

2020-06-064 VOID

**Susan Manchester**

**From:** April Fisher <aprilfisher73@gmail.com>  
**Sent:** Wednesday, July 1, 2020 11:06 AM  
**To:** lovettswan@yahoo.com; dennislovett75@gmail.com  
**Cc:** Frank Matos; CobiPermits; Susan Manchester; Yolanda Quiceno; Heidi Peacock  
**Subject:** Fwd: 1416 Swann Ave - zoning review for detached garage permit 2020-06-064 - Carolina Carports

Good morning, below is the information I sent the contractor on Monday. Please let me know if you have any questions.

Thank you,

April

Zoning denied

----- Forwarded message -----

**From:** April Fisher <aprilfisher73@gmail.com>  
**Date:** Mon, Jun 29, 2020, 11:46 AM  
**Subject:** Re: 1416 Swann Ave - zoning review for detached garage permit 2020-06-064 - Carolina Carports  
**To:** Susan Manchester <SManchester@universalengineering.com>  
**Cc:** CobiPermits <CobiPermits@universalengineering.com>, Yolanda Quiceno <yquiceno@belleislefl.gov>, Heidi Peacock <hpeacock@belleislefl.gov>, <permitting@carolinacarports.com>

Hi Susan, unfortunately the code does not allow this type of detached garage. I have also emailed the applicant. Here are the code requirements that must be met for a detached garage from Land Development Code Sec 50-102 (a):

Garages in residential districts shall meet the following criteria:

- Located at least 7.5 feet from a lot line and ten feet from a rear lot line; a.
- Located at least 50 feet from the 86.9 contour line of Lake Conway; b.
- Located at least six feet from all other accessory buildings, nonpermanent carports, garages, or screen enclosures, on the same lot; c.
- Have a height of no more than 20 feet from the natural grade of the land; d.
- A maximum of one garage per lot or combination of lots; e.
- A total maximum square footage of 600 square feet per garage; and f.
- On corner lots, garages shall be set back 20 feet from the right-of-way. g.

Garages means buildings which are detached from the principal building and are designed or used for the purpose of parking and/or storing motor vehicles, boats, and/or recreational vehicles, and related items, and are architecturally similar to the principal building and of like materials.

April Fisher, AICP  
Fisher Planning and Development Services  
407-494-8789

On Fri, Jun 19, 2020 at 10:26 AM Susan Manchester <[SManchester@universalengineering.com](mailto:SManchester@universalengineering.com)> wrote:

Hi April,

Attached is the info for a detached garage in the backyard. It has five foot setbacks (I know this is enough for a shed but I am not sure for a garage) and it will **replace** a shed (homeowner tells me it is dilapidated) that is currently there on the property or has been recently demo'd.

Thank you,

Susan Manchester  
Permit Administration for the City of Belle Isle  
Building Inspections and Code Compliance Department  
3532 Maggie Blvd  
Orlando, FL 32811  
p 407-423-0504 Ext 23309 | f 407-423-3106





City of Belle Isle  
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811  
 Tel 407-581-8161 \* Fax 407-581-0313 \* [www.universalengineering.com](http://www.universalengineering.com)

RECEIVED  
 JUN 19 2020  
 VOID

### Building / Land Use Permit Application

DATE: 6-16-20

PERMIT # 2020-06-064

PROJECT ADDRESS 1416 Swann Ave

Belle Isle, FL 32809 32812

PROPERTY OWNER Dennis Laett

PHONE 407-859-3000

VALUE OF WORK (labor & material) \$ 5200.00

**PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS**

detached metal garage 15'10" x 21' to replace demold 12' x 8' shed in SE corner of backyard w/ 5' max height 9' setbacks

- **SINGLE FAMILY RESIDENCE:** 8.5"x11" Plat Survey, Plot Plan of Home and Floor Plans of New Construction/Revision Required
- **BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- **SEPTIC SYSTEM (RESIDENTIAL):** - Provide verification of OC Health Dept approval for on-site septic tank system per FAC Chap. 64E-6
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: \_\_\_\_\_

To obtain this information, please visit <http://www.ocpall.org/Searches/ParcelSearch.aspx>

**SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCR OACH INTO ANY EASEMENT OR REQUIRED SETBACK.** Survey specific foundation plan required to show compliance with zoning setbacks. Note: this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

Wind Exposure Category: B \_\_\_ C \_\_\_ D \_\_\_

PLANNING & ZONING APPROVAL: \_\_\_\_\_

DATE \_\_\_\_\_

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)

CONSTRUCTION TYPE 2B  
 OCCUPANCY GROUP U Comm Res: 1 Single Fam 1 Multi Fam  
 #BLDG. 1 #UNITS 1 #STORIES \_\_\_\_\_ TOTAL SQ.FT. 315  
 MAX. FLOOR LOAD \_\_\_\_\_ MAX. OCCUPANCY \_\_\_\_\_  
 MIN. FLOOR ELEV. \_\_\_\_\_ LOW FLOOR ELEV. \_\_\_\_\_  
 WATER SERVICE \_\_\_\_\_ WELL \_\_\_\_\_ SEPTIC \_\_\_\_\_

BUILDING REVIEWER \_\_\_\_\_

DATE \_\_\_\_\_

VERIFIED CONTRACTOR'S LICENSE & INSURANCE ARE ON FILE \_\_\_\_\_

DATE \_\_\_\_\_

Per FSS 105.3.3:

An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC.

1511K  
 4x5  
 25  
 22  
 45.00  
 22.50  
 67.50

SPRINKLERS REQ'D	Y	N	
If Required - SUBMIT COPY OF PLANS FOR REVIEW			RCD
ZONING	<input checked="" type="radio"/>	<input type="radio"/>	\$ 165
CERT OF OCC	<input type="radio"/>	<input type="radio"/>	\$
TRAFFIC	<input type="radio"/>	<input type="radio"/>	\$
SCHOOL	<input type="radio"/>	<input type="radio"/>	\$
FIRE	<input type="radio"/>	<input type="radio"/>	\$
SWIMMING POOL	<input type="radio"/>	<input type="radio"/>	\$
SCREEN ENCLOSURE	<input type="radio"/>	<input type="radio"/>	\$
ROOFING	<input type="radio"/>	<input type="radio"/>	\$
BOAT DOCK	<input type="radio"/>	<input type="radio"/>	\$
BUILDING	<input checked="" type="radio"/>	<input type="radio"/>	\$ 67.50
WINDOW(S)	<input type="radio"/>	<input type="radio"/>	\$
DOOR(S)	<input type="radio"/>	<input type="radio"/>	\$
FENCE	<input type="radio"/>	<input type="radio"/>	\$
SHED	<input type="radio"/>	<input type="radio"/>	\$
DRIVEWAY	<input type="radio"/>	<input type="radio"/>	\$
OTHER	<input type="radio"/>	<input type="radio"/>	\$

1% BCAIB FEE

2 min

1.5% DCA FEE

2 min

TOTAL

236.50

OTHER PERMITS REQUIRED:

ELECTRICAL	Y	NA
PREPOWER	Y	NA
MECHANICAL	Y	NA
PLUMBING	Y	NA
ROOFING	Y	NA
GAS	Y	NA

PAID



RECEIVED JUN 19 2020

City of Belle Isle  
Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811  
Tel 407-581-8161 \* Fax 407-581-0313 \* www.universalengineering.com

**Building Permit (Land Use) Application**  
To be completed as required by State Statute Section 713 and other applicable sections.

Owner's Name Dennis Lovett  
Owner's Address 1416 Swann Ave Belle Isle FL 32809

PERMIT # 2020-06-064

Contractor Name <u>Michael R Johnson</u>	Company Name <u>Carolina Carports Inc</u>
License # <u>CBC 1254822</u>	Company Address <u>187 Cardinal Ridge Trl</u>
Contact Phone/Cell <u>800-670-4262</u>	City, State, ZIP <u>Dobson NC 27017</u>
Contact Email <u>Permitting@carolina-carports.com</u>	Contact Fax

**WARNING TO OWNER:** Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations ([www.floridabuilding.org](http://www.floridabuilding.org)) and City Ordinances ([www.municode.com](http://www.municode.com)) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ROOFING, ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, SCREEN ENCLOSURES, ETC.

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner Signature [Signature]  
The foregoing instrument was acknowledged before me this 6/16/2020  
by \_\_\_\_\_ who is personally known to me

and who produced \_\_\_\_\_ as identification and who did not take an oath.  
Notary as to Owner Jessica Melara  
State of Florida  
County of Orange  
JESSICA MELARA  
Notary Public - State of Florida  
Commission # GG 296261  
My Comm. Expires Jan 30, 2023  
Bonded through National Notary Assn.

