



City of Belle Isle Job Site Permit Card **BUILDING** 2020-11-058

Class: Residential **Site Address:** 2807 Trentwood Blvd Belle Isle, FL 32812

Parcel Number: 30-23-30-0000-00-009 Municipality Belle Isle

INSPECTIONS CANNOT BE SCHEDULED IF A NOC IS PENDING FOR THIS PROJECT.

Description of Work: **10'x 20' SHED**

Issued: Aponte Luis O HOME OWNER Contact # 407 451-0339

Payment/ Issued Date & Method: 1/8/2020 Sent by mail to the mailing address Emailed

Picked up by _____ Visa Master Card Amex Discover Check / Money Order#

5629

SEPARATE PERMITS WILL BE REQUIRED FOR ALL SUB-WORK - PERMIT MUST BE POSTED ON SITE

BUILDING	INSPECTOR	DATE	COMMENTS
100 Demo Final			
110 Footing			
120 Stem Wall			
130 Slab			
140 Lintel/Tie Beam			
150 Down Pour			
160 Tilt Panel			
170 Window In-progress			
180 Sheathing (wall)			
190 Sheathing (roof)			
195 Dry-in (roof/walls)			
200 Framing			
205 Drywall Nail/Screw			
210 Fire Rated Assembly			
220 Above-Ceiling			
230 Insulation			
240 Lath			
250 Final			
260 Other <i>Foundation/tie down</i>			

PLEASE NOTE: In order to schedule any inspections, the PERMIT / plans-specs. must be issued and POSTED on the JOB SITE! THIS WILL AVOID ANY FAILED INSPECTIONS & RE-INSPECTION FEES. A permit expires in 6 months if approved inspections are not recorded /scheduled within that time frame. You are responsible for scheduling and keeping track all of your inspections -

☆ Inspection requests are to be emailed to BD scheduling@UniversalEngineering.com; a confirmation email will be sent back to you upon scheduling. Next-Day Inspection requests must be made by 3:00 p.m. Please include the following requirements in your request:

- Project Address
- Corresponding Permit Number
- Type of Inspection (Please reference your permit card for inspection codes)
- Date of Inspection (If no date is specified, the inspection will be scheduled for the next business day)
- Contact Name
- Contact Phone Number
- Gate / Entry code (If applicable)
- AM or PM may be requested but not guarantee an exact arrival

Universal Engineering Sciences - 3532 Maggie Blvd., Orlando, FL 32811 407-581-8161 * Fax 407-581-0313 www.universalengineering.com

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

3532 Maggie Blvd, Orlando, FL 32811 - P: 407.423.0504 - F: 407.423.3106

Work Order No. 194637

Inspection Report

Project Name: 2807 Trentwood Boulevard - COBI	Date: 01/06/2021 Any any
Address: 2807 Trentwood Boulevard - COBI, Belle Isle, Orange County, FL 32812	Permit No: 2020-11-058
Client: City of Belle Isle, FL	Lot No.:
ProjectNo.: 0115.1300144.0000-0115-0009	Contact: Susan Manchester at 14078101062
Scope of Inspection: REVIEW building app for shed - zoning approved	

Inspection Type:

Disposition of Inspection: *PASS*

Comments:

I hereby affirm that to the best of my knowledge and belief, the above listed inspection was performed as indicated and the work was reviewed for compliance with the approved plans, and all pertinent sections of the Florida Building Code.

Inspector: David Olivieri, BU1970, PX3892, BN7142



INSPECTIONS

FOUNDATION / TIE DOWN

FINAL



City of Belle Isle
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
 Tel 407-581-8161 * Fax 407-581-0313 * www.cityofbelleisle.com

RECEIVED
 NOV 23 2020

Building Permit (Land Use) Application

DATE: 11/18/2020

PERMIT # 2020-11-058

PROJECT ADDRESS 2807 Trentwood Blvd Belle Isle FL 32812, Belle Isle, FL 32809 X 32812

PROPERTY OWNER Luis Aponte PHONE 407-451-0339 VALUE OF WORK (labor & material) \$ 3000.00

PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

10x20 Shed

Please provide information, if applicable.

- **SINGLE FAMILY RESIDENCE:** 8.6"x11" Plat Survey, Plat Plan of Home and Floor Plans of New Construction/Revision Required
- **BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- **SEPTIC SYSTEM (RESIDENTIAL):** - Provide verification of OC Health Dept approval for on-site septic tank system, per FAC Chap. 64E-6
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 30-23-30-0000-00-009

To obtain this information, please visit <http://www.cityofbelleisle.com>

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCR OACH INTO ANY EASEMENT OR REQUIRED SETBACK. Survey specific foundation plan required to show compliance with zoning setbacks. Note: this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

ZONING APPROVAL
 Date: 1/4/20 By: [Signature]
 DATE City of Belle Isle

Wind Exposure Category: B C D

SPRINKLERS REQ'D	Y	N	NO
If Required - SUBMIT COPY OF PLANS FOR FIRE REVIEW			
	Date: Sent		RCD
ZONING	Y	N	\$ 30
CERT OF OCC	Y	N	\$
TRAFFIC	Y	N	\$
SCHOOL	Y	N	\$
FIRE	Y	N	\$
SWIMMING POOL	Y	N	\$
SCREEN ENCLOSURE	Y	N	\$
ROOFING	Y	N	\$
BOAT DOCK	Y	N	\$ 49.50
BUILDING	Y	N	\$
WINDOW(S)	Y	N	\$
DOOR(S)	Y	N	\$
FENCE	Y	N	\$
SHED	Y	N	\$
DRIVEWAY	Y	N	\$
OTHER	Y	N	\$

PLANNING & ZONING APPROVAL:

DATE City of Belle Isle

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)

CONSTRUCTION TYPE Wood Frame
 OCCUPANCY GROUP Comm Res: Single Fam Multi Fam
 #BLDG. 1 #UNITS #STORIES 1 TOTAL SQ.FT. 200sqft
 MAX. FLOOR LOAD MAX. OCCUPANCY
 MIN. FLOOD ELEV. LOW FLOOR ELEV.
 WATER SERVICE N/A WELL N/A SEPTIC N/A

BUILDING REVIEWER See WO 194637 DATE 1-7-21

VERIFIED CONTRACTOR'S LICENSE & INSURANCE ARE ON FILE DATE 1-8-21

Per FSS 105.3.3:

An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC.

157K
 4x2
 25
 8
 33 = 2
 16.50
 49.50

194637



City of Belle Isle
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
 Tel 407-581-8161 * Fax 407-581-0313 * www.universaleengineering.com

RECEIVED
 DEC 28 2020

Building Permit (Land Use) Application
 To be completed as required by State Statute Section 713 and other applicable sections.

PERMIT # 2020-11-058

Owner's Name Luis Aponte
 Owner's Address 2807 Trentwood Blvd Belle Isle FI 32812

Contractor Name <u>Luis Aponte/ Home Owner</u>	Company Name <u>BY OWNER</u>
License #	Company Address
Contact Phone/Cell <u>407-451-0339</u>	City, State, ZIP
Contact Email <u>loaponte01@gmail.com</u>	Contact Fax

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations (www.floridabuilding.org) and City Ordinances (www.municode.com) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ROOFING, ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, SCREEN ENCLOSURES, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner Signature [Signature]
 The foregoing instrument was acknowledged before me this 19, 11, 2020
 by Luis Aponte who is personally known to me
 and who produced Drivers license
 as identification and who did not take an oath.

Notary as to Owner
 State of Florida
 County of Orange

Contractor Signature _____
 COMPANY NAME _____
 The foregoing instrument was acknowledged before me this ___/___/___
 by _____ who is personally known to me
 and who produced _____
 as identification and who did not take an oath.

Notary as to Owner
 State of Florida
 County of Orange

Impervious Surface Ratio Worksheet
 Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per City Code, Section 50-74: Impervious Surface Ratio

- Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).
 Total Lot Area 27,507 X 0.35 =
 Allowable Impervious Area (BASE) 9732
- Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc.
 - House 3616
 - Driveway 1320
 - Walkway 168
 - Accessory Buildings 120 proposed shed
 - Pool & Spa NA
 - Deck & Patio 588
 - Other _____
 Actual Impervious Area (AIA) 5812
- If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.
- If AIA is greater than BASE, then onsite retention must be provided.

Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed

TLE TOP LINE ENGINEERING, LLC
STRUCTURAL ENGINEERS

April 8, 2019

Mr. Thomas Campbell
Florida Department of Business and Professional Regulation
2601 Blair Stone Road
Building C
Tallahassee, Florida 32399-6563



**RE: Plan Approval
Smithbilt Industries, Inc.
Plan # SBS-E-180.**

Dear Mr. Campbell,

Per the requirements of the Florida Department of Business and Professional Regulations, the above referenced plans have been reviewed for compliance with:

**2017 Florida Building Code, 6th Edition
2014 National Electrical Code (NFPA-70)**

These plans comply with Florida Product Approval Rule 61G20-3.006 (FAC)

A signed and sealed set of plans are maintained on file with Topline Engineering, LLC.

All mandatory comments have been satisfied and plans are approved for construction by a currently approved modular building manufacturer.

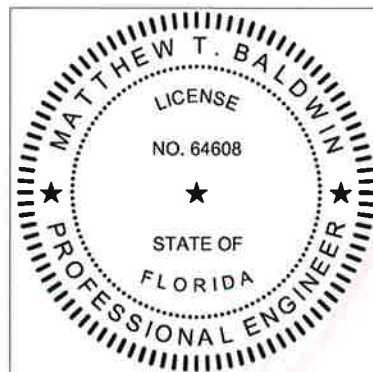
If you have any questions or require my assistance in any way, please do not hesitate to contact me.

