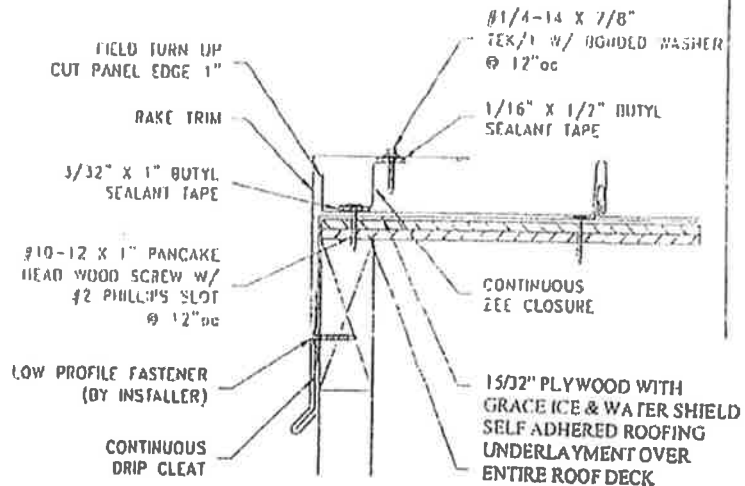


State of Florida
C.O.A.
20770

September 15, 2017

HIGH PROFILE RAKE

- 1.) Turn cut edge of panel up 1".
- 2.) Determine location off zee closure. Apply sealant tape to flat of panel.
- 3.) Place closure on top of sealant tape. Secure through tape and panel with #10-12 x 1" HWH wood screws @ 12"oc.
- 4.) Apply a continuous strip of sealant tape to the top of the zee closure. Seal between ends of tape with butyl sealant.
- 5.) Install panels so that the the field cut end is engaged into the open hem of the receiver trim, and fully embedded into the urethane sealant.
- 6.) Install the rake trim. Secure to closure zee with 1/4-14 x 7/8" HWH Tek/1 fasteners of 12"oc.

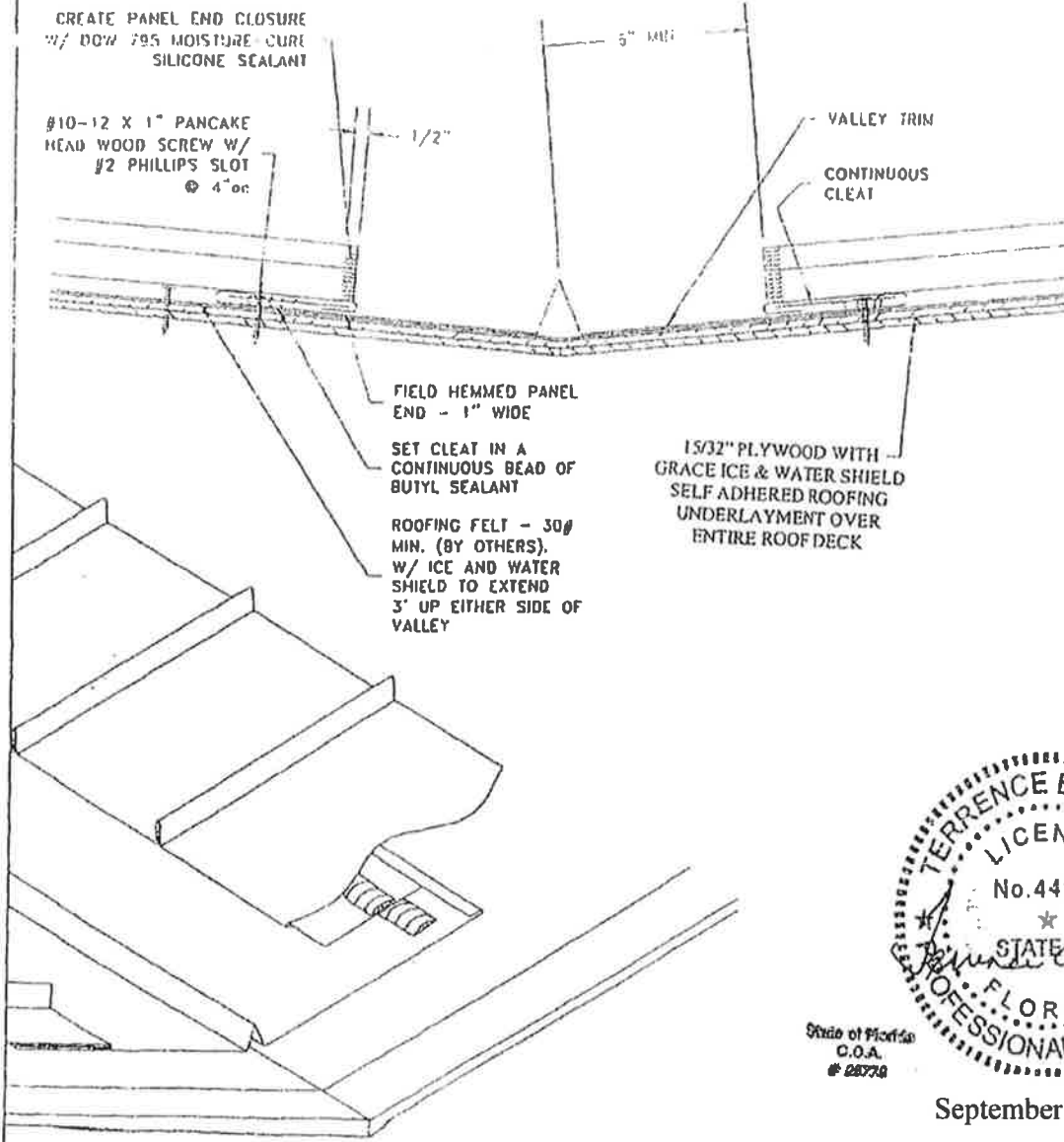


State of Florida
C.O.A.
28778

September 15, 2017

VALLEY

- 1.) Temporarily attach valley trim at ends w/ #10-12 x 1" pancake head wood screws.
- 2.) Apply butyl sealant across top of valley trim as shown.
- 3.) Attach cleat through sealant w/ #10-12 x 1" pancake head wood screws @ 4"oc.
- 4.) Apply a second bead of butyl sealant across the top of the cleat, and over the fastener heads.
- 5.) install panels so that the cleat is engaged into the field applied hem.

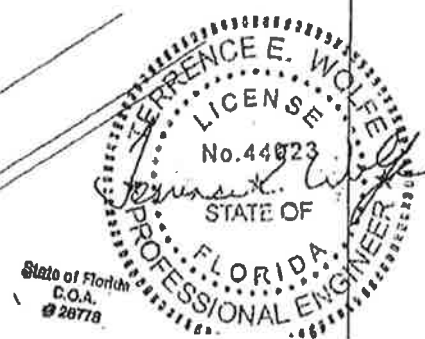
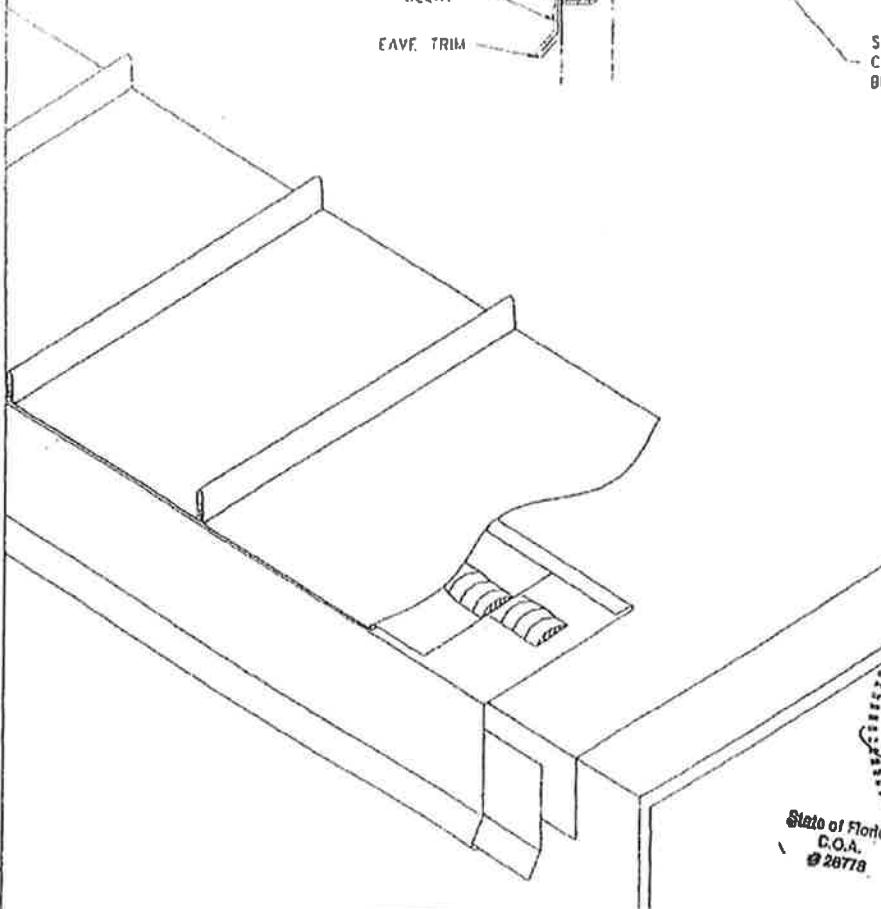
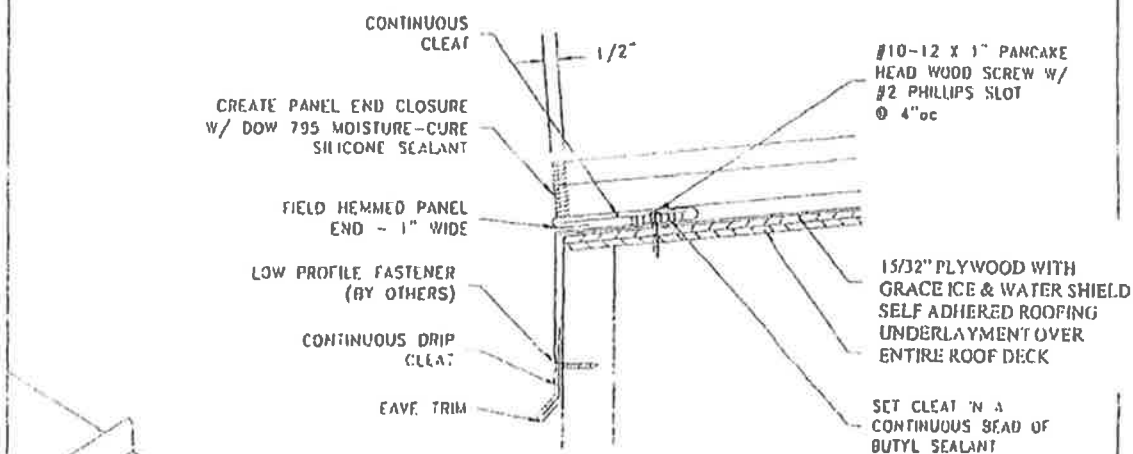