Contractor Signature [Signature]  
COMPANY NAME Carolina Carports Inc  
The foregoing instrument was acknowledged before me this 1/1  
by \_\_\_\_\_ who is personally known to me

and who produced \_\_\_\_\_ as identification and who did not take an oath.  
Notary as to Owner [Signature]  
State of Florida  
County of Orange  
Heather Smith  
NOTARY PUBLIC  
Surry County, NC  
My Commission Expires 4/15/21

**Impervious Surface Ratio Worksheet**  
Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per City Code, Section 50-74: Impervious Surface Ratio

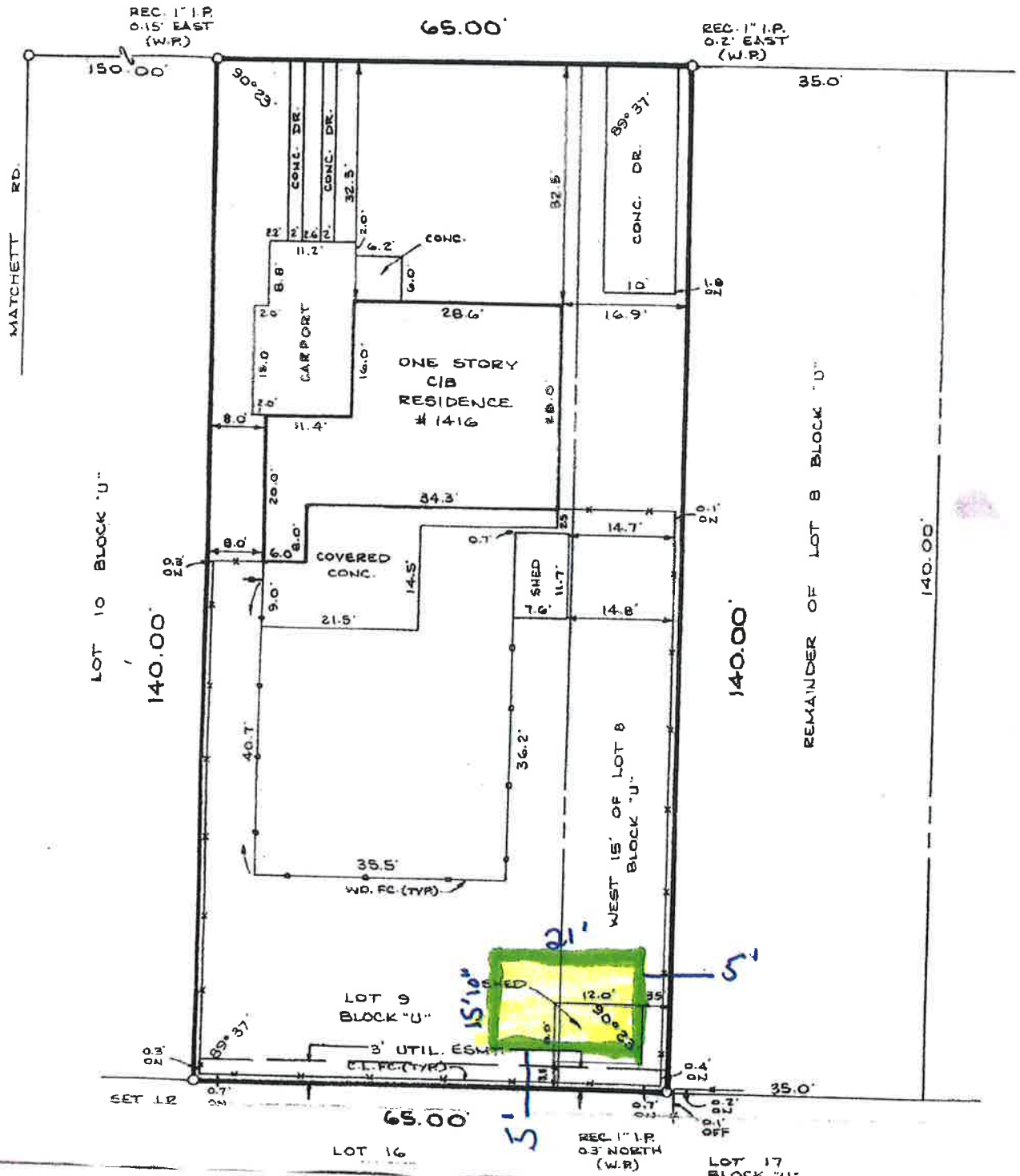
- Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).  
Total Lot Area 9079 X 0.35 =  
Allowable Impervious Area (BASE) 3177.65
- Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc.
  - House 1322
  - Driveway 12x32 384
  - Walkway \_\_\_\_\_
  - Accessory Buildings (shed left) 84
  - Pool & Spa 15' round 176
  - Deck & Patio (2x14) 294
  - Other new garage 317
- Actual Impervious Area (AIA) 2577
- If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.
- If AIA is greater than BASE, then onsite retention must be provided.

Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40) the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed

PLAT OF LAND SURVEY FOR and/or CERTIFIED TO: Dennis Joseph Lovett  
 Ross Title Company, Old Republic National Title  
 Insurance Company, Ryland Mortgage Company  
 DESCRIPTION AS FOLLOWS: Lot 9 & the West 15 feet of Lot 8, Block U, NELA ISLE, as recorded  
 Plat Book M, Page 55, Public Records of Orange County, Florida.

SWANN AVENUE  
 50' R/W

407-851-2730



Permit Number: 2020-06-064  
 Folio/Parcel Identification Number: \_\_\_\_\_  
 Prepared by: \_\_\_\_\_  
 \_\_\_\_\_  
 Return to: \_\_\_\_\_  
 \_\_\_\_\_

**PENDING RECORDING**

**NOTICE OF COMMENCEMENT**

State of Florida, County of Orange

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. **Description of property** (legal description of the property, and street address if available)  
 Lot 9 & the West 15 feet of Lot 8, Block U, Nela Isle, as recorded in Plat Book M, Page 55, Public Records of Orange County, Florida
2. **General description of improvement**  
 Installation of detached garage
3. **Owner information or Lessee information if the Lessee contracted for the improvement**  
 Name Dennis Lovett  
 Address 1416 Swann Ave, Belle Isle, Florida 32809  
 Interest in Property 100%  
**Name and address of fee simple titleholder** (if different from Owner listed above)  
 Name \_\_\_\_\_  
 Address \_\_\_\_\_
4. **Contractor**  
 Name Michael R. Johnson Telephone Number 800-670-4262  
 Address 187 Cardinal Ridge Trail, Dobson, NC 27017
5. **Surety** (if applicable, a copy of the payment bond is attached)  
 Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
 Address \_\_\_\_\_ Amount of Bond \$ \_\_\_\_\_
6. **Lender**  
 Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
 Address \_\_\_\_\_
7. **Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by §713.13(1)(a)7, Florida Statutes.**  
 Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
 Address \_\_\_\_\_
8. **In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in §713.13(1)(b), Florida Statutes.**  
 Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
 Address \_\_\_\_\_
9. **Expiration date of notice of commencement** (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified) 6-16-2021

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

**Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated in it are true to the best of my knowledge and belief.**

Dennis Lovett  
 Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager \_\_\_\_\_ Signatory's Title/Office \_\_\_\_\_

The foregoing instrument was acknowledged before me this 18 day of June by \_\_\_\_\_  
 month/year name of person

as \_\_\_\_\_ for \_\_\_\_\_  
 Type of authority, e.g., officer, trustee, attorney in fact Name of party on behalf of whom instrument was executed

Jessica Melara \_\_\_\_\_ Jessica Melara \_\_\_\_\_  
 Signature of Notary Public - State of Florida Print, type, or stamp commissioned name of Notary Public

Personally Known  OR Produced ID \_\_\_\_\_  
 Type of ID Produced \_\_\_\_\_





P. O. Box 1263  
187 Cardinal Ridge Trail  
Dobson, N.C. 27017



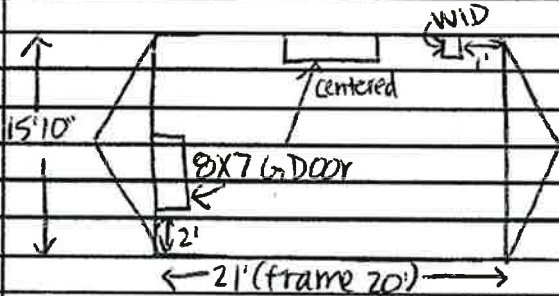
Scheduling: (800) 670-4262  
Scheduling: (336) 367-6400  
Alan's Fax: (800) 385-1204

**Alan's Factory Outlet**

PO Box 646 Luray, VA 22835 Email: alan@alansfactoryoutlet.com Website: www.alansfactoryoutlet.com

<b>Rep.</b>	Alan's Factory Outlet		<b>Alan's Phone:</b>	1-800-488-6903	<b>Date:</b>	5/26/2020	
<b>Customer Name:</b>	Dennis Lovett			<b>County:</b>	Orange	<b>Tax %</b>	6.50%
<b>Address:</b>	1416 Swan Ave		<b>City:</b>	Belle Isle	<b>State:</b>	FL	<b>Zip:</b> 32809
<b>Phone</b>	<b>Cell:</b>	321-303-2578	<b>Home:</b>	407-859-3938	<b>Other:</b>		
<b>Email:</b> dennislovett75@gmail.com							

<b>Unit Size</b>	15'10"x21	<b>HT.</b>	9	<b>GA</b>	14	<b>All Orders C.O.D.</b>	
<b>Color</b>	<b>Top</b>	Pewter Gray		<b>Trim</b>	Quaker Gray		<b>\$4,868.75</b>
	<b>Sides</b>	Clay		<b>G. Door</b>	White		<b>Options Subtotal</b>
	<b>Color Screws</b>	<b>Yes:</b>	<b>No:</b>	<b>X</b>	<b>Cost (if Applicable):</b>		
<b>Options</b>	15'10"x21 Regular Garage				\$3,375.00	<b>\$316.47</b>	
	(2) 8x7 Roll-Up Garage Doors				\$1,400.00	Taxes	
	(1) Side-Entry Install Fee				\$125.00	<b>\$5,185.22</b>	
	(1) 36"x80" Walk-In Door Color: White				\$225.00	Subtotal Plus Tax	
	CCI Sales Event 5% Discount				-\$256.25	<b>\$779.00</b>	
						Visa 16%	
						Deposit Non-refundable After 3 Days	
						<b>\$0.00</b>	
						Additional Labor/Non-Taxed Fees	
						<b>\$4,406.22</b>	
						Total Remaining After Paid Deposit	
						<b>\$4,406.22</b>	
						Balance Due at Installation	
	<b>Additional Labor Fee (Non-taxable/Non-Refundable):</b>					<b>Balance Payment Method: (Please Choose):</b>	



**NOTE: FRAME 1 FT SHORTER THAN ROOF LENGTH**

<b>Notes Regarding Labor Fee:</b>	Customer Aware Permit Required- Once Obtained		<b>Check</b>	<input type="checkbox"/>
	Call 1-800-670-4262 With Permit #		<b>Money Order</b>	<input type="checkbox"/>
<b>Roof Style</b>	<b>Regular</b>	<input checked="" type="checkbox"/>	<b>Box Eave</b>	<input type="checkbox"/>
			<b>Vertical</b>	<input type="checkbox"/>
<b>Barn Style (if applicable)</b>	<b>Horse</b>	<input type="checkbox"/>	<b>Carolina</b>	<input type="checkbox"/>
			<b>Seneca</b>	<input type="checkbox"/>
<b>Installation Type</b>	<b>Cement</b>	<input checked="" type="checkbox"/>	<b>Ground</b>	<input type="checkbox"/>
			<b>Asphalt</b>	<input type="checkbox"/>
			<b>Other</b>	<input type="checkbox"/>
<b>Power Available</b>	<b>Yes</b>	<input checked="" type="checkbox"/>	<b>No</b>	<input type="checkbox"/>
			<b>Uncertified</b>	<input type="checkbox"/>
			<b>Certified</b>	<input checked="" type="checkbox"/>

**BINDING PURCHASE CONTRACT**

This purchase agreement (the "Agreement") is made by and between Carolina Carport Inc. ("CCI"), a North Carolina Corporation, and Dennis Lovett (the "Buyer").  
Buyer agrees, after being fully educated about CCI's various products including the fourteen (14) gauge, twelve (12) gauge, and certified units, to buy, and CCI agrees to sell, pursuant to the terms listed in this Agreement described above. Buyer has read and understands the terms of this agreement, including the terms and conditions contained on the 2nd and 3rd pages of this document, which terms are expressly incorporated herein by reference, as well as any and all relevant warranty information and agrees to be bound by same. Prices on this contract are subject to cost increases if order is placed on hold for 90 days or more. If balance due is paid with an E-Check or Credit Card a 2% Processing fee will be charged. Delivery time frames are estimated only and are not guaranteed.