Thank you.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

Respectfully,

William E. Neary, III
Business Partner
Topline Engineering, LLC
BILL.TLE@yahoo.com



Digitally signed by
Matthew Baldwin
Date: 2020.04.15
11:49:20 -04'00'



Halsey Beshears, Secretary

Ron DeSantis, Governor

June 11, 2019

Melissa Smith

Smithbilt Industries, Inc.
1061 Highway 92 West
Auburndale, FL 33823

RE: Manufacturer Certification, ID MFT-208; Expiration Date: June 11, 2022

Dear Melissa Smith

It is my pleasure to inform you that Smithbilt Industries, Inc., located at 1061 Hwy 92 West, n/a, Auburndale, FL 33823, has been approved under the Manufactured Buildings Program, as provided for under Chapter 553, Part I, Florida Statutes, to manufacture Storage Sheds, Manufactured Buildings for installation in Florida.

Construction or modification on a manufactured building cannot begin until the Third Party Agency has approved the plans in accordance with the current Florida Building Code. Your Third Party Agency is a contractor for the Department and has statutory authority and responsibilities that must be met to maintain approved status. You may expect and demand quality plans review and inspections.

Each Code change will make your plans obsolete until they have been reviewed, approved and indicated [on the cover page of the plans] for compliance with the Code by your Third Party Agency for plans review. Please ensure that your plans are in compliance and are properly posted on our website. All site-related installation issues are subject to the local authority having jurisdiction.

The Department's contractor will make unannounced monitoring visits at least once each year. You must grant complete access to your manufacturing facility and records to remain in compliance with the rules and regulations of this program.

Your certification is approved for three years from this date. You will receive a renewal notice by Email generated by the BCIS (www.floridabuilding.org) for online renewal. If you have questions you may contact Robert Lorenzo at 850-717-1835 or our FAX at 850-414-8436.

Please visit our website at www.floridabuilding.org to see valuable information on the Florida Manufactured Buildings Program. A copy of this letter must accompany applications for local building permits.

Sincerely,

Robert Lorenzo
Manufactured Buildings Program

cc: Top Line Engineering, LLC



City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

OWNER BUILDER DISCLOSURE STATEMENT

Per Florida Statue 455.228:

**Homeowners hiring unlicensed Contractors may be
subject a fine of up to \$5,000.00!**

Before me this day personally appeared Luis Aponte, who being duly sworn, deposes, and says as follows. "I hereby acknowledge that I have read and fully understand the individual provisions of this instrument."

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license. LA Initial
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility. LA Initial
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts. LA Initial
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000.00. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption. LA Initial
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction. Initial
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance. LA Initial
7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit, that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property. LA Initial
8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk. LA Initial
9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations. LA Initial
10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at (850)487-1395 or www.Call.Center@dbpr.state.fl.us for more information about licensed contractors. LA Initial

Owner Builder Disclosure Statement

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address: Project Address: 2807 Trentwood Blvd Belle Isle Fl 32812 LA Initial

12. I agree to notify the City of Belle Isle Building/Zoning Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. LA Initial

13. FBC 105.3.6 requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. LA Initial

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if any unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit. A copy of the property owner's driver license, the notarized signature of the property owner, or other type of verification acceptable to the local permitting agency is required when the permit is issued.

Signature: [Signature] Print: Luis Aponte
(Signature of the property owner) (Name of the property owner)


Signature: _____ Print: _____
(Signature of the property owner) (Name of the property owner)

Owner's Address: 2807 Trentwood Blvd Belle Isle Fl 32812

The foregoing instrument was acknowledged before me this 19th / November / 2020

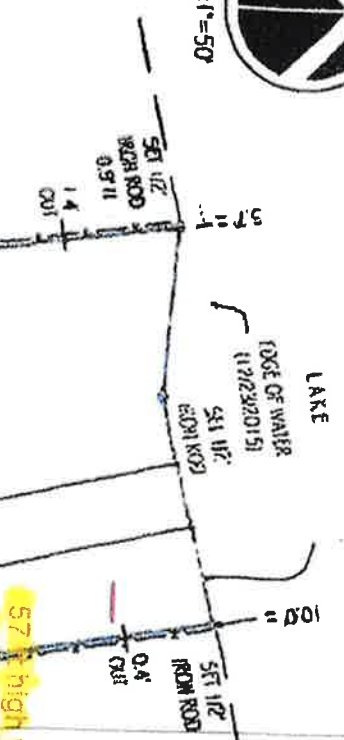
by Luis Aponte who is personally known to me / who produced the following DRIVERS license as identification and who did not take an oath.

State of Florida / County of Orange

Notary Signature: [Signature] Seal: 



SCALE: 1"=50'



RECEIVED
DEC 28 2020
BY: [Signature]

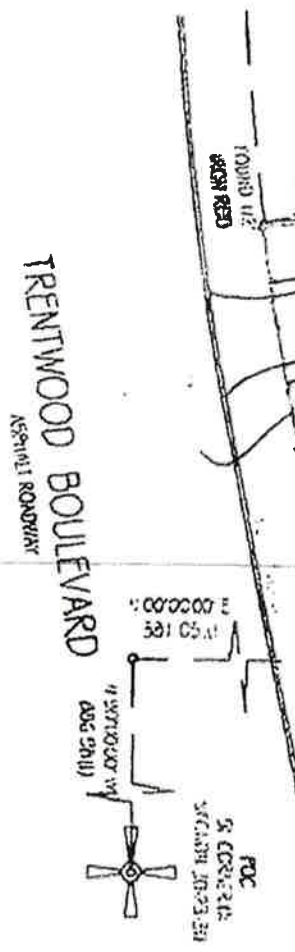


ZONING APPROVED
Date: 1/4/20 By: [Signature]
City of Belle Isle

57' high water from shed
35' from shed
5' ft from house
X = 10x20 Shed
5' ft from property line(fence)

FIELD LEGEND:	
————	BOUNDARY LINE
————	BLINDING LINE
————	CHANGELINE
————	CEMENT LINE
————	CHAIN LINK FENCE
————	WOOD FENCE
————	OPENING CRACK

LEGEND:	
CA	DEMOTES CENTRAL ANGLE
CAV	DEMOTES CURVE E.W. BOX
CD	DEMOTES CURVED DISTANCE
DE	DEMOTES DRAINAGE EASEMENT
FI	DEMOTES FOUND NAIL
MC	DEMOTES MEASURED
OC	DEMOTES OVERHEAD CABLE
P	DEMOTES PAV
PP	DEMOTES POOL PUMP
RF	DEMOTES RAUBUS
TR	DEMOTES TREE/SHRUB BARRIER
UE	DEMOTES UTILITY EASEMENT
UP	DEMOTES UTILITY POLE
WM	DEMOTES WATER METER



Mobile Coordinates - Please note the following:

Landtec Surveying offers services throughout the State of Florida. Please refer to our website at www.LandtecSurvey.com for up to date information about our locations and coverage area. This survey has been issued by the following Landtec Surveying office:
500 Fairway Drive - Ste. 101
Deerfield Beach, FL, 33441
Office: (561) 387-3587 Fax: (561) 465-3145
www.LandtecSurvey.com

Index Number: 7028 CE
Drawn By: EMBELA
Date of Field Work: 12/23/2015
Revision:
Finalize:
Revision:

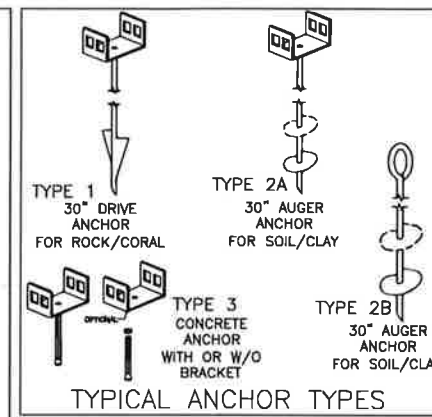
BEARING REFERENCE: NORTH LINE OF TRENTWOOD BOULEVARD AS S. 78°07'55" W.
ALL BEARINGS SHOWN HEREON REFERENCED THERETO.



LAND SURVEYING - RESIDENTIAL SERVICES
Proudly Serving Florida's Land Title & Real Estate Industries

TABLE 1 - 180C ANCHORING TO CONCRETE

SHED WIDTH	MAXIMUM ANCHOR SPACING
24'-0"	4'-0"
20'-0"	6'-0"
16'-0"	6'-6"
14'-0"	7'-0"
12'-0"	8'-0"
10'-0"	9'-0"
8'-0"	10'-0"
6'-0"	12'-0"



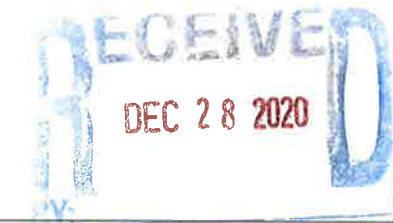
CODE INFORMATION

CODE VERSION	TBC 2017 6th Edition ASCE-7, 2014 NEC
MANUFACTURER	SMITHBILT SHEDS
AGENCY	N/A
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	STORAGE
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	Va-180mph
EXPOSURE	C
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.15
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	20PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	710 SQ.FT. OR LESS