State of Florida
C.O.A.
28728

September 15, 2017

LOW EAVE

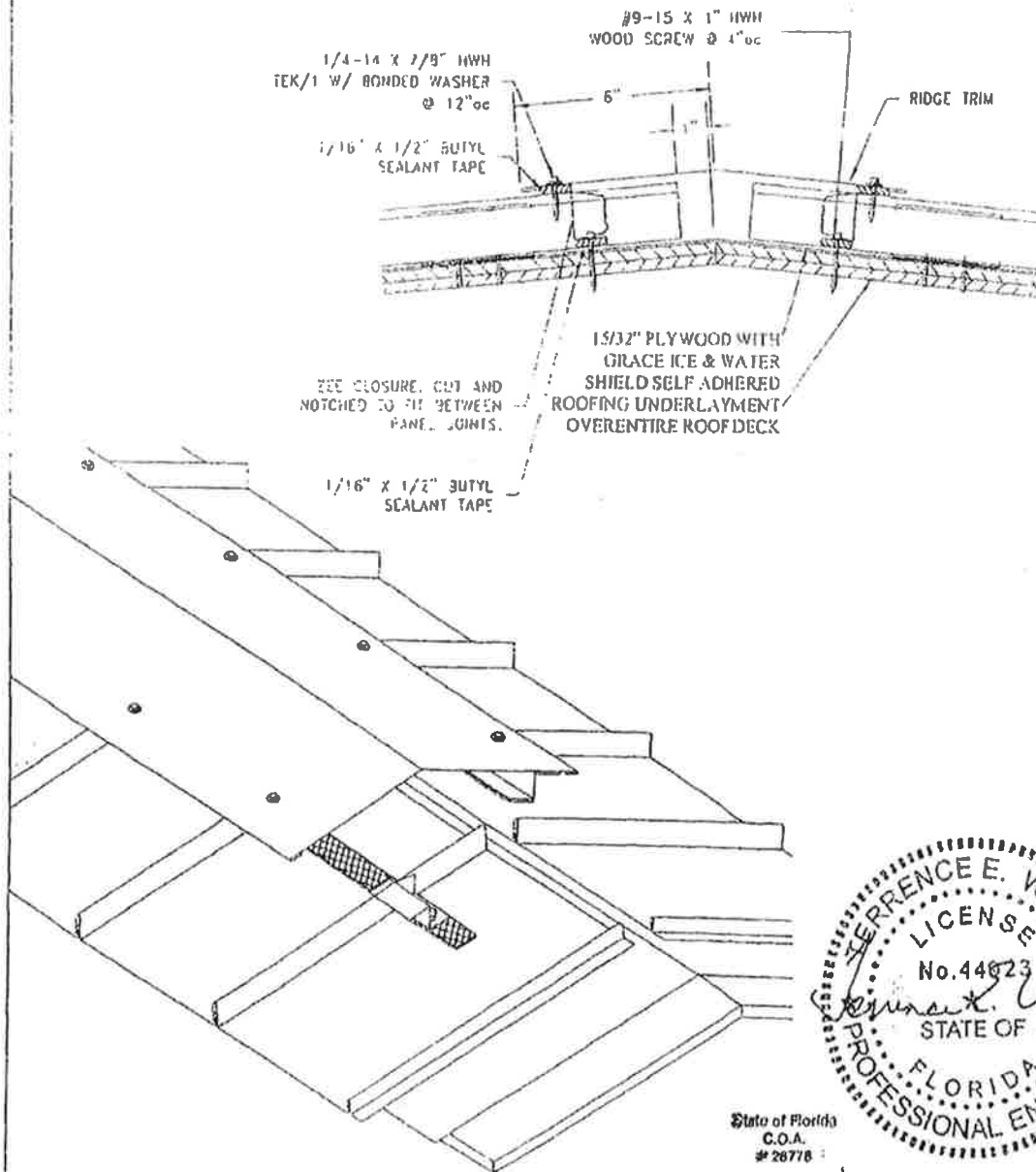
- 1.) Temporarily attach eave trim at ends w/ #10-12 x 1" pancake head wood screws
- 2.) Apply butyl sealant across top of eave trim as shown.
- 3.) Attach cleat through sealant w/ #10-12 x 1" pancake head wood screws @ 4"oc.
- 4.) Apply a second bead of butyl sealant across the top of the cleat, and over the fastener heads.
- 5.) Install panels so that the cleat is engaged into the field applied here.



September 15, 2017

RIDGE / HIP

- 1.) Determine location of zee closure. Apply sealant tape to flat of panel.
- 2.) Place closure on top of sealant tape. Secure through tape and panel with #9-16 x 1" HWH wood screws @ 4"oc. Seal the tab of the closure to the side joints with butyl sealant.
- 3.) Apply a continuous strip of sealant tape to the top of the zee closure. Seal between ends of tape with butyl sealant.
- 4.) Install the ridge trim. Secure to closure zee with 1/4-14 x 7/8" HWH Tek/1 fasteners at 12"oc.



State of Florida
C.O.A.
28778

September 15, 2017



From: no-reply <no-reply@dep.state.fl.us>
To: amrhealth <amrhealth@aol.com>
Cc: NMFS.SER.PROGRAMMATICREVIEW <NMFS.SER.PROGRAMMATICREVIEW@NOAA.GOV>; ERP.SELFCERTS <ERP.SELFCERTS@DEP.STATE.FL.US>; ERICA.GOSHLESKI <ERICA.GOSHLESKI@DEP.STATE.FL.US>; CORPSJAXREG <CORPSJAXREG@USACE.ARMY.MIL>; SPGP <SPGP@USACE.ARMY.MIL>
Subject: FDEP ERP Self-Certification Receipt
Date: Mon, Mar 16, 2020 6:39 pm

Attachments: 29ca6e703118c0ea46c8ec48163a76.pdf (50K), 209bf67f13df14cb86ee48ac4de1d8f2.pdf (50K), ProjectDesignCriteria_1_01.pdf (2621K)



**FLORIDA DEPARTMENT OF
Environmental Protection**

Ron DeSantis
Governor

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

Receipt for Submission

**SELF-CERTIFICATION FOR A PROJECT AT A
PRIVATE, RESIDENTIAL SINGLE-FAMILY**

03/16/2020

Self-Certification File No.: **0385850001EE**

File Name: **2820 Nela Ave Belle Isle, FL 32809 - Self Certification Repair or Replace - Dock (General)**

Dear **Angela Rosselot**: On **03/16/2020** you used the Florida Department of Environmental Protection's electronic Self Certification Process to certify compliance with the terms and conditions of the Federal State Programmatic General Permit (SPGP) Self Certification Process for a project at private, single-family residence located at:

LAT - Degrees: **28** Minutes: **27** Seconds: **48.8997**
LONG - Degrees: **-81** Minutes: **20** Seconds: **51.5547**
SITE ADDRESS: **2820 Nela Ave Belle Isle, FL 32809**
COUNTY: **Orange**

For:
Angela Rosselot
2820 Nela Ave. Belle Isle, FL 32809

You have certified that the project you propose to construct at the above location meets all the conditions of the Self-Certification Process. A project that is built in conformance to those conditions (attached for reference) will:

1. Qualify for a regulatory exemption under Section 403.813(1)(b) of the Florida Statutes (F.S.) and Chapter 62-330, Florida Administrative Code (F.A.C.). As such, it is exempt from the need to obtain a DEP Environmental Resource Permit;
2. Qualify for Consent by Rule or Letter of Consent (as applicable) under Chapter 253, F.S. and Chapter 18-21, F.A.C. (and Chapter 258, F.S. and Chapter 18-20, F.A.C., if applicable), when the project is located on submerged lands owned by the State of Florida.

Your Self-Certification is based solely on the information you provided under this process, and applies only to the statutes and rules in effect when your certification was completed. The certification is effective only for the specific project proposed, and only if the project is constructed, operated, and maintained in conformance with all the terms, conditions, and limitations stated in the Self-Certification Process. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit required.

You have acknowledged that this Self Certification will automatically expire if:

1. Construction of the project is not completed within one year from the self-certification date;
2. site conditions materially change;
3. the terms, conditions, and limitations of the Self Certification are not followed; or
4. the governing statutes or rules are amended before construction of the project.

Completion of the Self Certification constitutes your authorization for Department or Corps personnel to enter the property for purposes of inspecting for compliance.

Receipt of this Self-Certification constitutes authorization to use sovereignty/state-owned submerged lands, as required by rule 18-21.005, F.A.C.

The authorization must be visibly posted during all construction activities.

In waters that are accessible to manatees, obtain information on your mandatory Manatee Protection sign by [clicking here](#).

FEDERAL STATE PROGRAMMATIC GENERAL PERMIT (SPGP)

You have certified that the project you propose to construct at the above location meets all the conditions of the SPGP Self-Certification Process and will be built in conformance to those conditions (attached for reference). Your proposed activity as certified is in compliance with the SPGP program. U.S. Army Corps of Engineers (Corps) Specific conditions apply to your project, attached. **No further permitting for this activity is required by the Corps. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.**

Notifications to the Corps. For all authorizations under this SPGP V-R1, including Self-Certifications, the Permittee shall provide the following notifications to the Corps:

- a. Commencement Notification. Within 10 days before the date of initiating the work authorized by this permit or for each phase of the authorized project, the Permittee shall provide a written notification of the date of commencement of authorized work to the Corps
- b. Corps Self-Certification Statement of Compliance form. Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the "Self-Certification Statement of Compliance" form (attached) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the "Self-Certification Statement of Compliance" form. The description of any deviations on the "Self-Certification Statement of Compliance" form does not constitute approval of any deviations by the Corps.
- c. Permit Transfer. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form.
- d. Reporting Address. The Permittee shall submit all reports, notifications, documentation, and correspondence required by the general and special conditions of this permit to the following address.
 1. For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL, 32232-0019.
 2. For electronic mail: SAJ-RD-Enforcement@usace.army.mil (not to exceed 10 MB). The Permittee shall reference this permit number, SAJ-2015-2575 on all submittals.