**Cancellation of your order after 3 days will result in forfeit of deposit. Deposit is non-refundable after 3 days.**

DocuSigned by:  
Customer:  Dennis Lovett CCI: \_\_\_\_\_  
5/27/2020 11:11 AM EDT By: [Signature]  
Authorized Representative

**RICK SINGH, CFA - ORANGE COUNTY PROPERTY APPRAISER**

- [Searches](#)
- [Sales Search](#)
- [Results](#)
- [Property Record Card](#)
- [My Favorites](#)

[Sign up for e-Notify...](#)

**1416 Swann Ave** < 25-23-29-5884-21-090 >

Names) Lovett Dennis Joseph Lovett Lou Ann Mailing Address On File 1416 Swann Ave Belle Isle, FL 32809-6074 <a href="#">Incorrect Mailing Address?</a>	Physical Street Address 1416 Swann Ave Postal City and Zipcode Orlando, FL 32809 Property Use 0100 - Single Family Municipality Belle Isle
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**View 2019 Property Record Card**

- [Property Features](#)
- [Values, Exemptions and Taxes](#)
- [Sales Analysis](#)
- [Location Info](#)
- [Market Stats](#)
- [Update Information](#)

**2020 values will be available in August of 2020.**

**Property Description**

[View Plat](#)

NELA ISLE M/55 LOT 9 & W 15 FT OF LOT 8 BLK U

**Total Land Area** 9,079 sqft (+/-) | 0.21 acres (+/-) [GIS Calculated](#) [Notice](#)

**Land**

Land Use Code	Zoning	Land Units	Unit Price	Land Value	Class Unit Price	Class Value
0100 - Single Family	R-1-A	1 LOT(S)	working...	working...	working...	working...

Page 1 of 1 (1 total records)

**Buildings**

Important Information		Structure				
	<b>Model Code:</b>	01 - Single Fam Residence	<b>Actual Year Built:</b>	1953	<b>Gross Area:</b>	1322 sqft
	<b>Type Code:</b>	0103 - Single Fam Class III	<b>Beds:</b>	2	<b>Living Area:</b>	1175 sqft
	<b>Building Value:</b>	working...	<b>Baths:</b>	1.5	<b>Exterior Wall:</b>	Concrete/Cinder Block
	<b>Estimated New Cost:</b>	working...	<b>Floors:</b>	1	<b>Interior Wall:</b>	Plastered

Page 1 of 1 (1 total records)

**Extra Features**

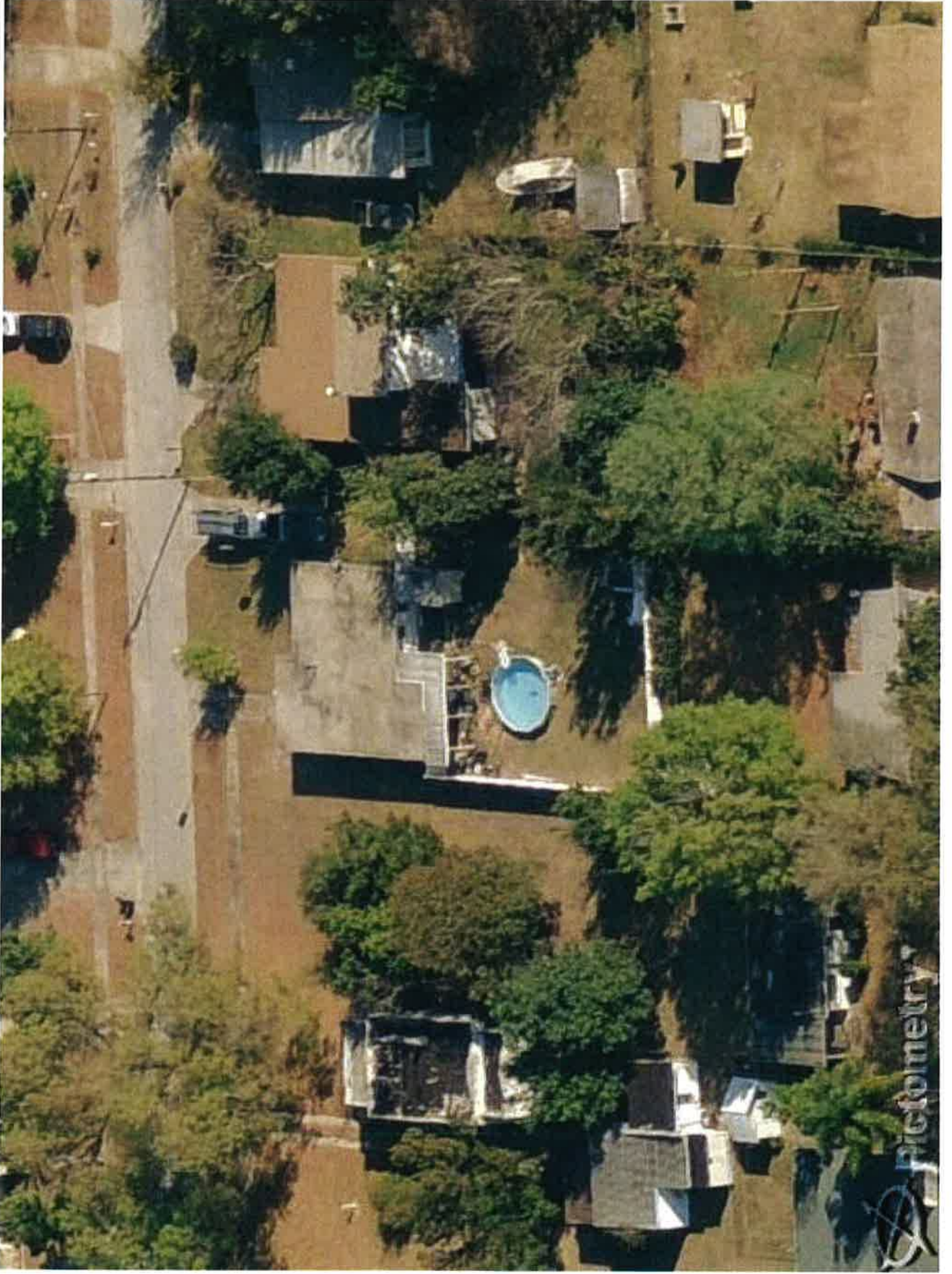
Description	Date Built	Units	XFOB Value
CVAL - Aluminum Cover	01/01/1987	273 Square Feet	working...
PT1 - Patio 1	01/01/1987	1 Unit(s)	working...
SHNV - Shed No Value	01/01/1995	1 Unit(s)	working...
SHNV - Shed No Value	01/01/1995	1 Unit(s)	working...

Page 1 of 1 (4 total records)

*one shed demol'd - replacing with new garage*

This Data Printed on 06/19/2020 and System Data Last Refreshed on 06/18/2020

1416 Swann Ave



Pictometry

RICK SCOTT, GOVERNOR



JONATHAN ZACHEM, SECRETARY



**STATE OF FLORIDA**  
**DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**  
**CONSTRUCTION INDUSTRY LICENSING BOARD**

THE BUILDING CONTRACTOR HEREIN IS CERTIFIED UNDER THE  
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

**JOHNSON, MICHAEL RAY**

CAROLINA CARPORTS INCORPORATED  
2465 COLQUITT HWY  
COLQUITT NC 39837

**LICENSE NUMBER: CBC1254822**

**EXPIRATION DATE: AUGUST 31, 2020**

Always verify licenses online at [MyFloridaLicense.com](http://MyFloridaLicense.com)



Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.

# CITY OF FROSTPROOF



## LOCAL BUSINESS TAX RECEIPT

2019-2020

CAROLINA CARPORTS INC

PO BOX 1263

DOBSON NC 27017

This license is in addition to and not in lieu of any other license required by state law or county ordinance and is subject to regulations of zoning, code enforcement, health and any other lawful authority. The City of Frostproof reserves the right to revoke or cancel this license in the event the licensee or any other person doing business hereunder conducts such business that it becomes a nuisance or annoys and disturbs the peace of the City.

*The above listed business/owner has paid the City of Frostproof, Florida  
the required sum in conformity with the law for the following:*

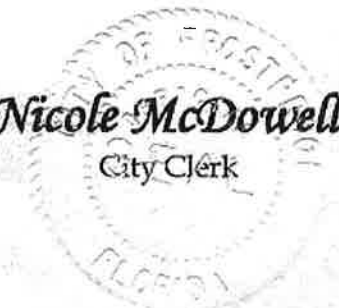
CONTRACTOR

50.00

License No.: 665  
Date Issued: 08/06/2019  
Expiration Date: 09/30/2020

PLEASE POST FOR PUBLIC VIEWING

*Nicole McDowell*  
City Clerk





**STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

CONSTRUCTION INDUSTRY LICENSING BOARD  
2601 BLAIR STONE ROAD  
TALLAHASSEE FL 32399-0783

(850) 487-1395

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto [www.myfloridalicense.com](http://www.myfloridalicense.com). There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!