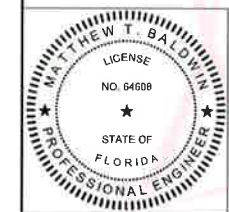
REVISIONS

REV	DESCRIPTION	DATE	BY
1	REVISED NOTES & CONCRETE ANCHOR	2/15/19	MTB

Drawn By: MTB
 Date: 3/8/17
 Scale: N/A
 Model#: SMITHBILT SHEDS



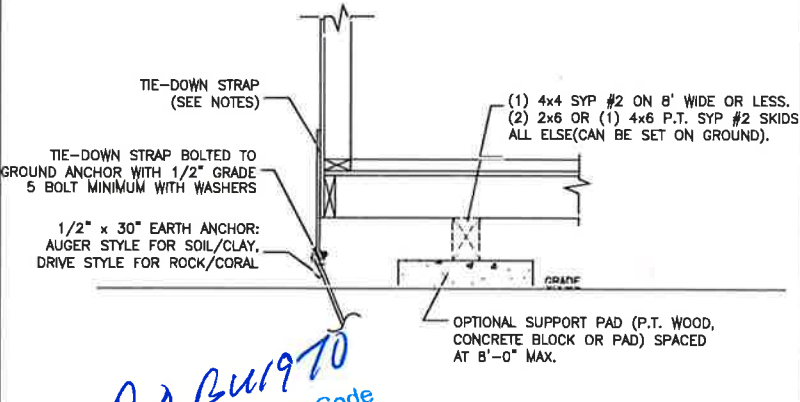
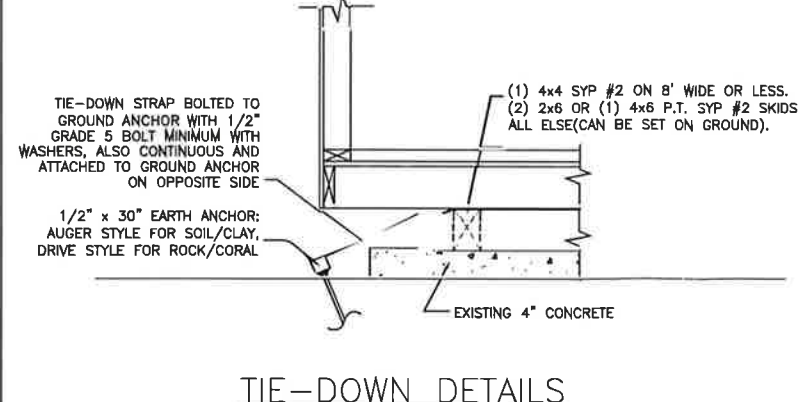
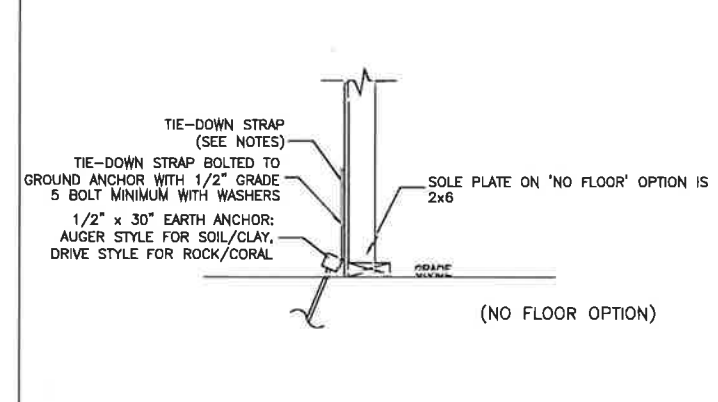
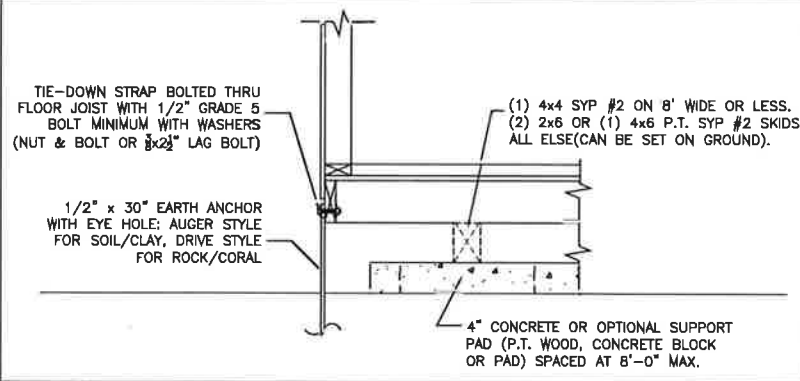
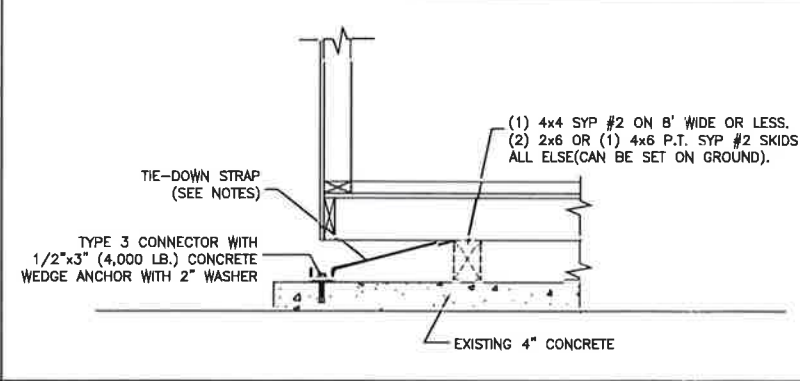
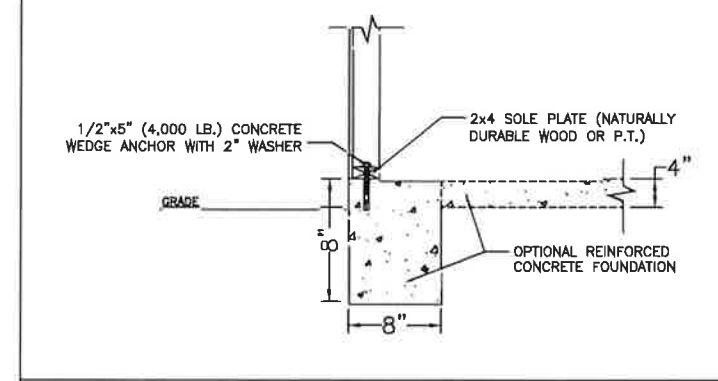
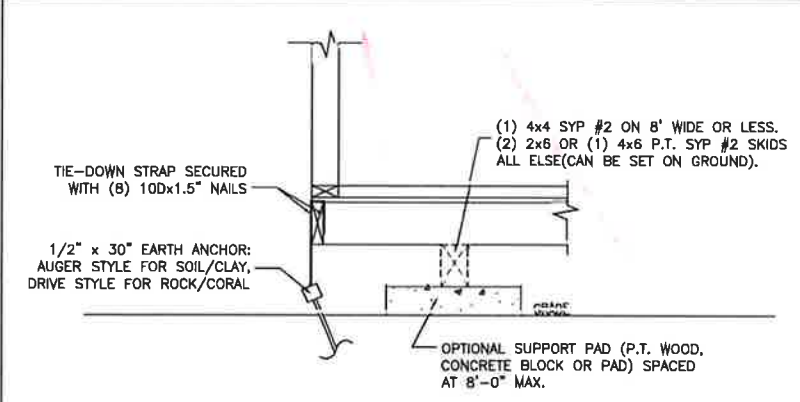
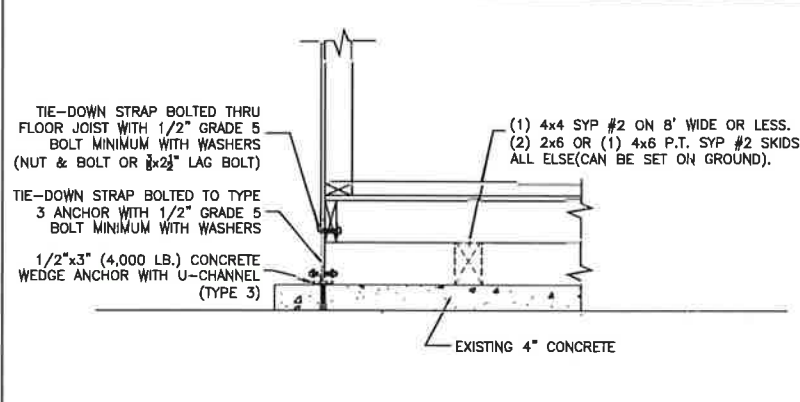
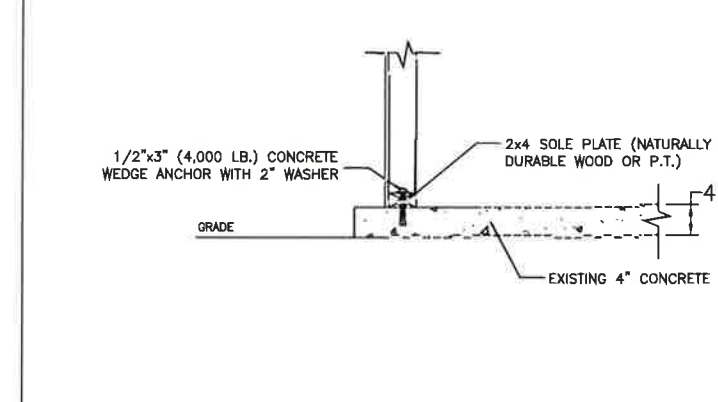
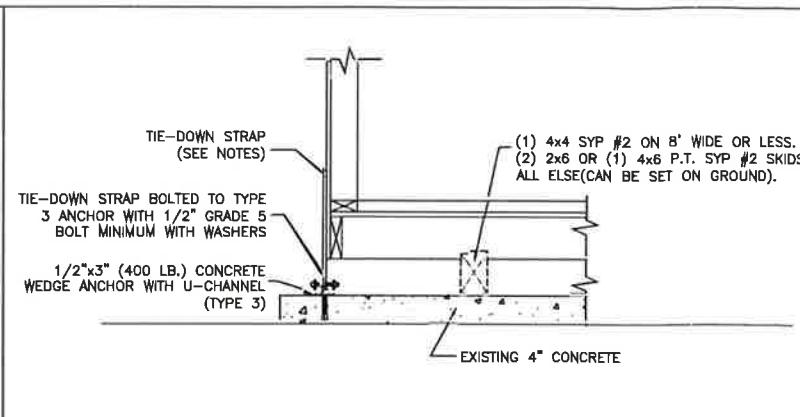
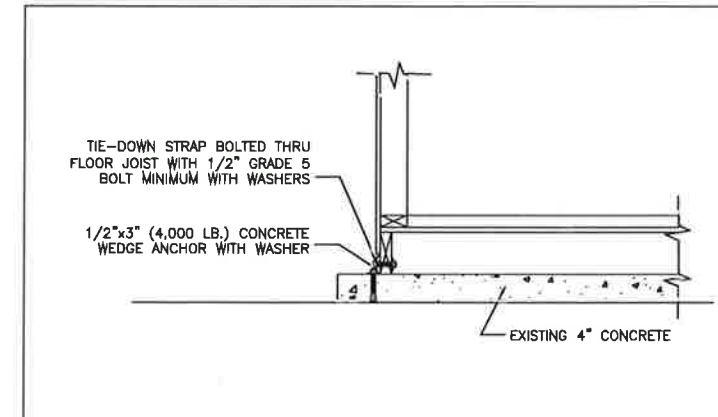
Digitally signed by Matthew Baldwin
 Date: 2019.08.01 10:12:30 -04'00'