This SPGP Self-Certification is based solely on the information you provided under this process, and applies only to the statutes and rules in effect when your certification was completed. You have recognized that your certification is effective only for the specific project proposed, and provided the project is constructed, operated, and maintained in conformance with all the terms, conditions, and limitations stated in the SPGP Self-Certification Process. This Self-Certification will not apply if any substantial modifications are made to the project. You agree to contact the Department for review of any plans to construct additional structures or to modify the project, as changes may result in a permit being required.

You have acknowledged that this Self-Certification will automatically expire if:

1. construction of the project is not completed by midnight, July 25, 2021, unless construction commenced or a contract to construct was executed before July 25, 2021, in which case the time limit for completing the work authorized by the SPGP ends at midnight, July 25, 2022. However, in no case can construction continue for more than one year beyond the Self-Certification date;
2. site conditions materially change;
3. the terms, conditions, and limitations of the Self-Certification are not followed; or
4. the governing statutes or rules are amended before construction of the project.

Completion of the Self-Certification constitutes your authorization for Department or Corps personnel to enter the property for purposes of inspecting for compliance.

If you have any questions, please contact your local Department District Office. Contact information can be found at: https://floridadep.gov/sites/default/files/SLERC_contacts_web_map_01-2017_0.pdf.

For further information, contact the Corps directly at: <https://www.saj.usace.army.mil/Missions/Regulatory.aspx>. When referring to your project, please use the SPGP Self-Certification file number listed above.

Authority for review - an agreement with the U.S. Army Corps of Engineers entitled Coordination Agreement between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.

ADDITIONAL INFORMATION

3/17/2020

FDEP ERP Self-Certification Receipt

This Self-Certification Process does not relieve you from the responsibility of obtaining other permits or authorizations from other agencies (federal, state, Water Management District, or local) that may be required for the project. Failure to obtain all applicable authorizations prior to construction of the project may result in enforcement.

If you have any questions or issues with the attached documents, please contact your local Department District Office:

Central District

DEP_CD@dep.state.fl.us

Sincerely,

Florida Department of Environmental Protection.

Attachments:

FDEP Terms and Conditions

SPGP Terms and Conditions

Project Design Criteria

 Dep Customer Survey



FLORIDA DEPARTMENT OF
Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

RECEIVED
BY: MAR 18 2025
Ron DeSantis
Governor
Jeanette Nuñez
Lt. Governor
Noah Valenstein
Secretary

TERMS AND CONDITIONS

Self Certification File No.: **0385850001EE**

Construction Conditions:

Private residential single family docks are subject to the following criteria in accordance with [Section 403.813\(1\)\(d\), F.S.](#) The dock to be repaired or replaced:

1. Is a functional dock, which is currently able to provide access to boats moored at the dock, unless the dock has been rendered nonfunctional by a discrete event such as a storm, flood, accident or fire within the past year;
2. Is in the same location and of the same dimensions and configuration as a previously permitted or exempt dock;
3. Will be built without adding new surface area to the dock such as walkways, gangplanks, or catwalks;
4. Does not involve filling other than to install the pilings; existing piles may be cut or pulled to remove them; and
5. Construction materials may differ from those that currently exist, and minor deviations are allowed to upgrade the dock to meet current structural and design standards.

General Conditions for Sovereignty/State-Owned Submerged Lands Authorizations:

Any use of sovereignty/state-owned submerged lands is subject to the following general conditions that are binding upon the applicant and are enforceable under [Chapters 253, F.S.](#) or [258, F.S.](#)

1. Sovereignty/state-owned submerged lands may be used only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use will constitute a violation. Violation of the authorization will result in suspension or revocation of the applicant's use of the sovereignty/state-owned submerged lands unless cured to the satisfaction of the Board of Trustees of the Internal Improvement Trust Fund (Board).
2. Authorization under Rule 18-21.005, F.A.C., conveys no title to sovereignty/state-owned submerged lands or water column, nor does it constitute recognition or acknowledgment of any other person's title to such land or water.
3. Authorizations under Rule 18-21.005, F.A.C., may be modified, suspended or revoked in accordance with its terms or the remedies provided in Sections 253.04, F.S. or Chapter 18-14, F.A.C.
4. Structures or activities will be constructed and used to avoid or minimize adverse impacts to resources.
5. Construction, use, or operation of the structure or activity will not adversely affect any species which is endangered, threatened or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.;

6. Structures or activities will not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity will be modified in accordance with the court's decision.
7. Structures or activities will not create a navigational hazard.
8. Structures will be maintained in a functional condition and will be repaired or removed if they become dilapidated to such an extent that they are no longer functional.
9. Structures or activities will be constructed, operated, and maintained solely for water dependent purposes.
10. The applicant agrees to indemnify, defend and hold harmless the Board and the State of Florida from all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty/state-owned submerged lands or the applicant's use and construction of structures on sovereignty/state-owned submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.
11. Failure by the Board to enforce any violation of the authorization or waiver by the Board of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure or waiver prevent the Board from enforcing the waived or unenforced provision in the event of a future violation of that provision.
12. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.
13. All costs incurred by the Board in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board in writing of any change of address at least ten days before the change becomes effective.
14. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant of record that prohibits the activity.

Manatee Conditions:

The following conditions are intended to protect manatees from direct project effects; THESE CONDITIONS APPLY ONLY IN WATERS THAT ARE ACCESSIBLE TO MANATEES:

1. All personnel associated with the project will be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee will advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
2. All vessels associated with the construction project will operate at 'Idle Speed/No Wake' at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
3. Siltation or turbidity barriers will be made of material in which manatees cannot become entangled, will be properly secured, and will be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
4. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not

reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.

5. Any collision with or injury to a manatee will be reported immediately to the FWC Hotline at 1-888-404-FWCC. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida.
6. Temporary signs concerning manatees will be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Awareness signs that have already been approved for this use by the Florida Fish and Wildlife Conservation Commission (FWC) must be used (see MyFWC.com). One sign which reads Caution: Boaters must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for 'Idle Speed/No Wake' and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities.

Self-Certification Requirements:

The user agrees to the following:

1. The information provided herein is true and accurate.
2. **Construction of the project must be completed within one year from the self-certification date.** If the project cannot be completed within that time frame, or the project is to be modified, the Department must be contacted for authorization requirements.
3. Any substantial modifications in the plans for this project must be submitted to the Department for review, as changes may result in a permit being required.
4. This self-certification will automatically expire if site conditions materially change; if the terms, conditions, and limitations of the self-certification are not followed; or if the governing statutes or rules are amended before the project is completed.
5. Department personnel will be allowed to enter the property for purposes of inspecting the project for compliance with the terms and conditions of this self-certification.



FLORIDA DEPARTMENT OF
Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400



Noah Valenstein
Secretary

**CONDITIONS FOR DEPARTMENT OF THE ARMY SELF-CERTIFIED STATE
PROGRAMMATIC GENERAL PERMIT FOR A PROJECT AT A PRIVATE, SINGLE-FAMILY
RESIDENCE**

Self Certification File No.: **0385850001EE**

Verification that the project meets the Project Design Criteria:

You have verified that the project meets the Project Design Criteria (attached in a separate document), and have authorized FDEP to send a copy of this verification to the Corps on your behalf.

General Conditions:

1. The time limit for completing the work authorized on July 26, 2021.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit, you must obtain the signature of the new owner on the enclosed form and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit.
6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Further Information:

1. Limits of this authorization:
 - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b. This permit does not grant any property rights or exclusive privileges.
 - c. This permit does not authorize any injury to the property or rights of others.
 - d. This permit does not authorize interference with any existing or proposed Federal projects.
2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any

liability for the following:

- a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
 - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - d. Design or Construction deficiencies associated with the permitted work.
 - e. Damage claims associated with any future modification, suspension, or revocation of this permit.
3. Reliance on Applicant's Data: The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.
 4. Reevaluation of Permit Decision: This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (see 3 above).
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
 5. Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CER 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.
 6. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form.
 7. The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the U.S. Army Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal, relocation or alteration.

Manatee Conditions:

1. All personnel associated with the project will be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee will advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
2. All vessels associated with the construction project will operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
3. Siltation or turbidity barriers will be made of material in which manatees cannot become entangled, will be properly secured, and will be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.

4. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
5. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at **ImperiledSpecies@myFWC.com**.
6. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads Caution: Boaters must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.

BOATHOUSE RENOVATION

ANGELA ROSSELOT

2820 NELA AVE BELLE ISLE, FL 32809



Digitally signed by
 Angel M Lopez
 DN: c=US,
 o=Unaffiliated,
 ou=A01410C0000
 0170F936080B000
 12CCC, cn=Angel
 M Lopez
 Date: 2020.04.01
 16:07:19 -04'00'

GENERAL NOTES

- A. GENERALLY DIMENSIONS ARE FROM FACE OF CHU WALLS & FACE OF PARTITIONS UNLESS NOTED OTHERWISE.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ANY SPECIALTY AND RELATED INFORMATION FOR EQUIPMENT OR ITEMS IN RESPECTIVE MANUFACTURER (M) BEFORE THE START OF CONSTRUCTION.
- C. TOP OF SLAB ELEV. 0'-0" EQUALS TO ACTUAL ELEVATION V.I.P.
- D. IT IS THE INTENT OF THE DESIGNER THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. THEREFORE, ALL CONTRACTORS AND SUBCONTRACTORS SHALL PERFORM ALL REQUIRED WORK IN CONFORMANCE WITH THE SAME CODES, REGULATIONS AND GOVERNING BODY.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS & DIMENSIONS FOR COORDINATION OF ALL TRADES.
- F. CONTRACTOR SHALL REPORT ALL DRAWING DISCREPANCIES AND EXISTING JOB SITE CONDITIONS TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- G. CONTRACTOR SHALL VERIFY ALL EXISTING JOB-SITE CONDITIONS PERTAINING TO THE DEMOLITION WORK INDICATED AND / OR IMPLIED ON THE DRAWINGS, AND SHALL REPORT ANY DISCREPANCIES AND / OR CHANGES WHICH HOLD INTEREST WITH SATISFACTORY COMPLETION OF THE WORK.
- H. CONTRACTOR SHALL BE RESPONSIBLE IN VERIFYING DIMENSIONS FOR PROPER FITTING OF ALL STRUCTURAL MEMBERS, EQUIPMENT AND ACCESSORIES AS REQUIRED IN THE PLANS.
- I. CONTRACTOR SHALL SUPPLY, LOCATE, PROVIDE & BUILD CONNECTIONS/ INSERTS FOR ALL STRUCTURAL MEMBERS, EQUIPMENTS, MATERIALS, ATTACHMENTS AND ACCESSORIES NEEDED IN THE CONSTRUCTION WORK.
- J. MECHANICAL CONTRACTOR SHALL VERIFY THAT OUTSIDE AIR INTAKE PROVIDES 0.2 CFM FRESH AIR PER MECH. CODE AND ASHRAE 62. PROVIDE MECHANICAL SHOP DRAWINGS AND TAB REPORT TO THE GENERAL CONTRACTOR.
- K. CONTRACTOR TO VERIFY ALL EXPOSED HOOD MEMBERS OR HOOD MEMBERS WITHIN 12' OF GRADE OR CONCRETE SHALL BE MARKED AND GRADED ACCORDING TO ASHA UCA4.