The logo for the Department of Business and Professional Regulation (dbpr), consisting of the lowercase letters "dbpr" in a stylized font.	STATE OF FLORIDA DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CBC1254822	ISSUED: 06/21/2018
BUILDING CONTRACTOR	
JOHNSON, MICHAEL RAY	
CAROLINA CARPORTS INCORPORATED	
A handwritten signature in black ink, appearing to read "Michael R. Johnson".	Signature
LICENSED UNDER CHAPTER 489, FLORIDA STATUTES	
EXPIRATION DATE: AUGUST 31, 2020	

## Susan Manchester

---

**From:** Lou Lovett <lovettswan@yahoo.com>  
**Sent:** Friday, June 19, 2020 8:10 AM  
**To:** CobiPermits  
**Cc:** Dennis Lovett  
**Subject:** Shed Permit  
**Attachments:** We sent you safe versions of your files; notice of Commencement\_0001.pdf; SHED.pdf

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

---

Good Morning.

Attached you will find the completed permit paperwork for the installation of a backyard shed.

Please confirm that you have received these forms.

Reply to this email if you need anything else.

Thank you!

Sincerely,

Dennis Lovett



**From:** Lou Lovett [mailto:lovettswan@yahoo.com]  
**Sent:** Friday, June 19, 2020 8:10 AM  
**To:** CobiPermits <CobiPermits@universalengineering.com>  
**Cc:** Dennis Lovett <dennislovett75@gmail.com>  
**Subject:** Shed Permit

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

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Good Morning.

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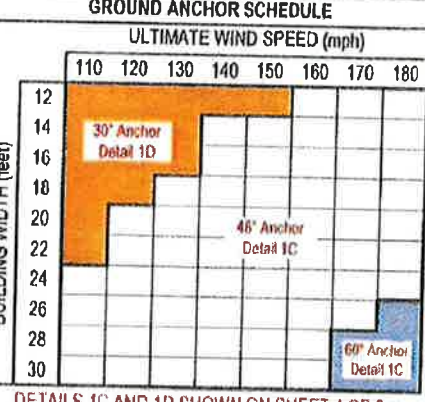
Dennis Lovett

FBC APPROVED PRODUCTS LIST					MAXIMUM ALLOWABLE WIND SPEED		
PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	APPROVAL No. & DATE	QA EXPIRATION DATE	OPEN	ENCLOSED	PARTIALLY ENCLOSED
STRUCTURAL COMPONENTS	ROOF DECK	CAROLINA CARPORTS, INC. 26 Gauge AG Panel	FL6596.1-R5 10/10/17	04/05/27	180	180	100
STRUCTURAL COMPONENTS	STRUCTURAL WALL	CAROLINA CARPORTS, INC. 26 Gauge AG Panel	FL6702.1-R5 10/10/17	03/14/27	180	180	180
STRUCTURAL COMPONENTS	FLOOD VENT	CRAWL SPACE DOOR SYSTEMS, INC. 16x8 Flood Vent	FL29822.1 05/15/19	09/01/20	N/A	N/A	N/A
EXTERIOR DOORS	SWINGING	ELIXIR DOOR AND METAL COMPANY Series 402-14	FL17996.3-R1 01/29/18	09/14/20	N/A	139	138
EXTERIOR DOORS	SWINGING	ELIXIR DOOR AND METAL COMPANY Series 407	FL17996.6-R1 01/29/18	09/14/20	N/A	185	147
EXTERIOR DOORS	ROLL-UP	ASTA INDUSTRIES INC. Model 203 (12' Max. Width)	FL6888.1-R4 10/07/17	12/31/20	N/A	180	174
EXTERIOR DOORS	ROLL-UP	CAROLINA CARPORTS, INC. Steel Roll Up Sheet Door (12' Max. Width)	FL18906.1-R4 06/18/19	11/11/20	N/A	158	130
WINDOWS	SINGLE HUNG	MI WINDOWS AND DOORS Model 185 SH	FL17499.1-R5 03/27/19	10/17/23	N/A	175	157
EXTERIOR DOORS	ROLL-UP	CAROLINA CARPORTS, INC. Steel Roll-Up Sheet Door - 6' Wide	FL16808.2-R4 06/18/19	11/11/20	N/A	100	180
EXTERIOR DOORS	ROLL-UP	CAROLINA CARPORTS, INC. Steel Roll-Up Sheet Door - 10' Wide	FL16808.4-R4 06/18/19	11/11/20	N/A	180	172
EXTERIOR DOORS	ROLL-UP	CAROLINA CARPORTS, INC. Steel Roll-Up Sheet Door - 10' Wide	FL18800.3-R4 06/18/19	11/11/20	N/A	165	133

**TABLE 1**  
**RAFTER FRAME, END POST, GROUND ANCHOR AND PANEL FASTENER SPACING SPECIFICATIONS**

RISK CATEGORY	WIND EXPOSURE CATEGORY	ULTIMATE WIND SPEED (MPH)	NOMINAL WIND SPEED (MPH)	MAXIMUM POST / RAFTER SPACING (FEET)	AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS OR GIRTS (INCHES)	
					INTERIOR POSTS/RAFTERS	END POSTS/RAFTERS
I	C	110 TO 150	89 TO 116	5.0	6	6
		151 TO 180	117 TO 139	4.0	6	6

NOTES: 1. Specifications applicable to 26 gauge metal roof and wall panels fastened directly to 12 or 14 gauge steel tube framing, or 10 gauge hat channel roof purlins.  
2. Specifications applicable only for mean roof height of 20 feet or less, and roof slopes of 7' to 27' (1.6:12 to 0.12 pitch). Spacing requirements for other roof heights and/or slopes may vary.



DETAILS 1C AND 1D SHOWN ON SHEET 4 OF 6

**METAL CARPORT INSTALLATION PLANS AND DETAILS AND FRAMING AND FASTENER SPECIFICATIONS**

FOR CONSTRUCTION IN THE STATE OF FLORIDA

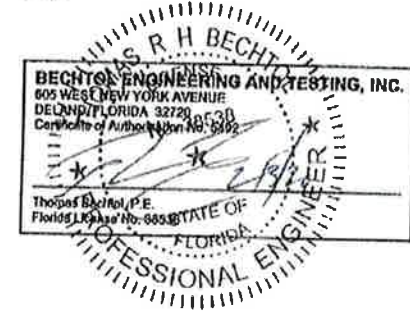
PREPARED FOR:  
CAROLINA CARPORTS, INC.  
P.O. BOX 1283  
DOBSON, NORTH CAROLINA 27017

PREPARED BY:  
BECHTOL ENGINEERING AND TESTING, INC.  
605 WEST NEW YORK AVENUE  
DELAND, FLORIDA 32720  
Certificate of Authorization No. 00005492

NOTES:  
1. DOORS AND WINDOWS SHOWN MAY BE SUBSTITUTED FOR DIFFERENT PRODUCT LINES AND/OR MODEL S, PROVIDED THE FOLLOWING CONDITIONS ARE MET:  
A. PRODUCT SHALL HAVE A VALID FBC PRODUCT APPROVAL  
B. COMPONENTS ARE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION REQUIREMENTS  
2. FRAMING CONNECTIONS FOR DOOR AND WINDOW FRAMES REMAIN THE SAME FOR SUBSTITUTED PRODUCTS. HEADERS AND WINDOW RAILS MAY BE RAISED OR LOWERED AS NECESSARY TO ACCOMMODATE SUBSTITUTED PRODUCT