Matthew T. Baldwin P.E.
 Florida License #64608

TITLE: MASTER ANCHORING PLAN

Sheet: AP-1 OF 1



TIE-DOWN DETAILS

TIE-DOWN NOTES:

- ANCHOR SPACING IS DESIGNED AS PER ASCE-7.
- ALL MEASUREMENTS ARE CENTER-TO-CENTER.
- TIE-DOWN STRAPS CAN BE MINIMUM: 1-1/4" x 0.035" GALVANIZED STEEL, FEDERAL SPECIFICATIONS QQS-781-H, TYPE-1, FINISH-B, GRADE-1 OR 1/4" STEEL CHAIN WITH MINIMUM 1,200 LB TENSILE STRENGTH
- CONNECTING HARDWARE TO HAVE 4,725 LB. MINIMUM ULTIMATE CAPACITY (3,150 LB. x 1.5).
- ALL EARTH ANCHORS SHALL HAVE A MINIMUM 4,300 LB. CAPACITY.
- EARTH ANCHORS LOCATED AT EACH CORNER, MAXIMUM 16" FROM END (4 MINIMUM PER BUILDING), AND SPACED AS PER TABLE 2A,B,C DEPENDING ON SHED WIDTH, WIND SPEED, AND EXPOSURE. ANCHORS NOT NEEDED ON ENDS.
- CONCRETE ANCHORS TO BE SPACED AS PER TABLE 1A,B,C DEPENDING ON SHED WIDTH, WIND SPEED, AND EXPOSURE.
- CONCRETE ANCHORS TO HAVE A MINIMUM OF 4" COVER (DISTANCE FROM ANCHOR TO EDGE OF CONCRETE).
- MINIMUM SOIL BEARING CAPACITY IS 2,000 PSF (TYP.)
- EARTH ANCHORS AND CONCRETE ANCHORS MAY BE USED IN CONJUNCTION PROVIDED THAT THE SAME MAXIMUM SPACING IS FOLLOWED FOR EACH ANCHOR TYPE.
- CONCRETE BLOCKS CAN BE OPTIONALLY CAPPED WITH APPROVED ABS CAP BOARDS (OLIVER TECHNOLOGIES, INC. MODEL#OTICB1, OTICB2 OR EQUIVALENT)
- HOLLOW OR SOLID CONCRETE BLOCKS (8"x8"x16") MAY BE STACKED ON PADS FOR HIGH SETS UP TO 48" WITHOUT REINFORCING.

Reviewed for Code Compliance
 Universal Engineering Sciences
 1/6/2020

TABLE 2 - 180C 30" AUGER ANCHOR SPACING

SHED WIDTH	MAXIMUM ANCHOR SPACING
UP TO 16'-0"	8'-0"
16'-1" TO 20'-0"	6'-0"
20'-1" TO 24'-0"	4'-0"

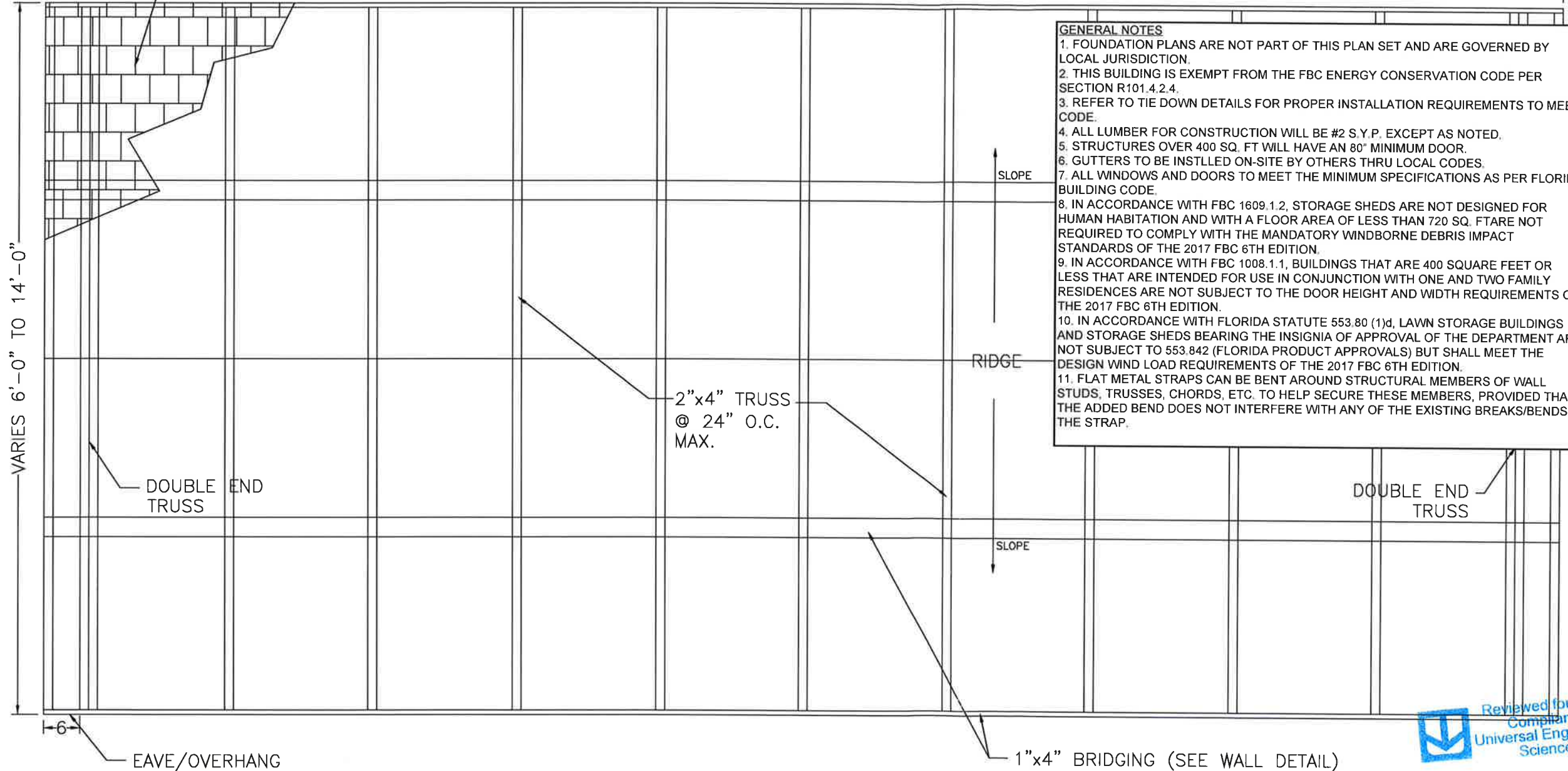
THIS BUILDING IS NOT APPROVED FOR HVHZ



ROOF SHEATHING:
 - D4 LAP ALUMINUM SIDING
 - (OPTIONAL) 5/8" CDX PLYWOOD WITH D4 LAP ALUMINUM SIDING

DESIGN PRESSURES	
ROOF	+27.8/-94.7
WALLS/DOORS/WINDOWS	+32.5/-29.2

VARIES 8'-0" TO 50'-0"



GENERAL NOTES

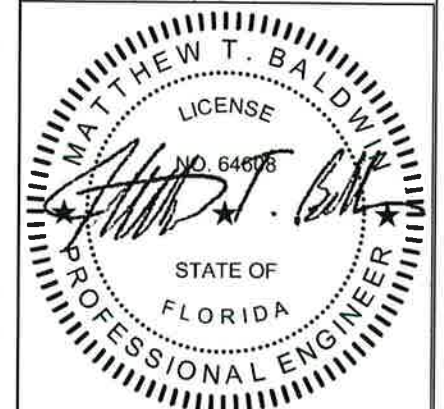
1. FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION.
2. THIS BUILDING IS EXEMPT FROM THE FBC ENERGY CONSERVATION CODE PER SECTION R101.4.2.4.
3. REFER TO TIE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE.
4. ALL LUMBER FOR CONSTRUCTION WILL BE #2 S.Y.P. EXCEPT AS NOTED.
5. STRUCTURES OVER 400 SQ. FT WILL HAVE AN 80" MINIMUM DOOR.
6. GUTTERS TO BE INSTALLED ON-SITE BY OTHERS THRU LOCAL CODES.
7. ALL WINDOWS AND DOORS TO MEET THE MINIMUM SPECIFICATIONS AS PER FLORIDA BUILDING CODE.
8. IN ACCORDANCE WITH FBC 1609.1.2, STORAGE SHEDS ARE NOT DESIGNED FOR HUMAN HABITATION AND WITH A FLOOR AREA OF LESS THAN 720 SQ. FT ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THE 2017 FBC 6TH EDITION.
9. IN ACCORDANCE WITH FBC 1008.1.1, BUILDINGS THAT ARE 400 SQUARE FEET OR LESS THAT ARE INTENDED FOR USE IN CONJUNCTION WITH ONE AND TWO FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THE 2017 FBC 6TH EDITION.
10. IN ACCORDANCE WITH FLORIDA STATUTE 553.80 (1)d, LAWN STORAGE BUILDINGS AND STORAGE SHEDS BEARING THE INSIGNIA OF APPROVAL OF THE DEPARTMENT ARE NOT SUBJECT TO 553.842 (FLORIDA PRODUCT APPROVALS) BUT SHALL MEET THE DESIGN WIND LOAD REQUIREMENTS OF THE 2017 FBC 6TH EDITION.
11. FLAT METAL STRAPS CAN BE BENT AROUND STRUCTURAL MEMBERS OF WALL STUDS, TRUSSES, CHORDS, ETC. TO HELP SECURE THESE MEMBERS, PROVIDED THAT THE ADDED BEND DOES NOT INTERFERE WITH ANY OF THE EXISTING BREAKS/BENDS IN THE STRAP.