JB DRAWING

ORLANDO

786.498.3167

julianberio23@hotmail.com

REVISIONS	DATE

Angel M. Lopez
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 LIC. #65179
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 1657 W. Oak Ridge Rd., Apt. B - Orlando, FL 32809

GENERAL NOTES (WHEN APPLICABLE)

ARCHITECTURAL GENERAL NOTES:

1. THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE 140 MPH WIND LOAD REQUIREMENTS IN ACCORDANCE WITH SECTION III OF THE 2017 FLORIDA RESIDENTIAL BUILDING CODE, WHICH IS THE STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE MECHANICAL, ELECTRICAL AND PLUMBING REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES. ALL WORK SHALL COMPLY WITH THE SAME AS WELL AS ALL APPLICABLE CODES, ORDINANCES, LAWS, SAFETY ORDERS, AND DIRECTIVES OF THE STATE, COUNTY AND CITY.
2. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA DOCUMENT A305A, SHALL CONSTITUTE A PART OF THE CONTRACT DOCUMENTS.
3. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, CERTIFICATES OF INSPECTION AND APPROVAL, ETC., UNLESS OTHERWISE NOTED BY OWNER.
4. THE SUBMISSION OF A BID BY ANY SUBCONTRACTOR SHALL INDICATE SAID CONTRACTOR HAS REVIEWED THE CONTRACT DOCUMENTS, AND UNDERSTANDS THE LABOR AND MATERIALS REQUIRED TO COMPLETE THE PROJECT AND OBTAIN ALL NECESSARY APPROVALS.
5. PRIOR TO CONSTRUCTION, EACH CONTRACTOR AND SUBCONTRACTOR SHALL VISIT THE STRUCTURE AND VERIFY ALL DIMENSIONS AND APPLICABLE DETAILS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
6. IN THE CASE OF DISCREPANCIES OR INCONSISTENCIES APPEARING IN THE CONSTRUCTION DOCUMENTS, SPECIFICATIONS OR FIELD CONDITIONS, THE ARCHITECT SHALL BE NOTIFIED IN WRITING FOR PROPER ADJUSTMENT. IN NO CASE SHALL WORK PROCEED IN UNCERTAINTY OR WITH INSUFFICIENT DATA.
7. ALL WORK, APPARATUS, FIXTURES AND THE STRUCTURE SHALL BE PROTECTED IN ALL RESPECTS FROM HEAVEN. ALL BUILDING HAZARDS, FIRE, UNDESIRABLE INTRUSIONS, DIRT, DUST OR DEBRIS.
8. EACH SUBCONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN FOR THE DURATION OF CONSTRUCTION, ALL REQUIRED SCAFFOLDING, TARPULINS, HANDING BARS, FENCES, AND OTHER TEMPORARY CONSTRUCTION ITEMS FOR THE PROPER AND SAFE COMPLETION OF THE WORK, AND FOR COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
9. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINAL STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE CONSTRUCTION PROCEDURES AND SEQUENCES, AND ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENTS DURING CONSTRUCTION. SAFETY MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
10. ALL CONSTRUCTION MATERIALS, IF PLACED ON FINISHED FLOORS OR ROOFS, SHALL BE SPREAD OUT TO APPROPRIATELY DISTRIBUTE THE LOAD ON THE STRUCTURE. THE COMBINED LOAD OF CONSTRUCTION MATERIALS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. EACH SUBCONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE THE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
11. ALL MATERIALS, FABRICATION, AND/OR INSTALLATION SHALL COMPLY WITH ALL TECHNICAL AND INDUSTRY STANDARDS AND SPECIFICATIONS FOR EACH DIVISION OF WORK.
12. EACH SUBCONTRACTOR, UPON VISIT TO OCCUPANCY, SHALL PROVIDE FINAL NORMAL CLEANING INCLUDING BUT NOT LIMITED TO: REMOVAL OF ALL ACCUMULATED GRIME AND DEBRIS, CLEAN ALL MIRRORS, DOORS, HANDLES AND FIXTURES, WAXING, CLEAN OR SCOUR AND POLISH ALL FLOORS, REMOVING ALL GRIME OR DIRT. THE GROUNDS AROUND OR ADJACENT TO THE SITE SHALL BE LEFT MAKE CLEAN.

FIRE PROTECTION:

1. FIRE PROTECTION CONTRACTOR SHALL COORDINATE HIS ACTIVITIES WITH THE WATER DEPT., FIRE DEPARTMENT, PLUMBING CONTRACTOR AND LANDLORD.
2. ALL WORK SHALL BE IN CONFORMANCE WITH ALL CURRENT STATE AND LOCAL CODES AND NFPA.
3. THIS CONTRACTOR SHALL SUBMIT DETAILED DESIGN AND SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCING WORK.

MECHANICAL GENERAL NOTES:

1. THE MECHANICAL CONTRACTOR SHALL DESIGN AND PREPARE REQUIRED INFORMATION PERTAINING TO HIS PORTION OF WORK FOR REVIEW BY THE LANDLORD. THE MECHANICAL CONTRACTOR SHALL OBTAIN REQUIRED PERMITS AND INSPECTIONS FROM LOCAL BUILDING INSPECTION DEPARTMENT. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY INSURANCE AND BONDING AS REQUIRED BY THE LOCAL BUILDING INSPECTION DEPARTMENT.
2. MECHANICAL WORK SHALL BE INSTALLED BY LICENSED CONTRACTORS, AND WORK SHALL COMPLY WITH THE 2017 FLORIDA BUILDING MECHANICAL CODE AND LOCAL CODES AND ORDINANCES.
3. THE MECHANICAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR ANY FLOOR, WALL OR ROOF PENETRATIONS REQUIRED. THE MECHANICAL CONTRACTOR SHALL PROVIDE DETAIL AND FORMER CURS, INCLUDING BUT NOT LIMITED TO HVAC UNITS AND EQUIPMENT, FOR THE LANDLORD'S APPROVAL. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR OF ANY ADDITIONAL LOADING REQUIREMENTS NECESSARY TO ACCOMMODATE ROOF HEATED OR COOLED EQUIPMENT. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND REPAIRS OF CURS, HANGERS, BRACKETS, DAMPERS, THERMOSTATIC CONTROLS, FIRE ALARM SYSTEMS, FILTERS, ETC., REQUIRED TO PERFORM THE BEST OF THE WORK.
4. THE MECHANICAL CONTRACTOR SHALL COORDINATE HIS PORTION OF WORK WITH THAT OF THE PLUMBING AND ELECTRICAL CONTRACTORS.
5. COORDINATE LOCATION OF NEW HVAC UNITS WITH THE OWNER AND THE ARCHITECT.

ELECTRICAL GENERAL NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL DESIGN AND PREPARE REQUIRED INFORMATION PERTAINING TO HIS PORTION OF THE WORK FOR REVIEW BY THE LANDLORD OR OWNER. THE ELECTRICAL CONTRACTOR SHALL OBTAIN REQUIRED PERMITS AND INSPECTIONS FROM LOCAL BUILDING INSPECTION DEPARTMENT. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY INSURANCE AND BONDING AS REQUIRED BY THE LOCAL BUILDING INSPECTION DEPARTMENT.
2. ELECTRICAL WORK SHALL BE INSTALLED BY LICENSED ELECTRICIANS, AND WORK SHALL COMPLY WITH THE 2017 ED OF THE NATIONAL ELECTRICAL CODE, AND LOCAL CODES AND ORDINANCES.
3. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS PORTION OF WORK WITH THAT OF THE PLUMBING AND MECHANICAL CONTRACTORS.
4. ELECTRICAL WORK SHALL INCLUDE, BUT NOT BE LIMITED TO: ALL EXISTING ELECTRICAL SERVICE PANELS, LOCATED AS INDICATED ON THE ELECTRICAL FLOOR PLAN, OR NEW SERVICE AS REQUIRED. COORDINATE POINT OF WORK WITH THE OWNER.

PLUMBING GENERAL NOTES:

1. THE PLUMBING CONTRACTOR SHALL DESIGN AND PREPARE REQUIRED INFORMATION PERTAINING TO HIS PORTION OF WORK FOR REVIEW BY THE OWNER. THE PLUMBING CONTRACTOR SHALL OBTAIN REQUIRED PERMITS AND INSPECTIONS FROM LOCAL BUILDING INSPECTION DEPARTMENT. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY INSURANCE AND BONDING AS REQUIRED BY THE LOCAL BUILDING INSPECTION DEPARTMENT.
2. PLUMBING WORK SHALL BE INSTALLED BY LICENSED CONTRACTORS, AND WORK SHALL COMPLY WITH THE 2017 FLORIDA PLUMBING CODE, 6TH ED. AND LOCAL CODES AND ORDINANCES.
3. THE PLUMBING CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR ANY FLOOR, WALL OR ROOF PENETRATIONS REQUIRED. THE PLUMBING CONTRACTOR SHALL PROVIDE DETAIL AND FORMER CURS, FOR THE OWNER'S APPROVAL.
4. THE PLUMBING CONTRACTOR SHALL COORDINATE HIS PORTION OF WORK WITH THAT OF THE MECHANICAL AND ELECTRICAL CONTRACTORS.

WOOD CONSTRUCTION NOTES:

1. ALL INT. BEARING WALLS TO BE 8" KD S.Y.P. OR 12" S.P.P. UNO.
2. ALL HOOD STRUCTURAL MEMBERS SHALL BE CONTROLLED STRESS GRADED LUMBER, HAVING A FIBER STRESS OF AT LEAST 1200 PSI PER.
3. ALL EXT. BEARING WALLS TO BE 8" KD S.Y.P. OR 12" S.P.P. UNO. STUDS SHALL BE SPACED.
4. ALL HOOD IN CONTACT WITH CONC. SHALL BE PRESURE TREATED.
5. INT. WALLS ARE 2X4 UNLESS OTHERWISE NOTED.