- GENERAL NOTES:**
- THESE PLANS PERTAIN ONLY TO THE STRUCTURE, INCLUDING MAIN WIND FORCE RESISTING SYSTEM, COMPONENTS AND CLADDING, AND BASE RAIL ANCHORAGE. OTHER DESIGN ISSUES, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL, INGRESS/EGRESS, PROPERTY SET-BACKS, FINISH FLOOR ELEVATION AND SLOPE, OR OTHER LOCAL ZONING REQUIREMENTS ARE THE RESPONSIBILITY OF OTHERS.
  - THESE STRUCTURES ARE DESIGNED AS NON HABITABLE UTILITY/STORAGE BUILDINGS (RISK CATEGORY I) CAPABLE OF SUPPORTING DEAD LOAD OF THE STRUCTURE AND APPLICABLE LIVE AND WIND LOADS. IMPROVEMENTS NOT SPECIFICALLY ADDRESSED HEREIN, INCLUDING DOORS, WINDOWS, OR OTHER COMPONENTS NOT LISTED IN THE FBC APPROVED PRODUCTS LIST (THIS SHEET), AND NOT PROVIDED AND INSTALLED BY CAROLINA CARPORTS, INC., WHICH EXERT ADDITIONAL LOADS ON THE STRUCTURE SHALL BE AT THE OWNER'S RISK. BECHTOL ENGINEERING AND TESTING, INC. SHALL NOT BE RESPONSIBLE FOR STRUCTURAL DAMAGE OR FAILURE DUE TO THE APPLICATION OF ADDITIONAL LOADS.
  - ALL STEEL TUBING SHALL BE 60 KSI GALVANIZED STEEL. ALL FASTENERS SHALL BE GALVANIZED OR STAINLESS STEEL.
  - ALL COMPONENTS AND CLADDING SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND SHALL MEET THE DESIGN PRESSURES REQUIRED BY THE FLORIDA BUILDING CODE (FBC) AT THE LOCATION OF THE BUILDING WITHIN THE STATE OF FLORIDA.
  - ALL FIELD FRAMING CONNECTIONS SHALL BE #12-14 x 3/4" SELF DRILLING SCREWS WITHOUT CONTRICK SEAL WASHER. ALL SHOP FRAMING CONNECTIONS SHALL BE WELDED.
  - CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. THE REINFORCING STEEL SHALL BE MINIMUM GRADE 40. CONCRETE SLAB FOUNDATIONS SHALL BE REINFORCED WITH 6X6-W1.4XW1.4 WELDED WIRE FABRIC COMPLYING WITH ASTM A 185, OR WITH SYNTHETIC FIBER REINFORCEMENT COMPLYING WITH ASTM C1116.
  - BASE RAIL GROUND ANCHOR REQUIREMENTS: ONE WITHIN 6' OF EVERY POST LOCATION, AND BOTH SIDES OF OPENINGS WHERE BASE RAIL IS ABSENT. GROUND ANCHORS ARE NOT REQUIRED FOR CONCRETE FOOTING AND/OR CONCRETE SLAB CONSTRUCTION. SEE GROUND ANCHOR SCHEDULE (THIS SHEET) FOR SPECIFIC TYPE GROUND ANCHOR REQUIREMENTS.
  - CONCRETE ANCHORS SHALL BE TAPCON REDHEAD LDT 1/2" x 5" OR EQUIVALENT OR WEJ-IT ANKR-TITE MODEL AT1252, OR SLEEVE ANCHOR MODEL 11SA 12x9, OR EQUIVALENT.
  - POST/RAFTER BRACING: BRACE ON EVERY POST/RAFTER CONNECTION, EXCEPT FOR END WALLS.
  - SLAB FOUNDATION SUBGRADE SOILS SHALL BE TERMITE TREATED AND COVERED WITH 6 MIL VAPOR RETARDER PER SECTION R318.1 OF THE FBC SIXTH EDITION (2017) - RESIDENTIAL, AND SECTION 1816.1 OF THE FBC SIXTH EDITION (2017) - BUILDING. MINIMUM ALLOWABLE FOUNDATION SOIL CONTACT BEARING PRESSURE OF 2,000 PSF IS ASSUMED.
  - 14 GA FRAMING: 2-1/2" x 2-1/2" TUBE STEEL (TS) WITH 2-1/4" x 2-1/4" TS NIPPLES.  
12 GA FRAMING: 2-1/4" x 2-1/4" TS WITH 2" x 2" TS NIPPLES.
  - ENCLOSED AREAS REQUIRING FLOOD OPENINGS MUST HAVE A MINIMUM OF TWO (2) OPENINGS ON EXTERIOR WALLS. OPENINGS SHOULD BE INSTALLED ON AT LEAST TWO (2) SIDES OF ENCLOSED AREA, WITH BASE OF OPENINGS SET WITHIN 1-FOOT OF THE HIGHER OF INTERIOR OR EXTERIOR GRADE. REQUIRED TOTAL NUMBER OF FLOOD VENTS NOTED IN THE FBC APPROVED PRODUCTS LIST SHALL BE BASED ON ONE (1) FLOOD VENT PER EVERY 305 SQUARE FEET OF ENCLOSED AREA. SEE TYPICAL FLOOD VENT FRAMING PLAN, SHEET 6 OF 6.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE FLORIDA BUILDING CODE, SIXTH EDITION (2017). THE PLANS ARE VALID UNTIL THE NEXT REVISION OF THE FLORIDA BUILDING CODE.

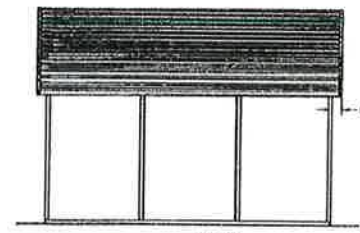


**CAROLINA CARPORTS, INC.**  
**GENERIC PLANS FOR USE IN THE STATE OF FLORIDA**

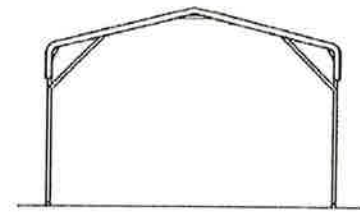
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SCALE	NTS
PROJECT NO.	G20001
SHEET NO.	1 OF 6

BECHTOL ENGINEERING AND TESTING, INC.  
605 WEST NEW YORK AVENUE  
DELAND, FLORIDA 32720  
Certificate of Authorization No. 5992

**BOW FRAME RAFTER OPEN CARPORT - HORIZONTAL ROOF**

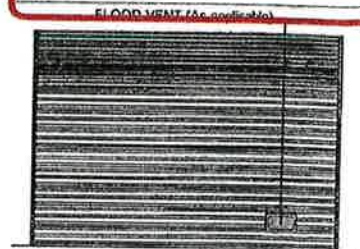


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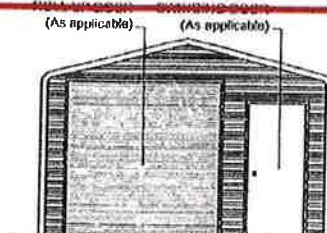


TYPICAL END ELEVATION  
NOT TO SCALE

**BOW FRAME RAFTER ENCLOSED BUILDING - HORIZONTAL ROOF**

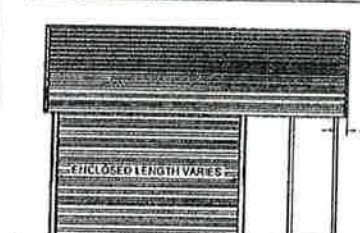


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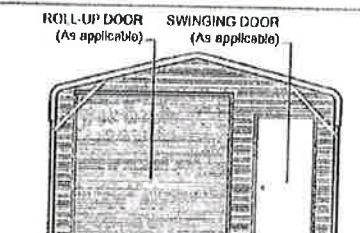


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**BOW FRAME RAFTER UTILITY BUILDING - HORIZONTAL ROOF**

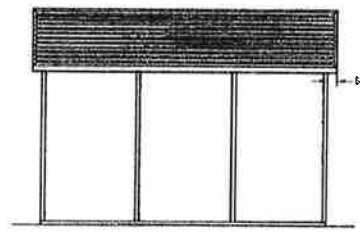


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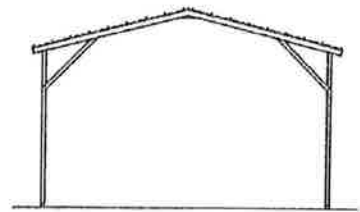


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**BOX EAVE FRAME RAFTER OPEN CARPORT - HORIZONTAL ROOF**

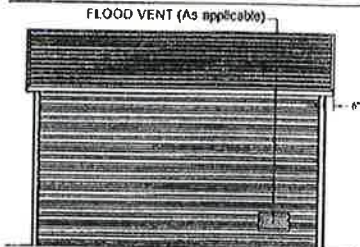


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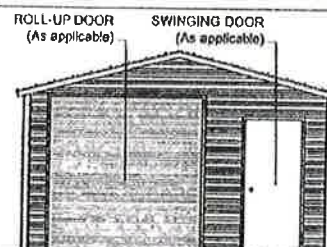


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**BOX EAVE FRAME RAFTER ENCLOSED BLDG - HORIZONTAL ROOF**

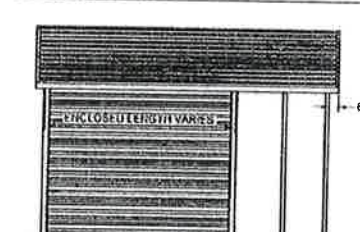


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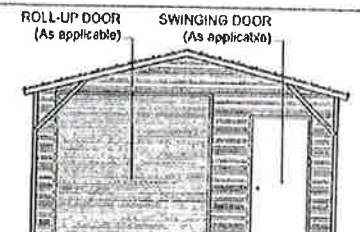


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**BOX EAVE FRAME RAFTER UTILITY BLDG - HORIZONTAL ROOF**

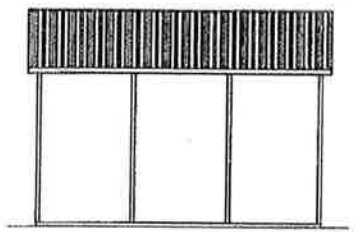


TYPICAL SIDE ELEVATION  
NOT TO SCALE



TYPICAL END ELEVATION  
NOT TO SCALE

**BOX EAVE FRAME RAFTER OPEN CARPORT - VERTICAL ROOF**

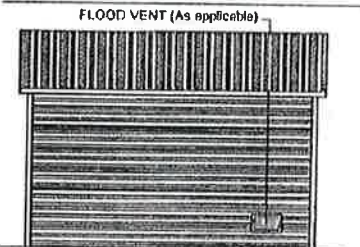


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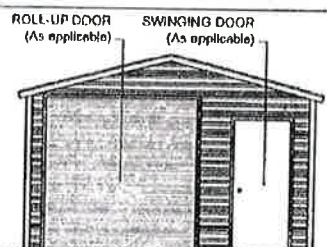


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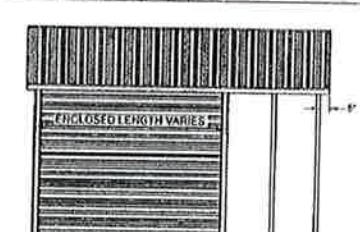


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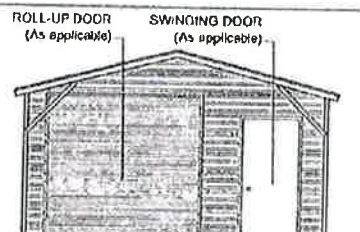


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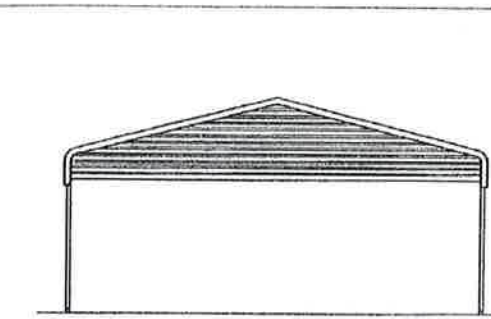
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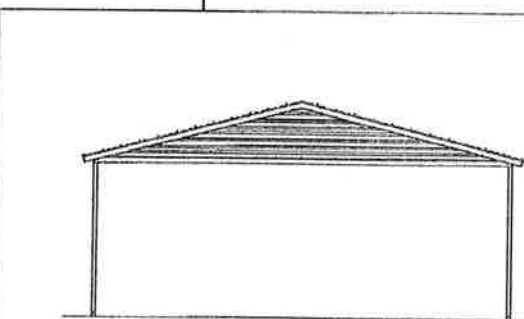
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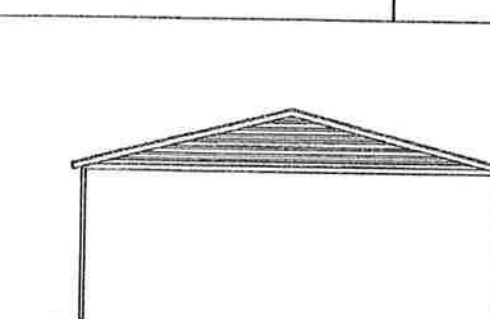
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TYPICAL BOW RAFTER GABLE END ELEVATION  
NOT TO SCALE