CODE INFORMATION	
CODE VERSION	FBC 2017 6th Edition, ASCE-7, 2014 NEC
MANUFACTURER	SMITHBILT SHEDS
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	STORAGE
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	Va-180mph
EXPOSURE	C
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.15
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	20PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

REVISIONS			
REV	DESCRIPTION	DATE	BY
1	PRESS PLATE RESIZED TO 2"x4"	11/8/16	MTB
2	ADDED GARAGE DOOR	1/13/17	MTB
3	2017 FBC 6th EDITION	8/17/17	MTB

Drawn By: MTB
 Date: 9/19/16
 Scale: N/A
 Model#: SBS-E-180C

SEE GENERAL NOTES ON SHEET #1 (FBPR-1)



Matthew T. Baldwin P.E.
 Florida License #64608

Sheet: FBPR-1 OF 5

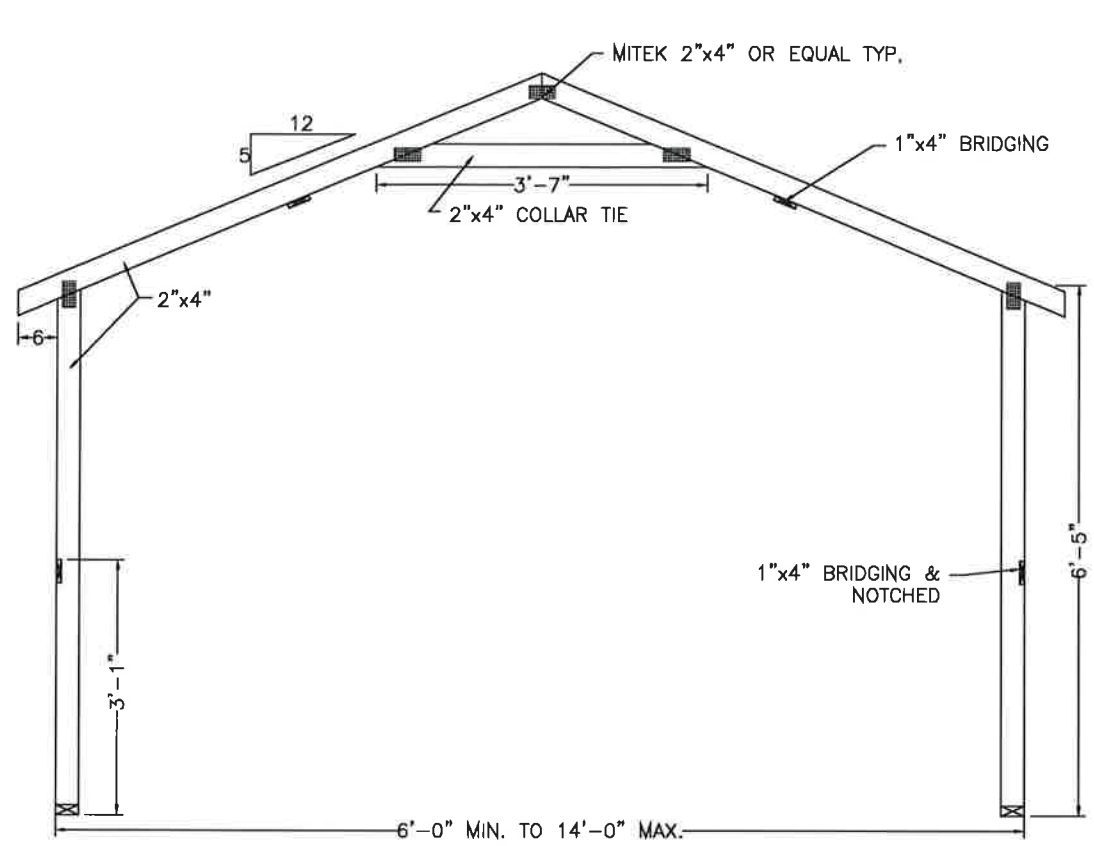
ROOF FRAMING PLAN



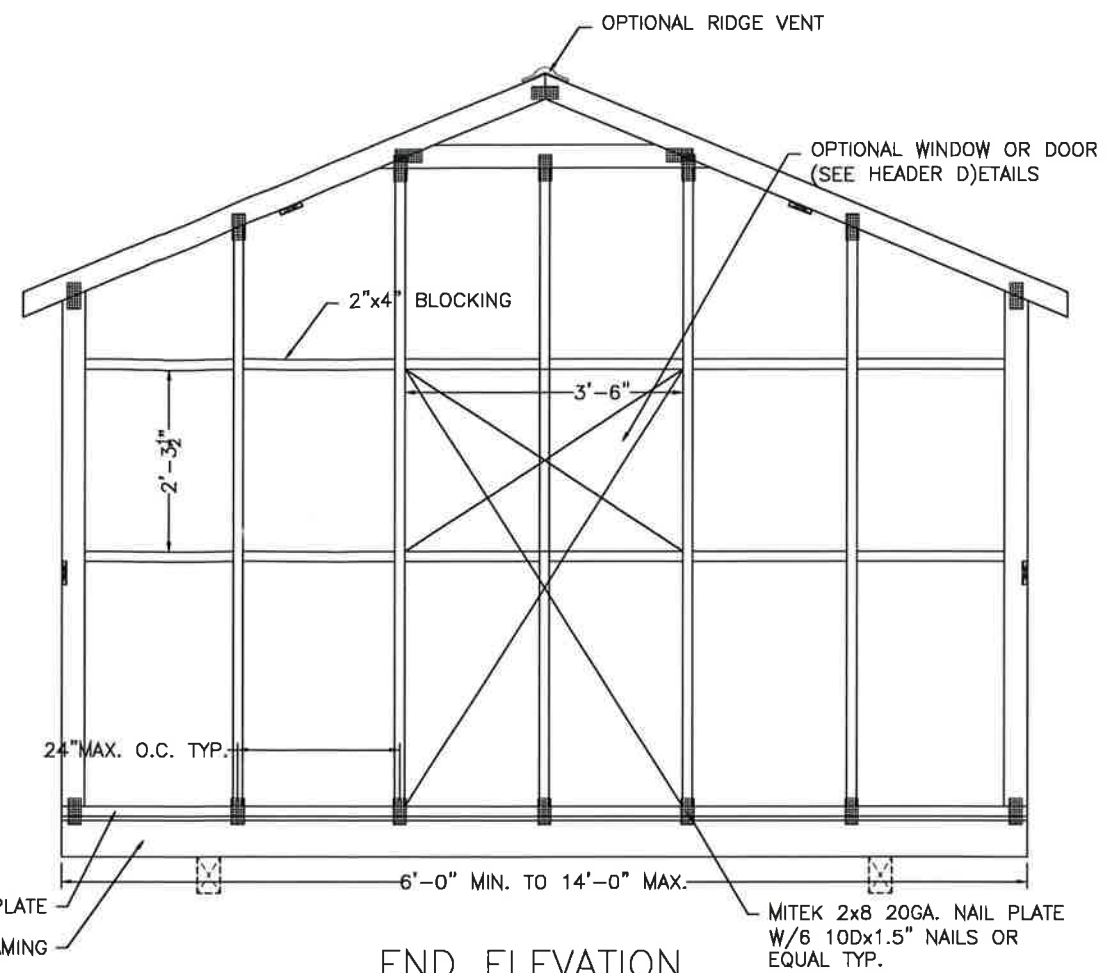
TLE TOP LINE ENGINEERING, LLC
 STRUCTURAL ENGINEERS
 William E. Neary, III
 SMP-51, SMI-79, ICC 5185040
 10649 Oakview Pointe Terrace
 Gotha, Florida 34734