SOIL NOTES:

1. ALL FILL SHALL BE CLEAN SAND, FREE OF ORGANIC & OTHER DELETERIOUS MATERIALS. COMPACTED SOILS SHALL BE TESTED TO A MIN OF 40% OF MODIFIED PROCTOR WITHIN ASTM D 1557 & COMPACTED & TESTED IN LIFTS NOT TO EXCEED 12 INCHES, PER 1044.2. MINIMUM SOIL BEARING PRESSURE = 2000 PSI.
2. ALL SOIL SHALL BE SOIL AT FOUNDATION TO BE TREATED & PROTECTED AGAINST SUBTERRANEAN TERMITES & PROVIDED WITH A VAPOR BARRIER IN ACCORDANCE WITH THE 2017 FBG, PER 6TH EDITION SECTIONS PER 6 306.2.3 RESPECTIVELY.

DESIGN CRITERIA:

IN ACCORDANCE WITH THE 2017 RESIDENTIAL PER 6TH EDITION SECTIONS PER 6 1001 & 1004.	
BUILDING OCCUPANCY:	TYPE V (CH. 6), UNFURNISHED
RESIDENTIAL	140 MPH (S)
CONSTRUCTION TYPE:	
DESIGN WIND VELOCITY:	
SECOND (GUST)	
WIND EXPOSURE CATEGORY:	B
WIND IMPORTANCE FACTOR:	1
ENCLOSED BLDG. INTERNAL PRESSURE COEFFICIENT (Cp <i>i</i>)	
& CjB	
ROOF LIVE LOAD:	20 PSF
RESIDENTIAL AREAS LIVE LOAD:	40 PSF
ROOF DEAD LOAD (TO CALCULATE UPLIFT RESISTANCES):	20 PSF
6" MASONRY WALL DESIGN DEAD LOAD:	50 PSF
CONCRETE DESIGN DEAD LOAD:	50 PSF

ABBREVIATION LIST:

AB.	ANCHOR BOLT	FLR.	FLOOR	FLT. SK.	PLANT SHELF
ABV.	ABOVE	FDN.	FOUNDATION	PSF	POUNDS PER SQUARE FOOT
AC	AIR-CONDITIONER	FLR. SYS.	FLOOR SYSTEM	P.T.	PRESSURE TREATED
ADJ.	ADJUSTABLE	F.P.L.	FIREPLACE	P.O.D.	POUNDER ROOM
A.F.F.	ABOVE FINISHED FLOOR	FT.	FOOT / FEET	R.A.D.	RADIUS
A.H.U.	AIR HANDLER UNIT	FTS.	FOOTING	REF.	REFRIGERATOR
ALT.	ALTERNATE	FX	FIXED	REQ'D.	REQUIRED
B.C.	BASE CABINET	GALV.	GALVANIZED	R.M.	ROOM
B.F.	BIFOLD DOOR	G.C.	GENERAL CONTRACTOR	R.O.D.	ROUND
BK. SH.	BOOK SHELF	G.F.I.	GROUND FAULT INTERRUPTER	R.O.S.H.	ROD AND SHELF
B.M.	BEAM	G.T.	GIRDER TRUSS	S.D.	SHOKE DETECTOR
B.O.T.	BOTTOM	H.R.	HEADER	S.F.	SQUARE FT.
B.P.	BYPASS DOOR	HST.	HEIGHT	S.H.	SHELVES
BRS.	BEARING	H.B.	HOSE BIBB	S.H.T.	SHEET
C.R.	CIRCLE	INT.	INTERIOR	S.L.	SIDE LIGHTS
C.C.S.	CELINGS	INT. K.	INTERIOR KNEESHALL	S.P.F.	SPRICE PINE FIR
C.L.N.	COLUMN	K.S.	KNEE SPACE	S.Q.	SQUARE
COMP.	A/C COMPRESSOR	LAUN.	LAUNDRY	S.Y.P.	SOUTHERN YELLOW PINE
C.T.	CERAMIC TILE	LAV.	LAUNDRY	TEMP.	TEMPERED
D.	DRYER	L.F.	LINEAR FT.	THICK.	THICKEN
DEC.	DECORATIVE	L.T.	LAUNDRY TUB	T.O.B.	TOP OF BLOCK
DED.	DECKED OUTLET	MAS.	MASONRY	T.O.M.	TOP OF MASONRY
DEL.	DOUBLE	MAX.	MAXIMUM	T.O.P.	TOP OF PLATE
DIA.	DIAMETER	M.C.G.	MEDICINE CABINET	TRANS.	TRANSOM WINDOW
DISP.	DISPOSAL	MFR.	MANUFACTURER	TYP.	TYPICAL
DIST.	DISTANCE	MICRO.	MICROMETER	U.C.L.	UNDER CABINET LIGHTING
D.S.	DRAINER STACK	MIN.	MINIMUM	UNO.	UNLESS NOTED OTHERWISE
D.V.	DRYER VENT	ML	MILICOLAM	VB	VERTICAL BASE
D.M.	DISHWASHER	MR.	MIRROR	VERT.	VERTICAL
E.A.	EACH	MONO.	MONOLITHIC	V.L.	VERSALAM
E.H.	EACH HAY	N.T.S.	NOT TO SCALE	VTR	VENT THROUGH ROOF
ELEC.	ELECTRICAL	OPT.	OPENING	W	WASHER
ELEV.	ELEVATION	PC.	OPTIONAL	W/H	WITH
EXT.	EXTERIOR	PC.	PIECE	W/C	WATER CLOSET
EXP.	EXPANSION	P.D.	PEDESTAL	W.A.	WEDGE ANCHOR
F.B.G.	FLORIDA BLDG. CODE	P.L.	PARALLAM	W.D.	WOOD
FIN. FLR.	FINISHED FLOOR	P.L.F.	PARALLAM	W.P.R.O.O.F.	WATER PROOF
F.S.	FIXED GLASS	P.L.T.	PLATE HEIGHT		

APPLICABLE CODES

THIS STRUCTURE HAS BEEN DESIGNED TO WITHSTAND FORCES GENERATED BY 140 MPH WINDS PLUS THREE SECOND GUST FACTOR IN COMPLIANCE WITH SECTION 1600 OF THE 2017 FL. RESIDENTIAL BUILDING CODE, 6TH EDITION.

FBG - FLORIDA RESIDENTIAL BUILDING CODE	2017 ED
FFC - PLUMBING CODE	2017 ED
FMC - MECHANICAL CODE	2017 ED
FEC - ELECTRICAL (CH. 6)	2017 ED
FBC - ACCESSIBILITY CODE	2017 ED
FEC - ENERGY CODE	2017 ED
NEC - NATIONAL ELECTRICAL CODE	2017 ED

CODE ANALYSIS

PROJECT SUMMARY:
 SCOPE OF WORK INDICATED ON THESE DRAWINGS IS OTHER CONSTRUCTION OF AN ADDITION TO THE REFERENCED RESIDENTIAL PROPERTY.

TYPE OF CONSTRUCTION:
 TYPE V

OCCUPANCY CLASSIFICATION:
 GROUP "R" RESIDENTIAL (PER 506.1)