TYPICAL BOX EAVE RAFTER GABLE END ELEVATION  
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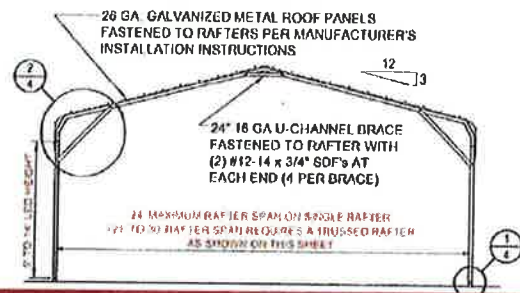


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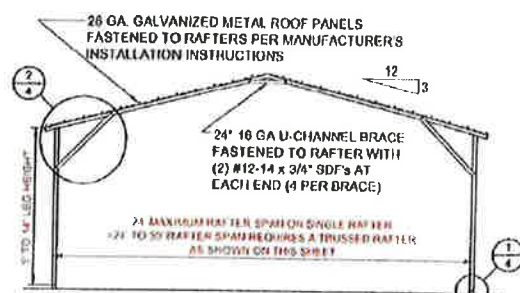


**CAROLINA CARPORTS, INC.**  
GENERIC PLANS FOR USE IN THE STATE OF FLORIDA

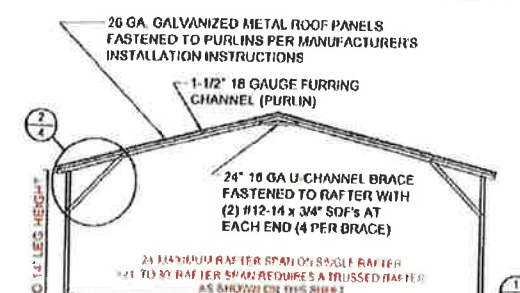
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	CHECKED	ll	
	APPROVED	TB	
BECHTOL ENGINEERING AND TESTING, INC.		SCALE	NTS
CORPORATE OFFICE: 605 WEST NEW YORK AVENUE, DELAND, FLORIDA 32726-5300		PROJECT NO.	G20001
FLORIDA PROFESSIONAL ENGINEER License No. 38814		SHEET 2 OF 6	



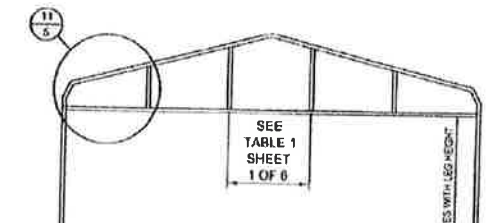
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NOT TO SCALE



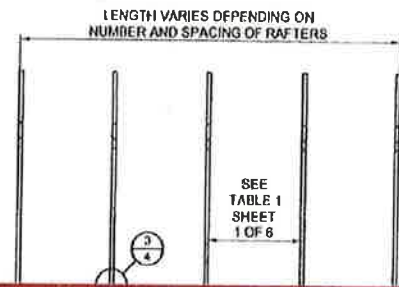
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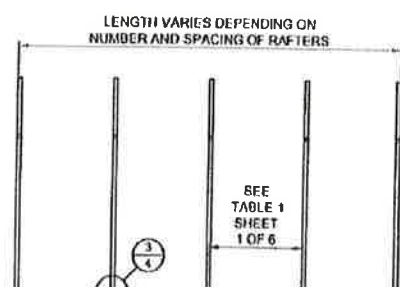
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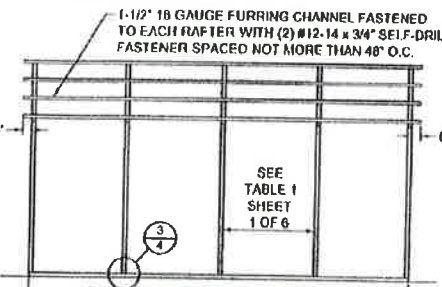
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NOT TO SCALE



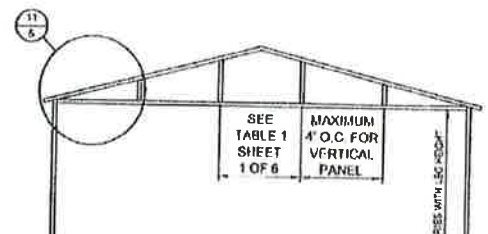
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NOT TO SCALE



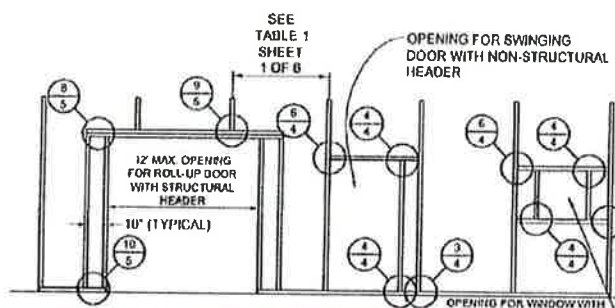
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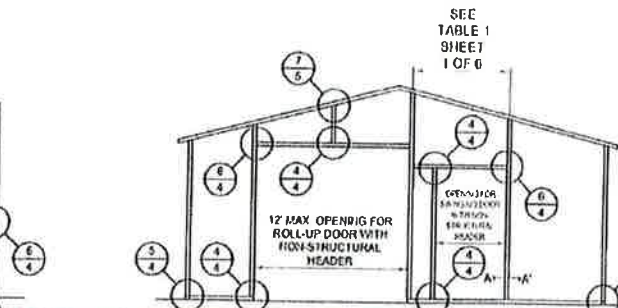
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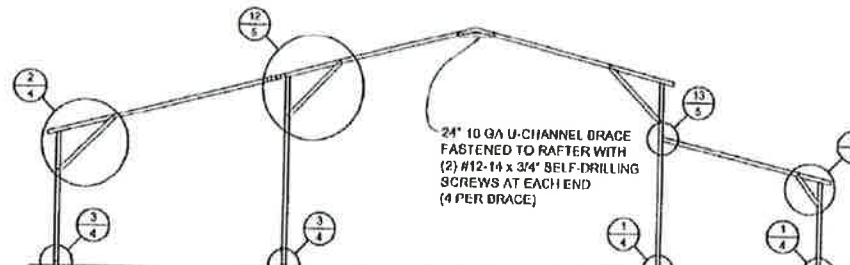
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NOT TO SCALE



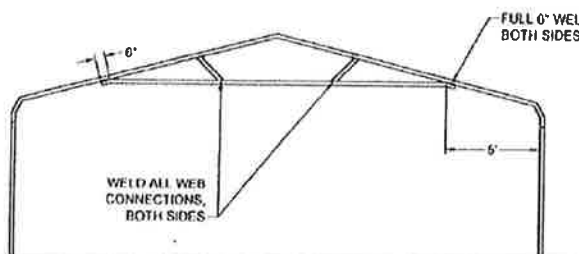
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NOT TO SCALE



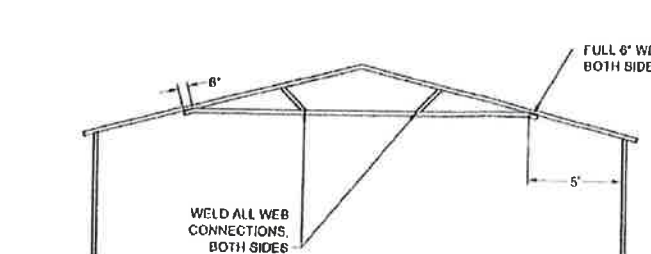
**TYPICAL END WALL OPENINGS POST/RAFTER FRAMING PLAN**  
NOT TO SCALE



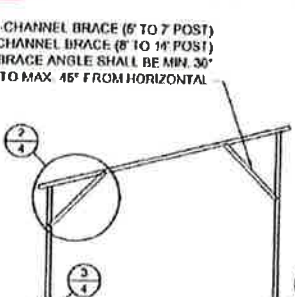
**TYPICAL LEAN-TO OPTIONS FRAMING PLAN (BOTH OPTIONS SHOWN)**  
NOT TO SCALE (BOX EAVE RAFTER SHOWN, ONLY STANDARD LEAN-TO IS APPLICABLE TO BOW FRAME RAFTER)



**OPTIONAL 24'-1" TO 30' TRUSSED RAFTER - BOW**  
NOT TO SCALE



**OPTIONAL 24'-1" TO 30' TRUSSED RAFTER - BOX EAVE**  
NOT TO SCALE



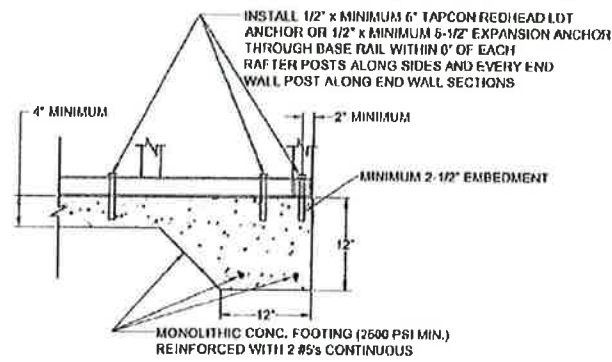
**FREESTANDING LEAN-TO FRAMING PLAN**  
NOT TO SCALE

**BECHTOL ENGINEERING AND TESTING, INC.**  
300 WEST REVOLUTION AVENUE  
DELRON, FLORIDA 32720  
Certificate of Authorization No. 0597