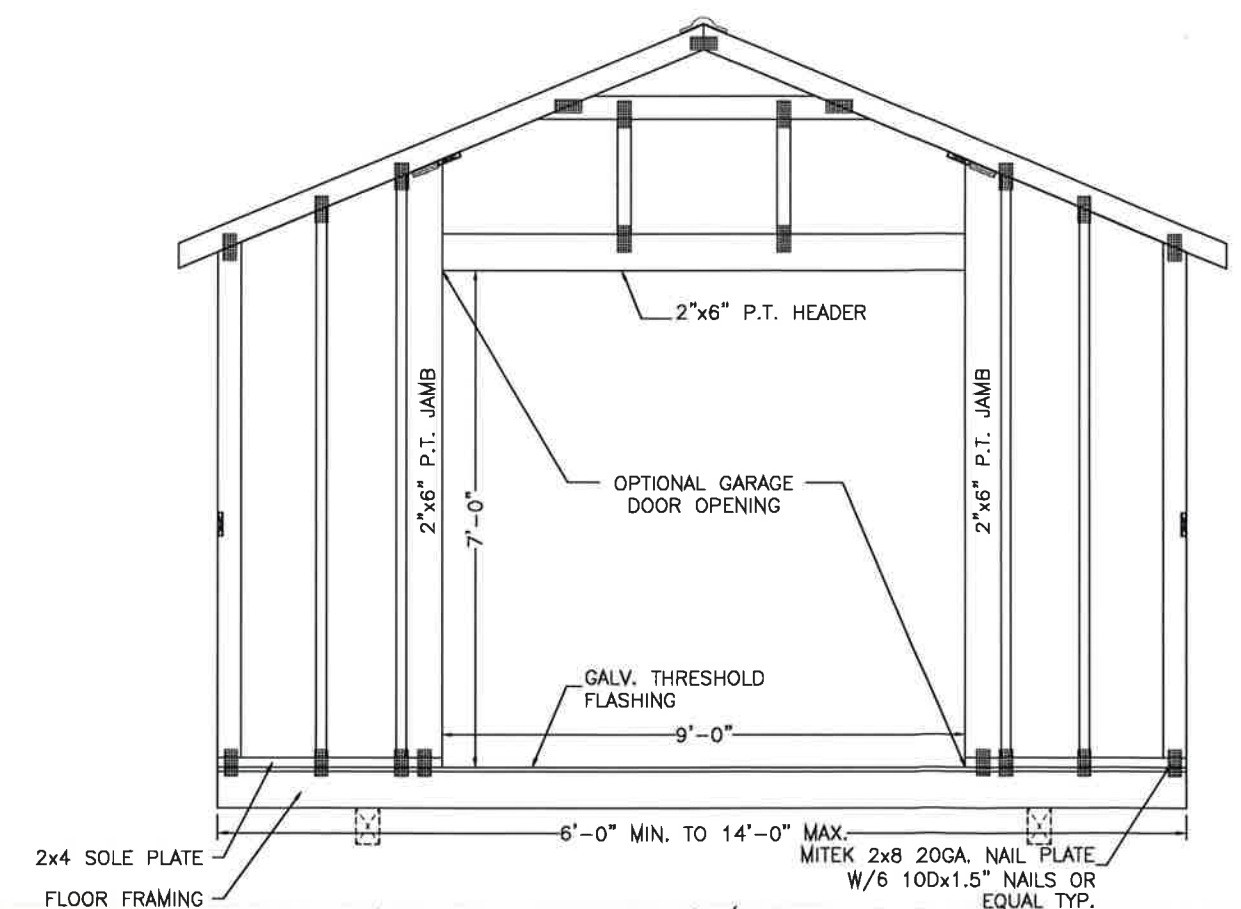
TITLE: ROOF LAYOUT - EAVE STYLE



BARN STYLE TYPICAL TRUSS



END ELEVATION



END ELEVATION W/GARAGE DOOR

CODE INFORMATION	
CODE VERSION	FBC 2017 6th Edition, ASCE-7, 2014 IBC
MANUFACTURER	SMITHBILT SHEDS
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	STORAGE
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	V _W -180mph
EXPOSURE	C
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.15
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	20PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

REVISIONS			
REV	DESCRIPTION	DATE	BY
1	PRESS PLATE RESIZED TO 2"x4"	11/8/16	MTB
2	ADDED GARAGE DOOR	1/13/17	MTB
3	2017 FBC 6th EDITION	8/17/17	MTB

Drawn By:	MTB
Date:	9/19/16
Scale:	N/A
Model#:	SBS-E-180C

SEE GENERAL NOTES ON SHEET #1 (FBPR-1)



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Florida License #64608

Sheet: FBPR-2 OF 5



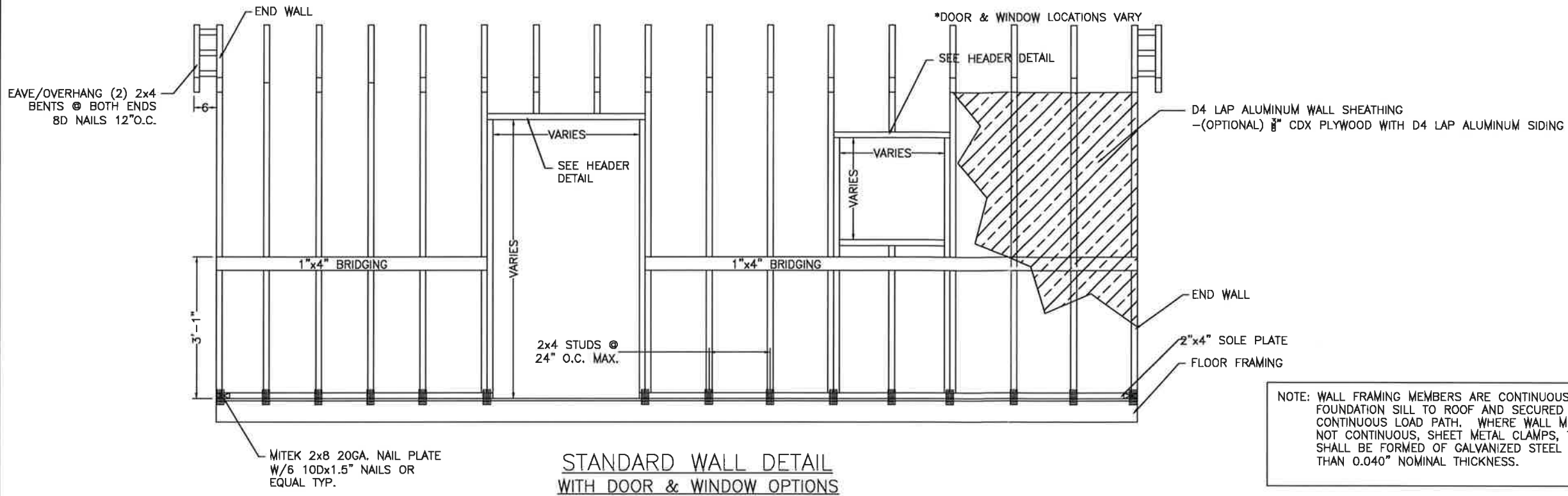
TLE TOP LINE ENGINEERING, LLC
STRUCTURAL ENGINEERS

William E. Neary, III
SMP-51, SMI-79, ICC 5185040
10649 Oakview Pointe Terrace
Gotha, Florida 34734

THIS BUILDING IS NOT APPROVED FOR HVHZ

TITLE: TRUSS & ENDWALL LAYOUT - EAVE STYLE

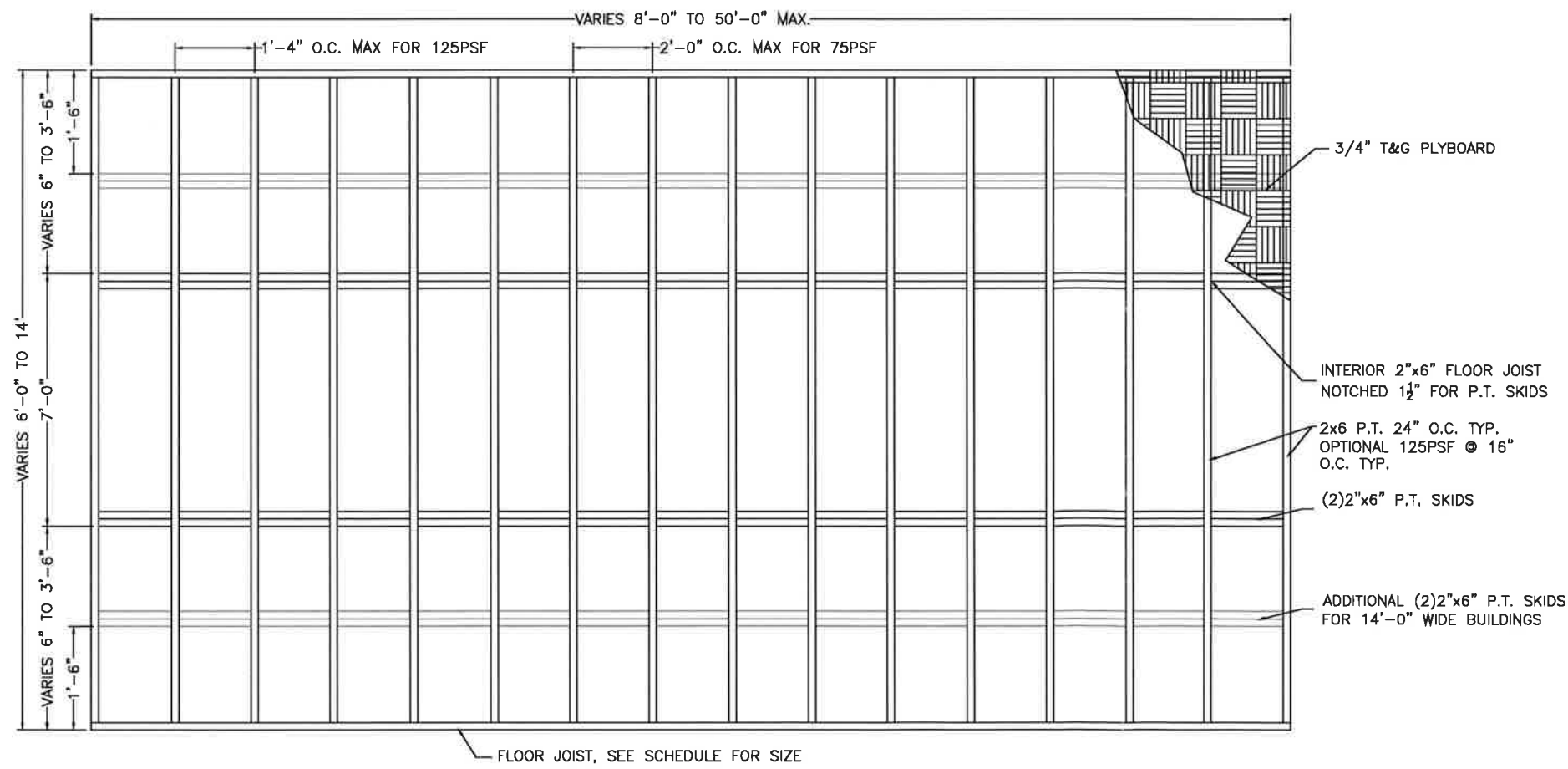
THIS BUILDING IS NOT APPROVED FOR HVHZ



STANDARD WALL DETAIL WITH DOOR & WINDOW OPTIONS

CODE INFORMATION	
CODE VERSION	FBC 2017 6th Edition, ASCE-7, 2014 NEC
MANUFACTURER	SMITHBILT SHEDS
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	STORAGE
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	V _W -180mph
EXPOSURE	C
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.15
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	20PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"r" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

REVISIONS			
REV	DESCRIPTION	DATE	BY
1	PRESS PLATE RESIZED TO 2"x4"	11/8/16	MTB
2	ADDED GARAGE DOOR	1/13/17	MTB
3	2017 FBC 6th EDITION	8/17/17	MTB