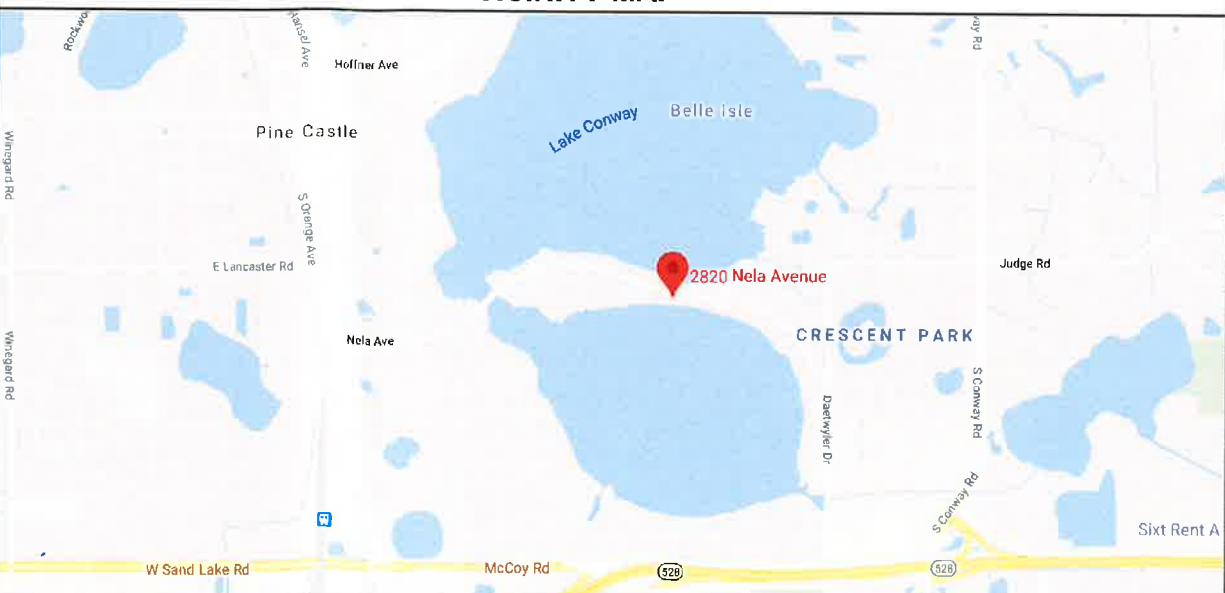
DRAWING INDEX

SHEET NUMBER	DESCRIPTION
G-1	COVER SHEET
A-0	GRUBBY
A-1	FLOOR PLAN + ROOF PLAN
A-2	ELEVATIONS
A-3	DETAILS

LOCATION MAP



VICINITY MAP



Boathouse Renovation

Angela Rosselot

2820 Nela Ave Belle Isle, FL 32809

COVER SHEET, INDEX, GENERAL NOTES, LOCATION AND SIDE PLAN

ANGEL M. LOPEZ
 STATE OF FLORIDA PROFESSIONAL
 LIC. #65179

DRAWN BY	DESIGNED BY
J.B.	—
DATE	CHECKED BY
04-01-2020	A.L.
CR No.	SCALE
JB-AL-022	AS NOTED

SHEET
G-1

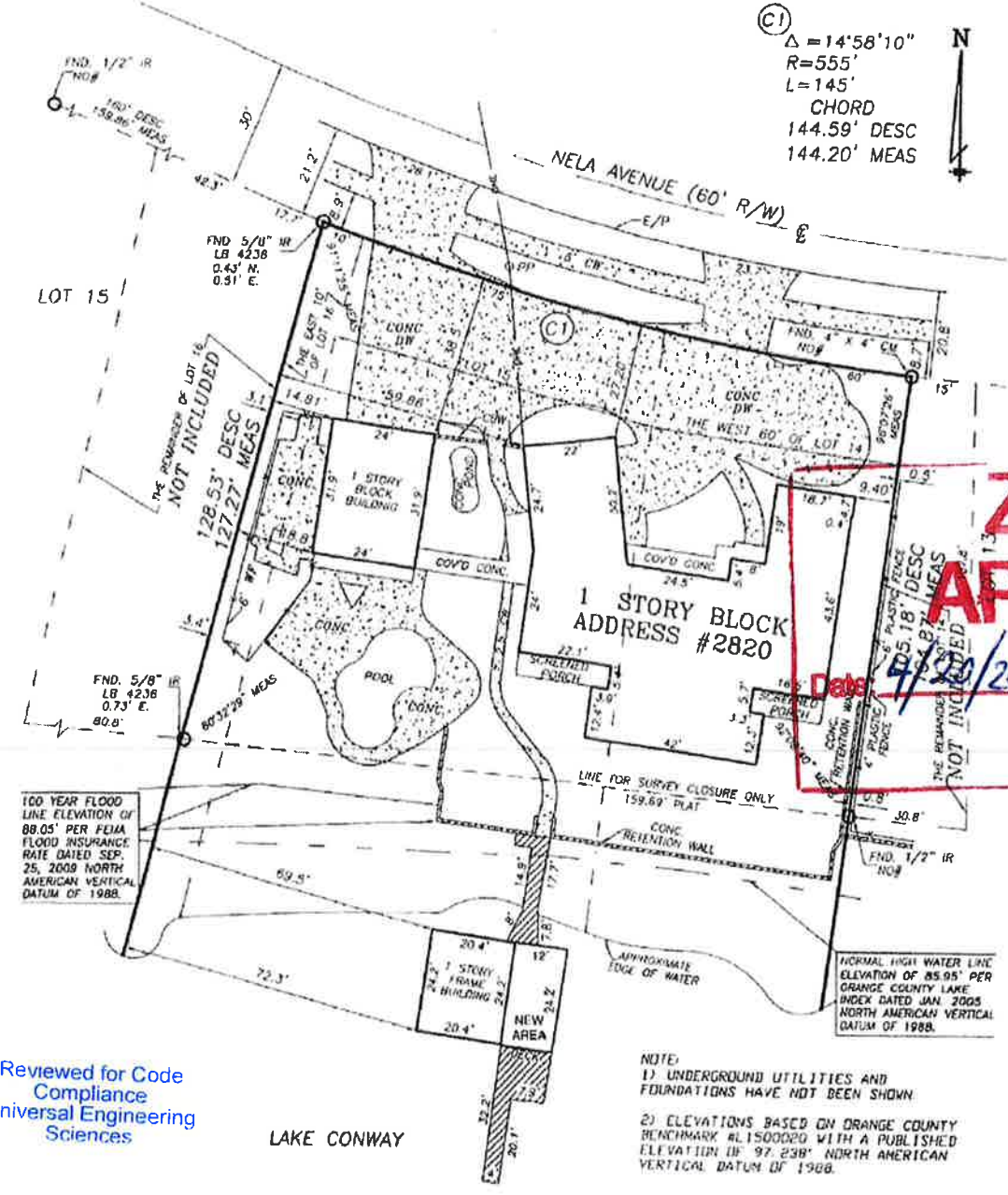
2820 Nela AUP
BOAT DOCK

MAP OF SURVEY
DESCRIPTION

LOT 15 AND THE WEST 60 FEET OF LOT 14 AND THE EAST 10 FEET OF LOT 16, NELA ISLE - ANNEX, AS RECORDED IN PLAT BOOK R, PAGE 74, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

RECEIVED
BY: APR 13 2020

(C1) $\Delta = 14'58'10"$
 $R = 555'$
 $L = 145'$
CHORD
144.59' DESC
144.20' MEAS



ZONING APPROVED

Date: 4/13/20 By: [Signature]
City of Belle Isle

100 YEAR FLOOD LINE ELEVATION OF 88.05' PER FEMA FLOOD INSURANCE RATE DATED SEP. 25, 2008 NORTH AMERICAN VERTICAL DATUM OF 1988.

NORMAL HIGH WATER LINE ELEVATION OF 85.95' PER ORANGE COUNTY LAKE INDEX DATED JAN. 2005 NORTH AMERICAN VERTICAL DATUM OF 1988.

NOTE:
1) UNDERGROUND UTILITIES AND FOUNDATIONS HAVE NOT BEEN SHOWN.
2) ELEVATIONS BASED ON ORANGE COUNTY BENCHMARK RL1500020 WITH A PUBLISHED ELEVATION OF 97.238' NORTH AMERICAN VERTICAL DATUM OF 1988.

Reviewed for Code Compliance
Universal Engineering Sciences

Reviewed for Code Compliance
Universal Engineering Sciences

1 SURVEY

Digitally signed by
Angel M Lopez
DN: c=US,
o=Unaffiliated,
ou=A01410C00000
170F93608080001
2CCC, cn=Angel M
Lopez
Date: 2020.04.01
16:09:15 -04'00'

JB
DRAWING

ORLANDO
780 498 3167
adam@jb2.com

REVISIONS	DATE

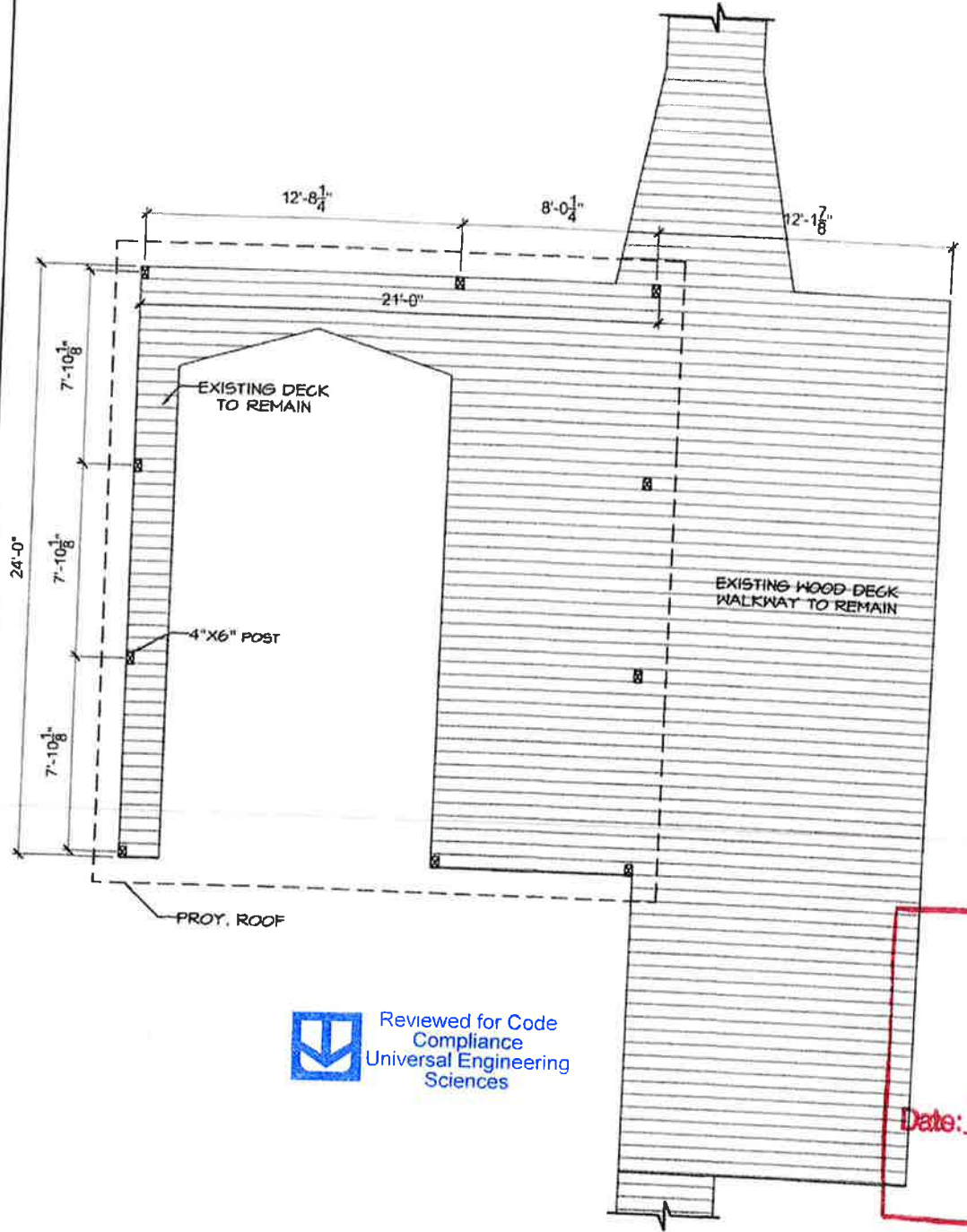
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ANGEL M. LOPEZ
Professional Engineer
No. 170F93608080001
2CCC
Unaffiliated
Unaffiliated
Unaffiliated