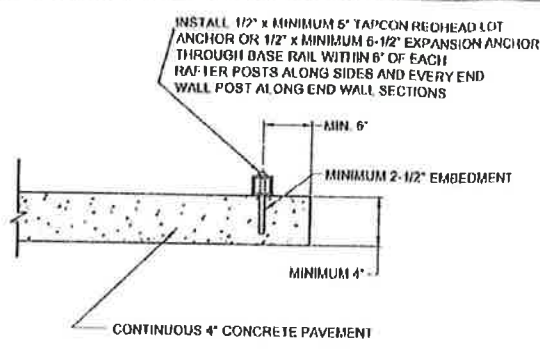
No. 38638  
Thomas DeChillo, P.E.  
Florida License No. 38538-1

STATE OF FLORIDA  
**CAROLINA CARPORTS, INC.**  
GENERIC PLANS FOR USE IN THE STATE OF FLORIDA

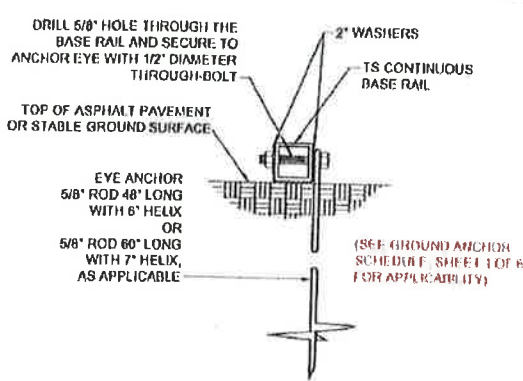
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SCALE	NTS
DESIGNED BY	TD
CHECKED BY	TB
DATE	02/00/11
PROJECT NO.	020001
APPROVED BY	TB
SHEET NO.	3 OF 6



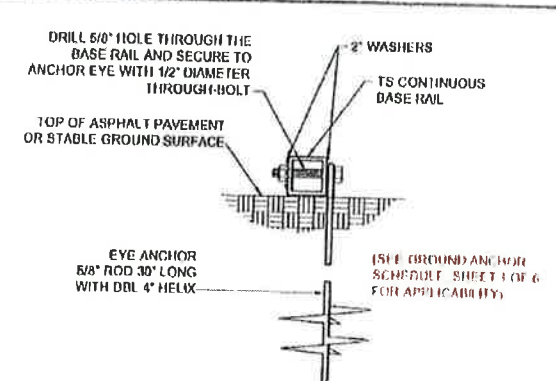
**1A CONCRETE BASE RAIL ANCHORAGE**  
Not To Scale



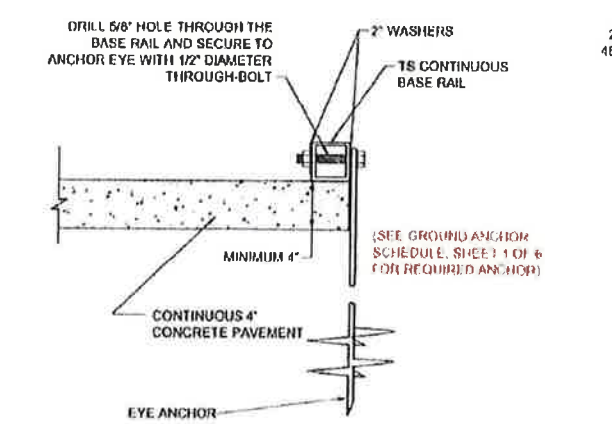
**1B CONCRETE BASE RAIL ANCHORAGE**  
Not To Scale (OPTIONAL - OPEN CARPORTS ONLY)



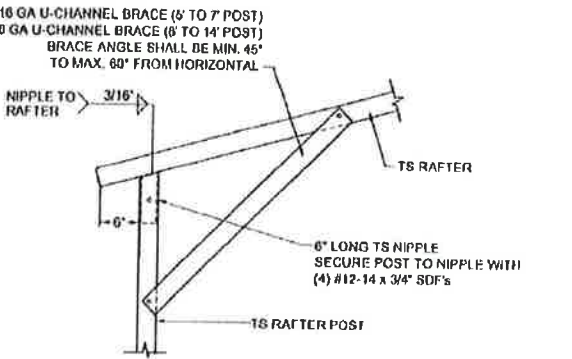
**1C BASE RAIL DEEP ANCHORAGE**  
Not To Scale



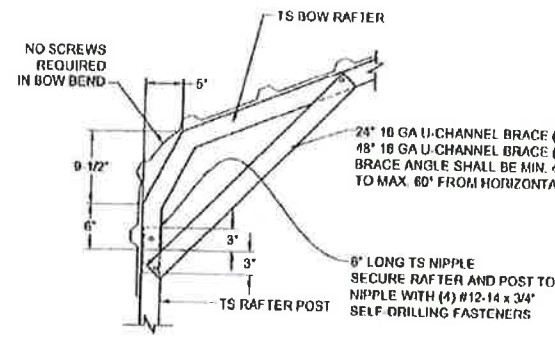
**1D BASE RAIL ANCHORAGE**  
Not To Scale



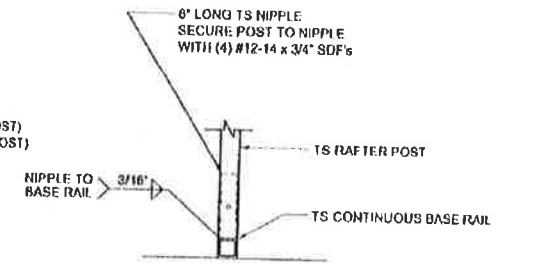
**1E CONCRETE BASE RAIL ANCHORAGE**  
Not To Scale (OPEN CARPORTS WHERE SLAB EDGE DISTANCE DOES NOT MEET MINIMUM EDGE DISTANCE SHOWN IN DETAIL 1B)



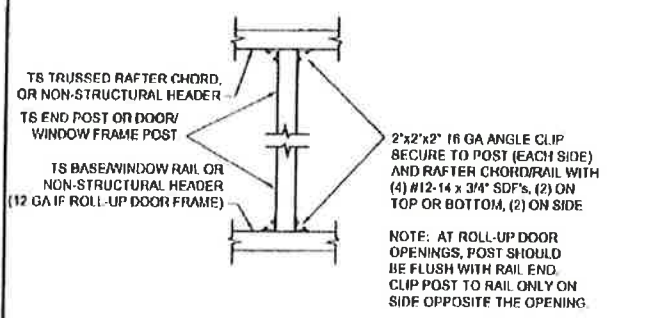
**2A BOX EAVE RAFTER/POST DETAIL**  
Not To Scale



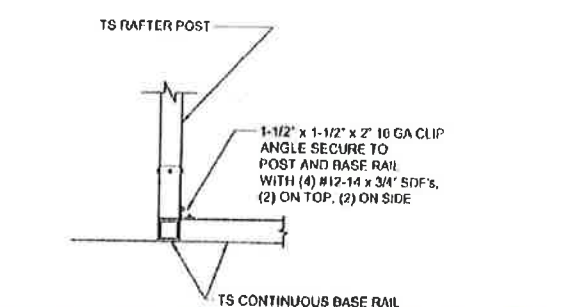
**2B BOW RAFTER/POST DETAIL**  
Not To Scale



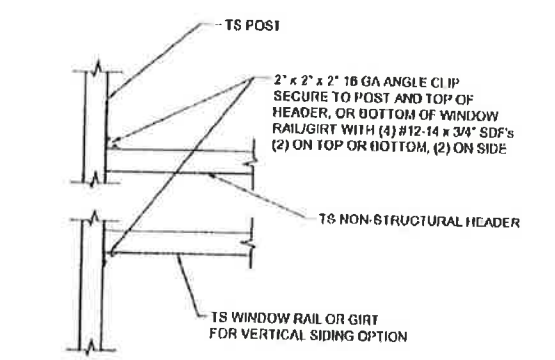
**3 POST/BASE RAIL CONN. DETAIL**  
Not To Scale



**4 POST TO RAIL, TRUSS CHORD, OR NON-STRUCTURAL HEADER CONN. DETAIL**  
Not To Scale



**5 END POST/BASE RAIL CONN.**  
Not To Scale



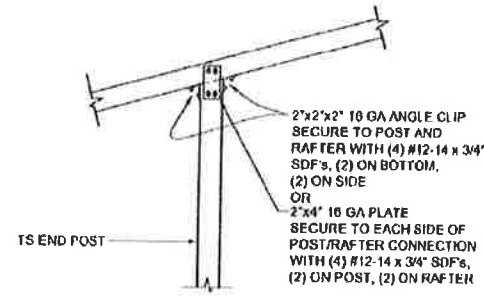
**6 NON-STRUCTURAL HEADER, WINDOW RAIL, OR GIRT TO POST CONN. DETAIL**  
Not To Scale



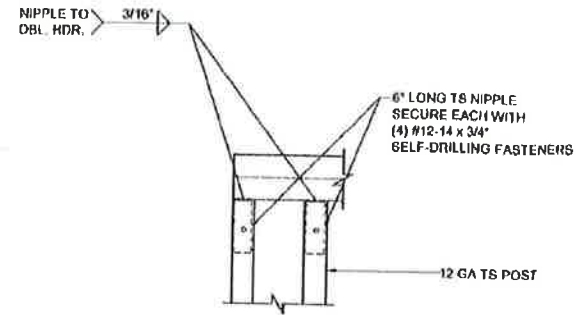
**CAROLINA CARPORTS, INC.**  
GENERIC PLANS FOR USE IN THE STATE OF FLORIDA

DATE	01/20/20
ENGR	mab
DESIGN	lb
APPROVED	TB
PROJECT NO.	G20001
WORKSHEET NO.	SHEET 4 OF 6

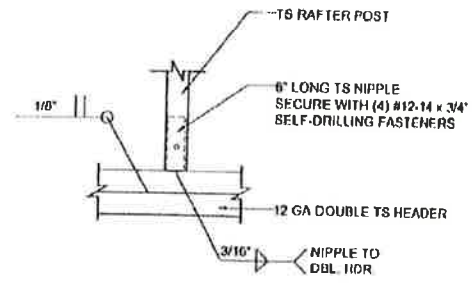
**BECHTOL ENGINEERING AND TESTING, INC.**  
QUALITY CONTROL, ENVIRONMENTAL, AND MULTIPLE TESTING DIVISIONS  
DELRAND, FLORIDA 32720