FLOOR FRAMING PLAN

Reviewed for Code Compliance
Universal Engineering Sciences

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DEC 28 2020

TLE TOP LINE ENGINEERING, LLC
STRUCTURAL ENGINEERS

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Gotha, Florida 34734

Drawn By: MTB
Date: 9/19/16
Scale: N/A
Model#: SBS-E-180C

SEE GENERAL NOTES ON SHEET #1 (FBPR-1)

MATTHEW T. BALDWIN
LICENSE NO. 64608
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Matthew T. Baldwin P.E.
Florida License #64608

Sheet: FBPR-3 OF 5

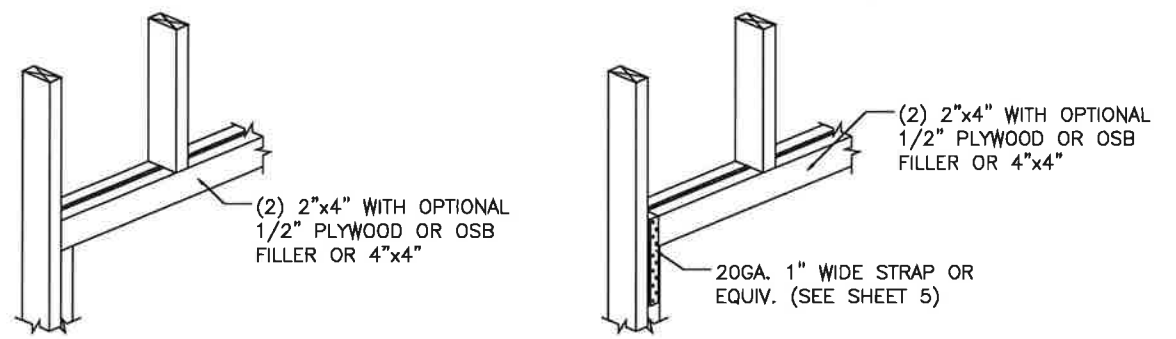
TITLE: WALL & FLOOR LAYOUT - EAVE STYLE

HEADER DETAILS, EQUIVALENT SIZES & MISCELLANEOUS DETAILS

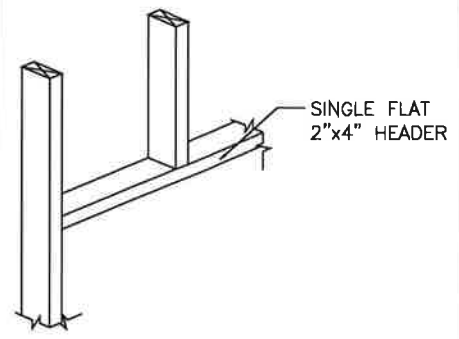
TLE TOP LINE ENGINEERING, LLC
STRUCTURAL ENGINEERS
William E. Neary, III
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10649 Oakview Pointe Terrace
Gotha, Florida 34734



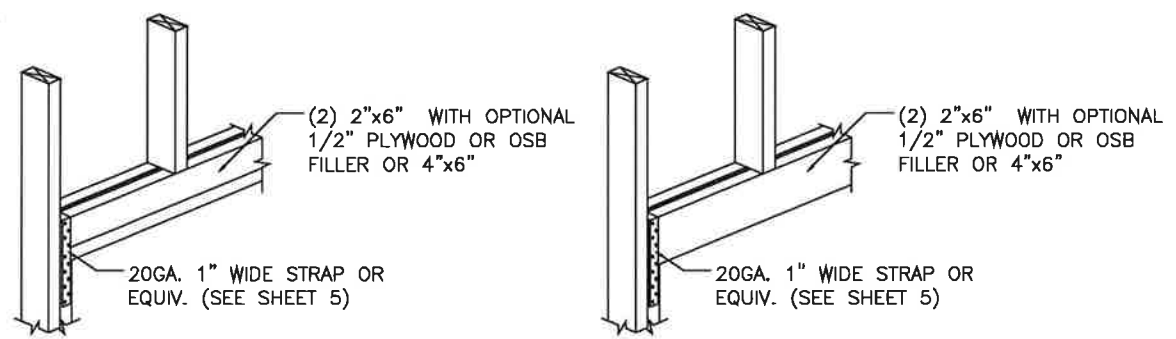
- *NOTES**
1. THE OPTIONAL 1/2" PLYWOOD OR OSB FILLER CAN BE BETWEEN BOARDS OR ON INSIDE OF STRUCTURE.
 2. SEE FASTENER SCHEDULE FOR HARDWARE REQUIREMENTS.
 3. SEE HEADER SCHEDULE FOR ADDITIONAL INFORMATION.
 4. WINDOW HEADERS HAVE COMBINED 50% OR MORE WALL FRAMING ABOVE AND BELOW, OTHERWISE REFER TO DOOR HEADERS.
 5. THESE ARE DESIGN MINIMUMS AND LARGER STUDS CAN BE SUBSTITUTED



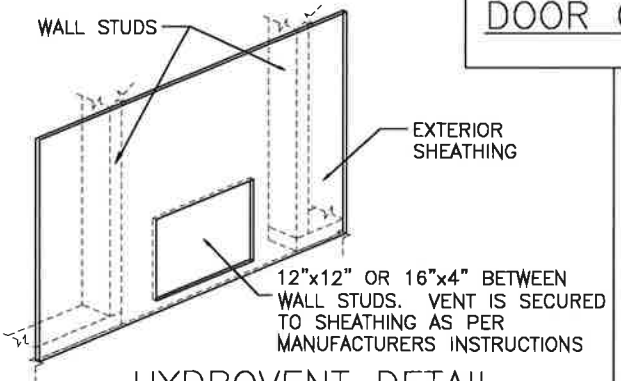
(2)2"x4" OR 4"x4"



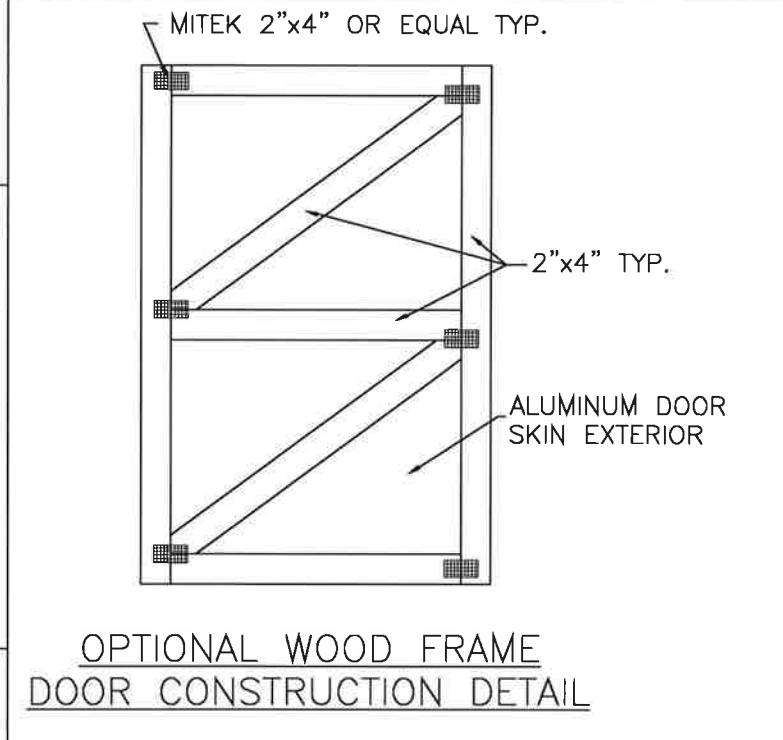
WINDOWS* 3' WIDE OR LESS



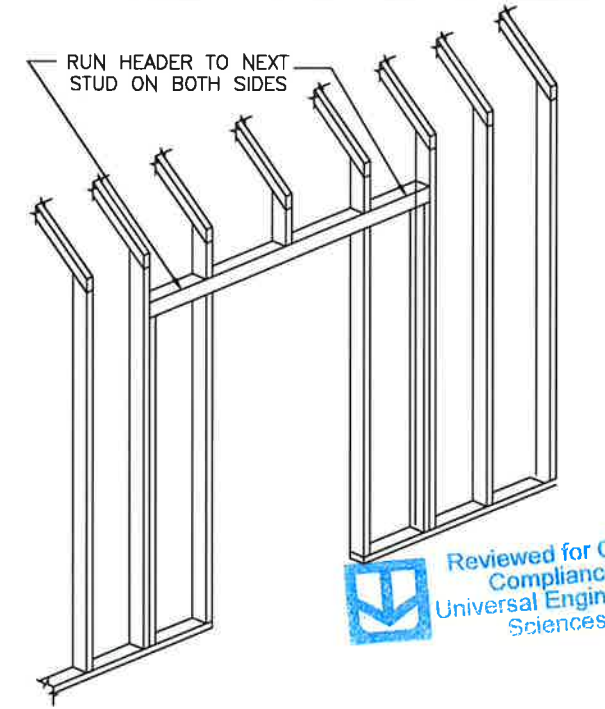
(2)2"x4" w/2"x4", (2)2"x6" OR 4"x6"



HYDROVENT DETAIL (OPTIONAL)



OPTIONAL WOOD FRAME DOOR CONSTRUCTION DETAIL



'NO-STRAP' HEADER DETAIL
MAX. 8' SPAN

Side Wall Header Schedule (180C)(e)

Size{d,g}	Building Width Up to 14' Wide		Fasteners w/o strap (each end){c}
	Max. Span	NJ{b}	
1-2"x4" (f)	3'-0"	0	3 - 3" x 0.131" nails
2-2"x4"	6'-0"	1	6 - 3" x 0.131" nails

- Tabulated values are for No. 2 grade Spruce-Pine-Fir lumber.
- NJ - Number of jack studs required to support each end.
- If over 3' span and no straps are used, header must run to next stud.
- The optional 1/2" Plywood or OSB Filler is not structural and only for aesthetics.
- See header details for alternate layouts, i.e. 2-2"x4" or 4"x4"
- Window header for window openings that have more than 50% combined stud wall above and below, otherwise use door header schedule.
- The header can be attached to the top plate and thusly have the combined strength equivalent and use the maximum span stated. See header details for equivalent sizes.