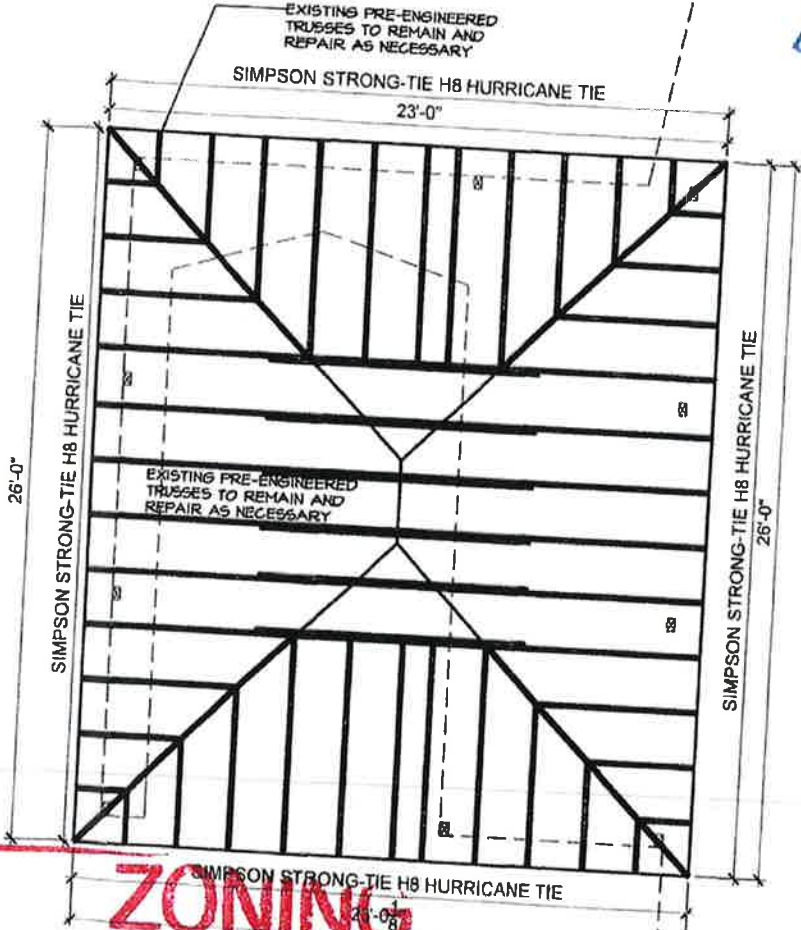
DATE	BY	REVISION
04-01-2020	AL	
JB-AL-022	AS NOTED	

A-0



Reviewed for Code Compliance
 Universal Engineering Sciences

1 FLOOR PLAN
 SCALE 3/16" = 1'-0"



Reviewed for Code Compliance
 Universal Engineering Sciences

2 ROOF PLAN
 SCALE 3/16" = 1'-0"

ZONING APPROVED
 Date: 4/20/20 By: *[Signature]*
 City of Belle Isle

RECEIVED
 APR 13 2020



ORLANDO
 788 488 3167
 21000023@gmail.com

REVISIONS DATE

Angel M. Lopez
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 L.C. #65179
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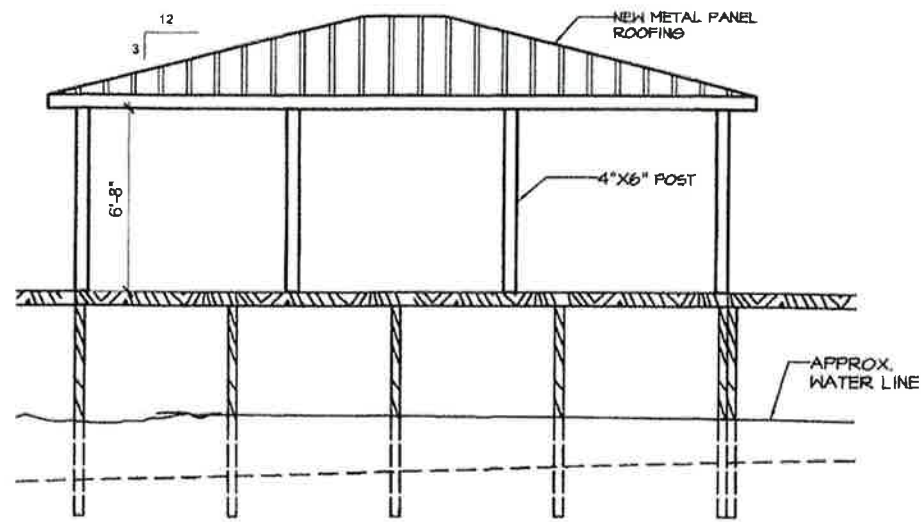
Boathouse Renovation
Angela Rosselot
 2820 Neia Ave Belle Isle, FL 32808
 FLOOR PLANS • ROOF PLAN RENOVATION AREAS

ANGEL M. LOPEZ
 PUBLIC REGISTER

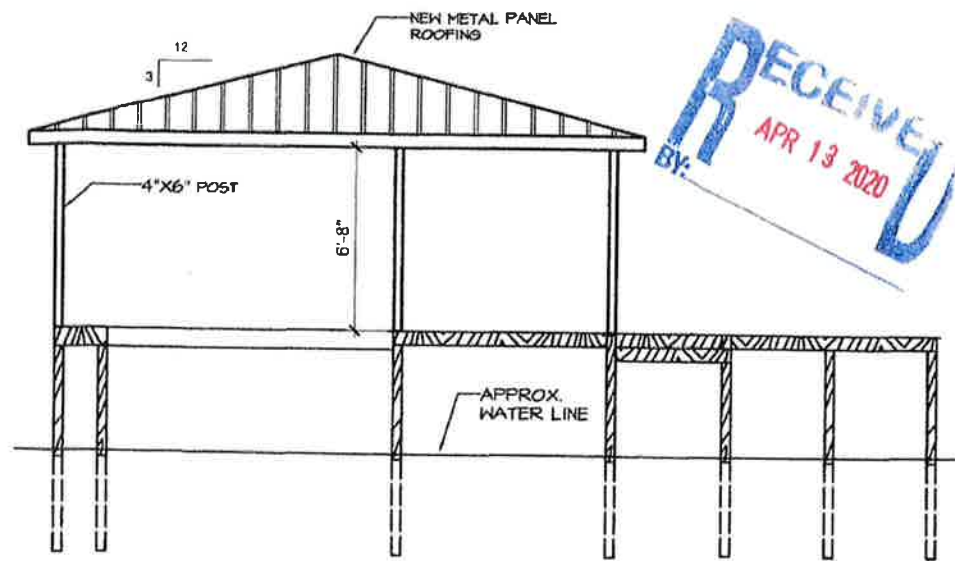
DESIGNED BY	CREATED BY
J.B.	
CHECKED BY	
04-01-2020	A.L.
SCALE	
JB-AL-022	AS NOTED

A-1

Digitally signed by
 Angel M Lopez
 DN: c=US,
 o=Unaffiliated,
 ou=AD1410C00001
 70F9360B0B00012C
 CC, cn=Angel M
 Lopez
 Date: 2020.04.01
 16:10:16 -0400

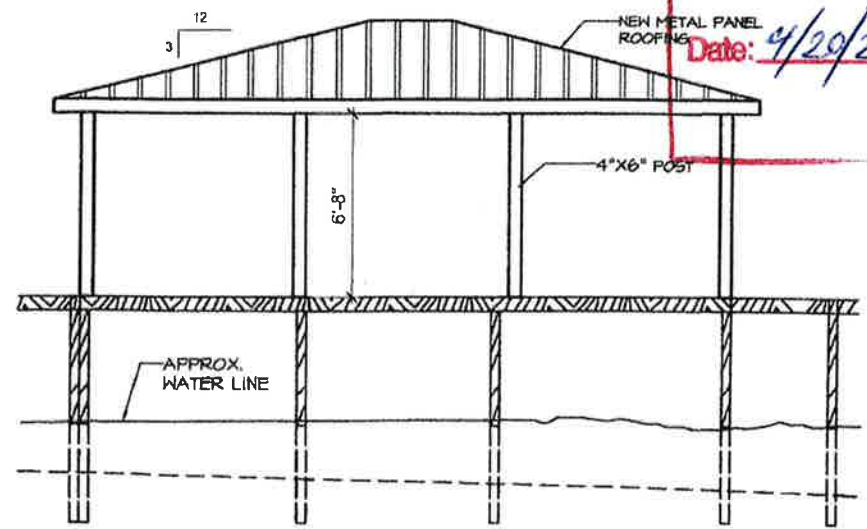


4 EAST ELEVATION
SCALE: 3/16" = 1'-0"

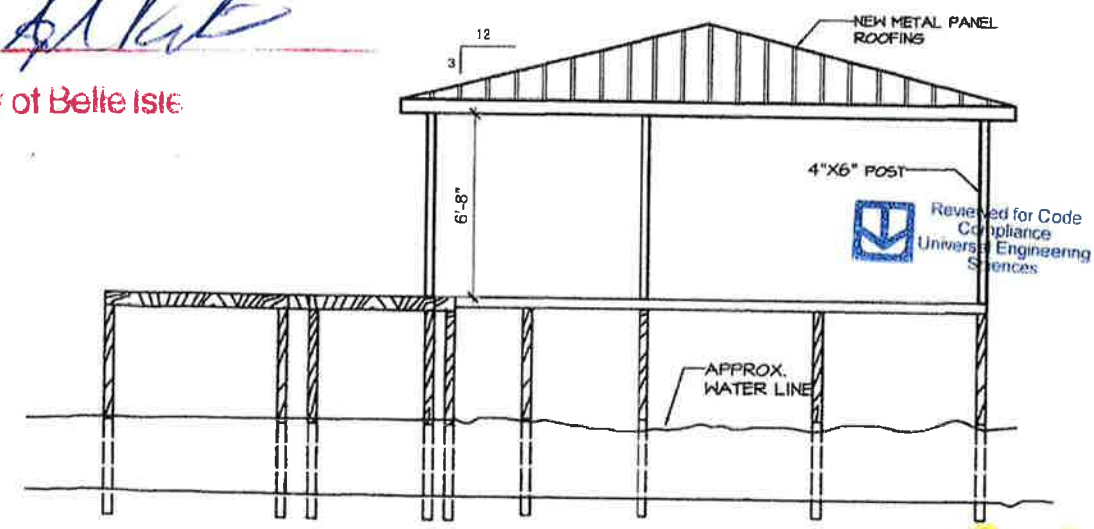


5 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

RECEIVED
BY: [Signature]
APR 13 2020



6 WEST ELEVATION
SCALE: 3/16" = 1'-0"



7 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

ZONING APPROVED
Date: 4/29/20 By: [Signature]
City of Belle Isle

Reviewed for Code Compliance
Universal Engineering Sciences

Reviewed for Code Compliance
Universal Engineering Sciences

Digitally signed by Angel M Lopez
DN: c=US, ou=Unaffiliated, ou=A01410C000017, cn=Angel M Lopez
Date: 2020.04.01 16:11:30 -0400'