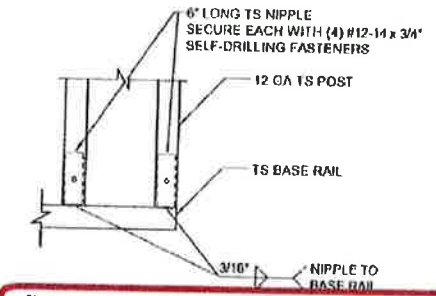
**7** END POST/RAFTER CONN. DETAIL  
Not To Scale



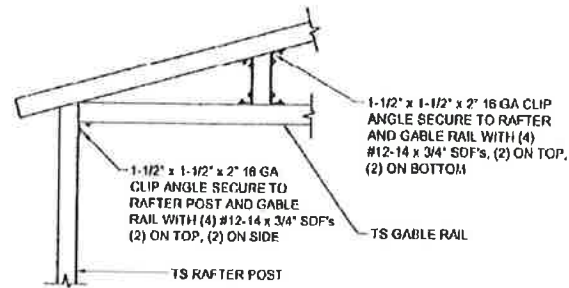
**8** RAFTER POST/DBL. HEADER DETAIL  
Not To Scale



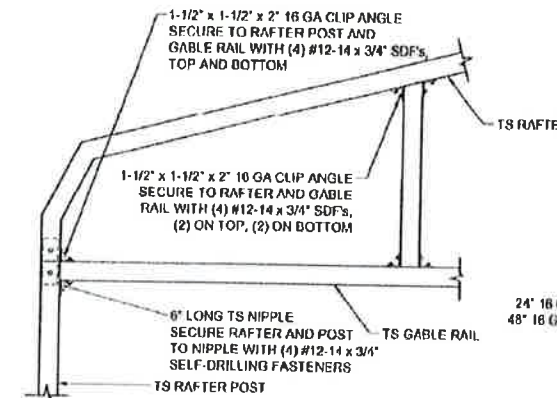
**9** RAFTER POST/HEADER DETAIL  
Not To Scale



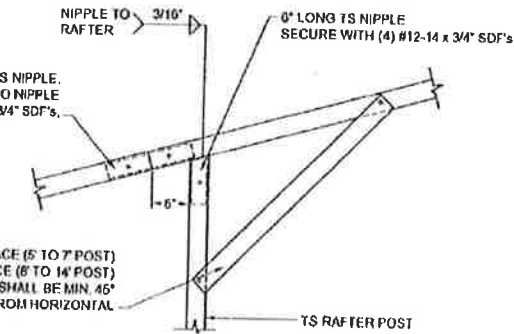
**10** RAFTER POST/BASE RAIL CONNECTION DETAIL  
Not To Scale



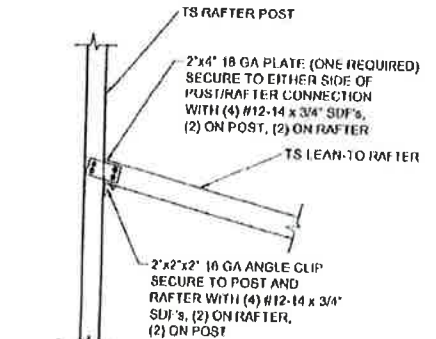
**11A** GABLE RAIL TO RAFTER POST CONNECTION DETAIL  
Not To Scale



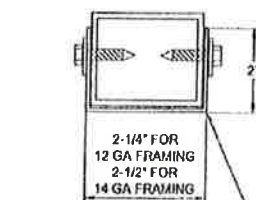
**11B** GABLE RAIL TO RAFTER POST CONNECTION DETAIL  
Not To Scale



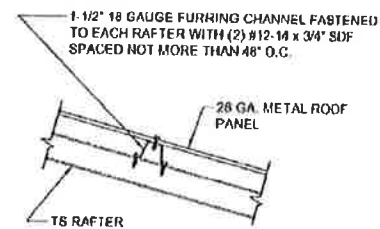
**12** SIDE EXTENSION RAFTER/POST DETAIL  
Not To Scale



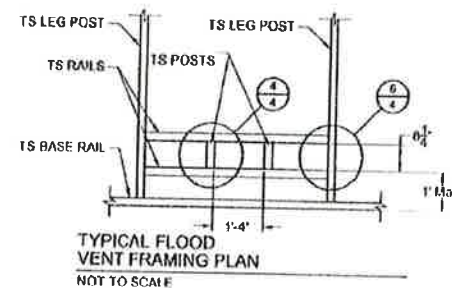
**13** POST / LEAN-TO RAFTER CONN. DETAIL  
Not To Scale



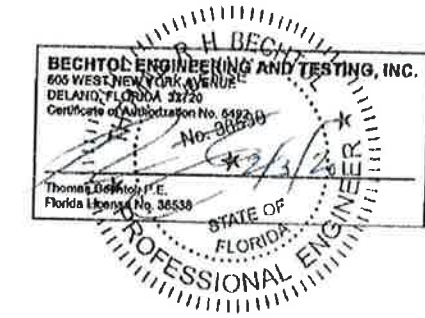
**BRACE SECTION**  
Not To Scale



**ROOF PANEL ATTACHMENT**  
(ALTERNATE FOR VERTICAL ROOF PANELS)  
Not To Scale



SEE GENERAL NOTE No. 12, SHEET 1 OF 6

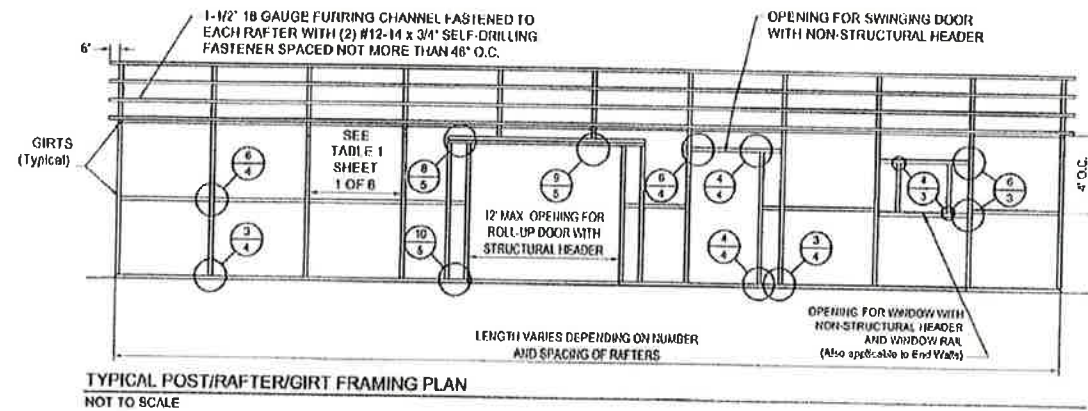
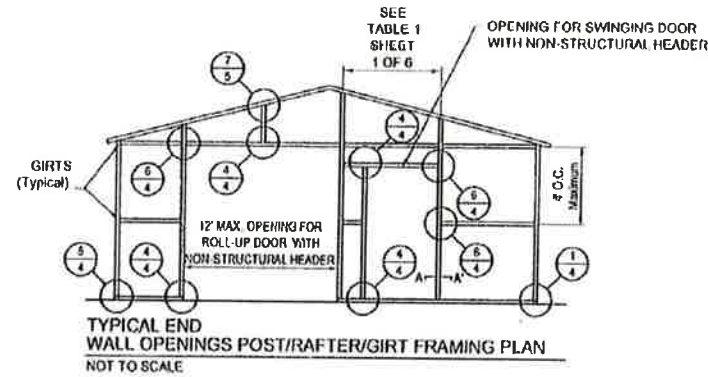


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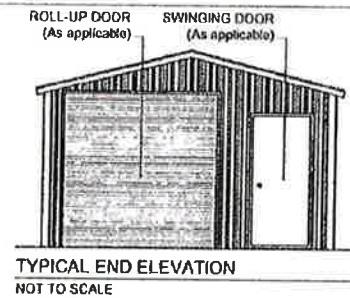
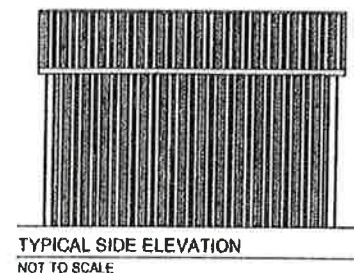
DATE	01/20/20
DESIGNER	mkb
CHECKER	tb
APPROVED	TU
PROJECT NO.	G20001
SHEET NO.	SHEET 6 OF 6

**BECHTOL ENGINEERING AND TESTING, INC.**  
CORPORATE HEADQUARTERS: 605 WEST NEW YORK AVENUE, DELAND, FLORIDA 32720  
TEL: 352-325-1111 FAX: 352-325-1112

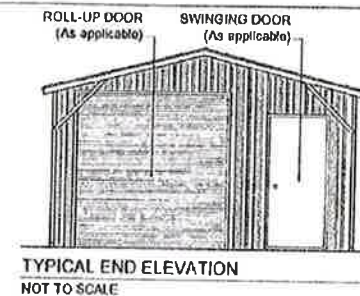
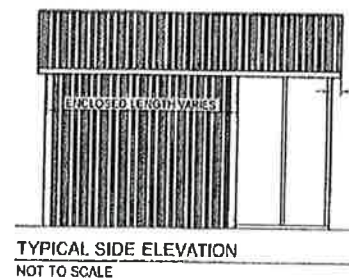
# VERTICAL SIDE OPTION



## BOX EAVE FRAME RAFTER ENCLOSED BLDG - VERTICAL SIDES



## BOX EAVE FRAME RAFTER UTILITY BLDG - VERTICAL SIDES



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 GENERIC PLANS FOR USE IN THE STATE OF FLORIDA

	DATE	01/20/20
	DESIGNER	mAb
	SCALE	NTS
	PROJECT NO.	G20001
APPROVED TO	SHEET 6 OF 6	