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jldrawing2@aol.com

REVISIONS	DATE

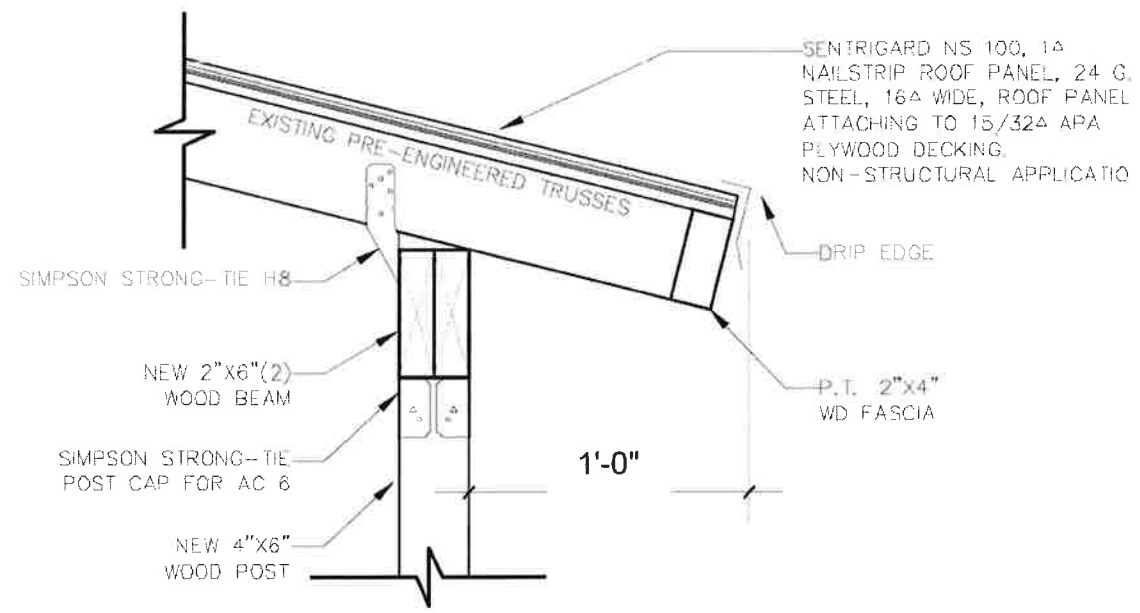
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Boathouse Renovation
Angela Rosselot
2820 Nela Ave Belle Isle, FL 32809

ANGEL M. LOPEZ
Professional Engineer
No. 12447
Professional Seal No. 12447
This seal is valid only when used in conjunction with the Professional Engineer's License No. 12447 and the Professional Engineer's Registration No. 12447.
The seal is not valid for use on any drawing or document that is not the work of the Professional Engineer.

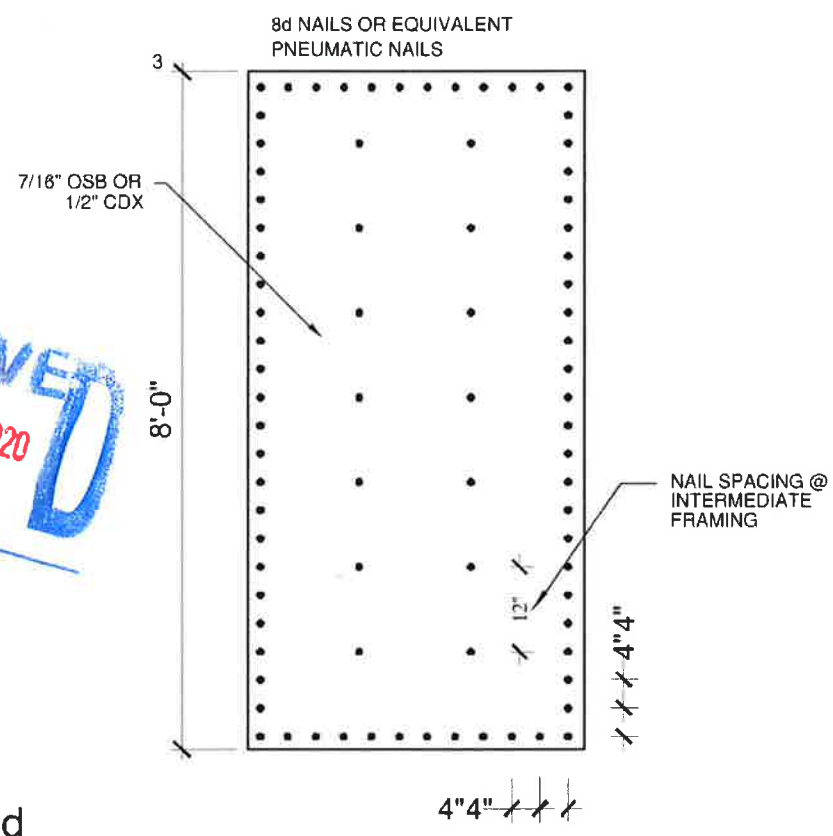
DATE	BY	REVISION
04-01-2020	AL	CHECKED
JR-AL-022	AS NOTED	DATE

A-2

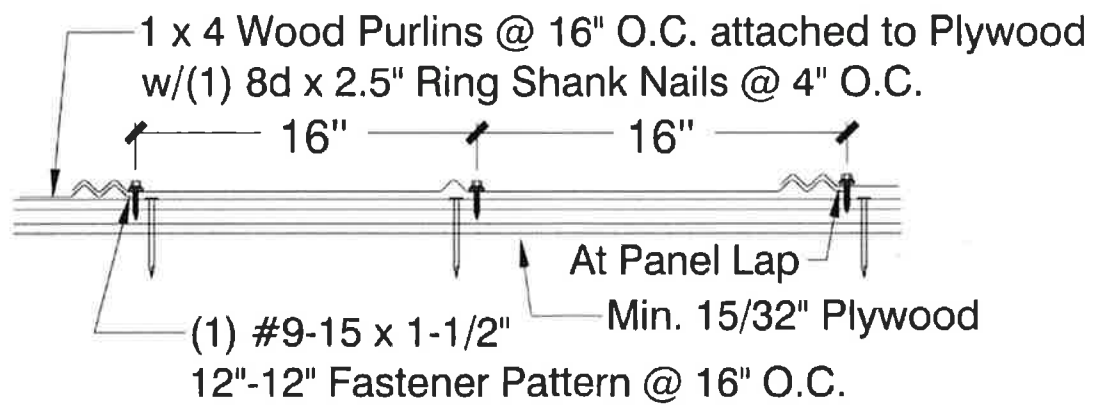


1 **DETAIL 1**
SCALE: 1 1/2" = 1'-0"

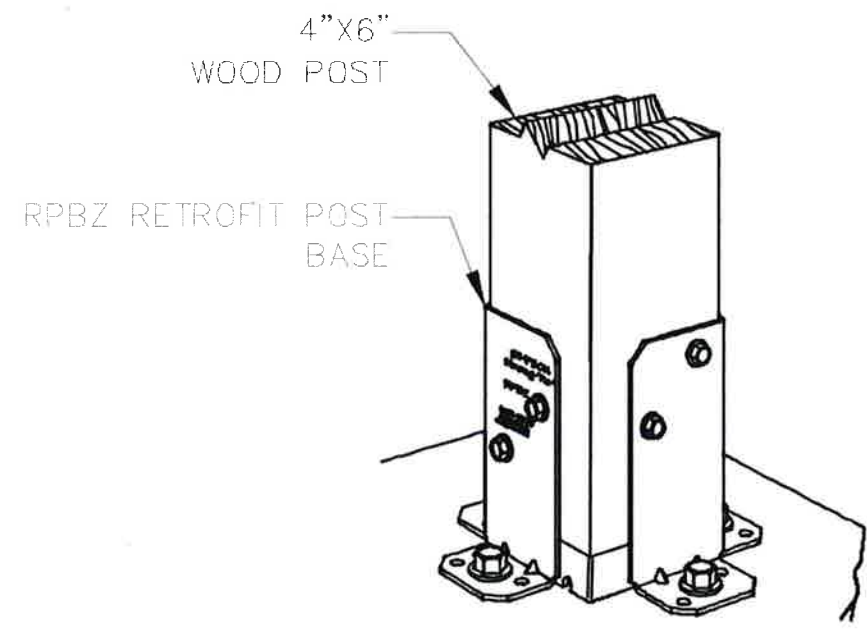
USE 8d COMMON NAILS AT THE FOLLOWING SPACING:
 1) 4" ON CENTER AT ALL PANEL EDGE FRAMING
 2) 12" ON CENTER AT ALL INTERMEDIATE FRAMING
 NOTE:
 BLOCKING REQUIRED AT ALL WALL PANEL EDGES



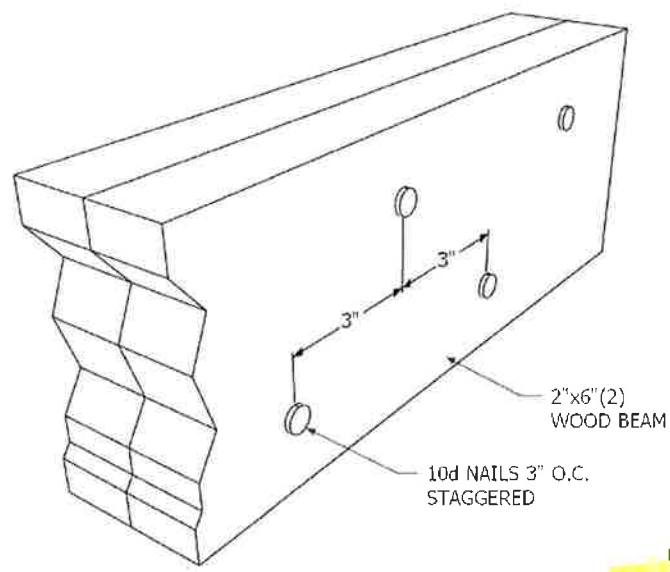
3 **NAILING SCHEDULE**
NOT TO SCALE



2 **DETAIL 2**
NOT TO SCALE

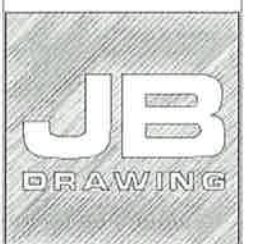


4 **DETAIL 3**
NOT TO SCALE



5 **DETAIL 4**
NOT TO SCALE

RECEIVED
 APR 13 2020
 BY: _____



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REVISIONS	DATE

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DRAWN BY J.B.	DESIGN BY J.B.
DATE 04-01-2020	CHECKED BY A.L.
JOB NO. JB-AL-022	SCALE AS NOTED

SHEET
A-3

Reviewed for Code Compliance
 Universal Engineering Sciences

Reviewed for Code Compliance
 Universal Engineering Sciences

Digitally signed by
 Angel M Lopez
 DN: c=US, o=Unaffiliated, ou=A01410C0000017, OF9360B0B00012CCC, cn=Angel M Lopez
 Date: 2020.04.01 16:12:10 -04'00'