End Wall Header Schedule (180C)(e,f)

Size{d}	Max. Span	NJ{b}	Fasteners w/o strap (each end){c}
1-2"x4"	6'-0"	0	3 - 3" x 0.131" nails
2-2"x4"	9'-0"	0	6 - 3" x 0.131" nails

- Tabulated values are for No. 2 grade Spruce-Pine-Fir lumber.
- NJ - Number of jack studs required to support each end.
- If over 6' span and no straps are used, header must run to next stud.
- The optional 1/2" Plywood or OSB Filler is not structural and only for aesthetics.
- See header details for alternate layouts, i.e. 2-2"x4" or 4"x4"
- This table is only for headers below the endwall truss. Use Side Wall Header Schedule for headers that break bottom cord of end wall truss.

CODE INFORMATION

CODE VERSION	FBC 2017 6th Edition, ASCE-7, 2014 IBC
MANUFACTURER	SMITHBILT SHEDS
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	STORAGE
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	V _W =180mph
EXPOSURE	C
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.15
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	20PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	710 SQ.FT. OR LESS

REVISIONS

REV	DESCRIPTION	DATE	BY
1	PRESS PLATE RESIZED TO 2"x4"	11/8/16	MTB
2	ADDED GARAGE DOOR	1/13/17	MTB
3	2017 FBC 6th EDITION	8/17/17	MTB

Drawn By: MTB
Date: 9/19/16
Scale: N/A
Model#: SBS-E-180C

SEE GENERAL NOTES ON SHEET #1 (FBPR-1)



Matthew T. Baldwin P.E.
Florida License #64608

Sheet: FBPR-4 OF 5

THIS BUILDING IS NOT APPROVED FOR HVHZ

2019-04-08 TOP LINE ENGINEERING APPROVAL PLAN #SBS-E-180.



TITLE: HEADER & MISC. DETAILS - EAVE STYLE

Fastening Schedule (a)		
(FBC Table 2304.10.1)		
Connection	Fastening (a,m)	Location
1 Joist to sill or girder	3 - 8d common (2 1/2" x 0.131") 3 - 3" 14 gage staples	toe nail
2 Bridging to joist	2 - 8d common (2 1/2" x 0.131") 2 - 3" x 0.232" nails 2 - 3" 14 gage staples	toe nail each end
3 1" x 6" subfloor or less to each joist	2 - 8d common (2 1/2" x 0.131")	face nail
4 Wider than 1" x 6" subfloor to each joist	3 - 8d common (2 1/2" x 0.131")	face nail
5 2" subfloor to joist or girder	2 - 16d common (3 1/2" x 0.162")	blind and face nail
6 Sole plate to joist or blocking	16d (3 1/2" x 0.135") at 16" o.c. 3" x 0.131 nails at 8" o.c. 3" 14 gage staples at 12" o.c.	Typical face nail
Sole plate to joist at blocking at braced wall panel	3 - 16d common (3 1/2" x 0.135") at 16" o.c. 4 - 3" x 0.131" nails at 16" o.c. 4 - 3" 14 gage staples at 16" o.c.	braced wall panel
7 Top plate to stud	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	end nail
8 Stud to sole plate	4 - 8d common (2 1/2" x 0.131") 4 - 3" x 0.131" nails 3 - 3" 14 gage staples	toe nail
	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	end nail
9 Double studs	16d (3 1/2" x 0.135") at 24" o.c. 3" x 0.131" nail at 8" o.c. 3" 14 gage staples at 8" o.c.	face nail
10 Double top plates	16d (3 1/2" x 0.135") at 16" o.c. 3" x 0.131" nail at 8" o.c. 3" 14 gage staples at 8" o.c.	Typical face nail
Double top plates	5 - 16d common (3 1/2" x 0.162") 12 - 3" x 0.131" nails 12 - 3" 14 gage staples	lap splice
11 Blocking between joists or ties to top plate	3 - 8d common (2 1/2" x 0.131") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toe nail
12 Rm joist to top plate	8d (2 1/2" x 0.131") at 6" o.c. 3" x 0.131 nails at 6" o.c. 3" 14 gage staples at 6" o.c.	toe nail
13 Top plates, laps and intersections	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	face nail
14 Continuous header two pieces	16d common (3 1/2" x 0.162")	16" o.c. Along edge
15 Ceiling joists to plate	3 - 8d common (2 1/2" x 0.131") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toe nail
16 Continuous header to stud	4 - 8d common (2 1/2" x 0.131")	toe nail
17 Ceiling joists, laps over partitions (See Table 2308.10.4.1)	3 - 16d common (3 1/2" x 0.135") minimum, Table 2308.10.4.1 4 - 3" x 0.131 nails 4 - 3" 14 gage staples	face nail
18 Ceiling joists to parallel rafters (See Table 2308.10.4.1)	3 - 16d common (3 1/2" x 0.135") minimum, Table 2308.10.4.1 4 - 3" x 0.131 nails 4 - 3" 14 gage staples	face nail
19 Rafter to plate	3 - 8d common (2 1/2" x 0.131") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toe nail
20 1" Diagonal brace to each stud and plate	2 - 8d common (2 1/2" x 0.131") 2 - 3" x 0.131 nails 3 - 3" 14 gage staples	face nail
21 1" x 8" sheathing to each bearing	3 - 8d common (2 1/2" x 0.131")	face nail
22 Wider than 1" x 8" sheathing to each bearing	3 - 8d common (2 1/2" x 0.131")	face nail
23 Built-up corner studs	16d common (3 1/2" x 0.162") 3" x 0.131 nails 3" 14 gage staples	24" o.c. 16" o.c. 16" o.c.
24 Built-up girder and beams	20d common (4" x 0.192") at 32" o.c. 3" x 0.131" nails at 24" o.c. 3" 14 gage staples at 24" o.c. 2-20 common (4" x 0.192") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	face nail at top and bottom staggered on opposite sides face nail at ends and at each splice
25 2" planks	16d common (3 1/2" x 0.162")	at each bearing
26 Collar tie to rafter	3 - 10d common (3" x 0.148") 4 - 3" x 0.131 nails 4 - 3" 14 gage staples	face nail
27 Jack rafter to hip	3 - 10d common (3" x 0.148") 4 - 3" x 0.131 nails 4 - 3" 14 gage staples	toe nail
	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	face nail
28 Roof rafter to 2-by ridge beam	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toe nail
	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	face nail

29 Joist to band joist	3 - 16d common (3 1/2" x 0.135") 4 - 3" x 0.131 nails 4 - 3" 14 gage staples	face nail
30 Ledger strip	3 - 16d common (3 1/2" x 0.162") 4 - 3" x 0.131 nails 4 - 3" 14 gage staples	Face nail at each joint
31 Wood structural panels and particleboard (a) Subfloor, roof and wall sheathing (to framing)	1/2" and less 6d (c) 1 (c) 2 3/8" x 0.113" nail (n) 1 3/4" 16 gage (c)	
Single floor (combination subfloor/underlayment to framing)	1/2" to 3/4" 8d (c) or 6d (c) 2 3/8" x 0.113" nail (p) 2" 16 gage (p)	6" o.c. Edges and intermediate, 4" o.c. at component and cladding edge strip # zone 3 (Refer to Figure 30.5-1 of ASCE 7)
	7/8" to 1" 1 1/8" to 1 1/4"	8d (c) 10d (c) or 8d (c)
	3/4" and less 7/8" to 1" 1 1/8" to 1 1/4"	6d (c) 8d (c) 10d (c) or 8d (c)
32 Panels siding (to framing) (c)	1/2" or less 5/8"	6d (c) 8d (c)
33 Fiberglass sheathing (g, d)	1/2" and less 25/32"	No. 11 gage roofing nail (h) 6d common nail (2" x 0.113") No. 16 gage staple (i) No. 11 gage roofing nail (h) 8d common nail (2 1/2" x 0.131") No. 16 gage staple (i)
34 Interior paneling	1/4" 3/8"	4d (j) 6d (k)

Alternate Fastening Schedule

Connection	Fastening
ALT 31-33. Wood structural panels and particleboard Subfloor, roof and wall sheathing (to framing)	1/2" and less 2" x 0.092" Ring Shank Nail - 5" from edge, 10" o.c.

Strap & Simpson Strong-Drive® SD Screw Schedule

Part#/Desc.	Uplift	Wall fastener	Rafter Fastener	Plate Fastener
H1	435	-	6-SD9x1.5"	4-SD9x1.5"
H11Z	750	-	6-SD10x2.5"	6-SD10x2.5"
H2A	495	5-SD9x1.5"	5-SD9x1.5"	2-SD9x1.5"
H2.5A	540	-	5-SD9x1.5"	5-SD9x1.5"
H2.5	410	5-SD9x1.5"	5-SD9x1.5"	-
H2.5T	545	5-SD9x1.5"	5-SD9x1.5"	-
H2A	495	7-SD9x1.5"	5-SD9x1.5"	-
H3	320	4-SD9x1.5"	4-SD9x1.5"	-
H4	280	4-SD9x1.5"	4-SD9x1.5"	-
H5	415	4-SD9x1.5"	4-SD9x1.5"	-
LTS-12	895	6-SD9x1.5"	6-SD9x1.5"	-
LTS-16	1075	6-SD9x1.5"	6-SD9x1.5"	-
LTS-18	1235	6-SD9x1.5"	6-SD9x1.5"	-
LTS-20	1215	6-SD9x1.5"	6-SD9x1.5"	-
MTS-12	895	7-SD9x1.5"	7-SD9x1.5"	-
MTS-16	1075	7-SD9x1.5"	7-SD9x1.5"	-
MTS-18	1255	7-SD9x1.5"	7-SD9x1.5"	-
MTS-20	1255	7-SD9x1.5"	7-SD9x1.5"	-

Part#/Desc.	Uplift	Column Fastener	Rafter Fastener
A21	-	2-SD9x1.5"	2-SD9x1.5"
A23	-	4-SD9x1.5"	4-SD9x1.5"
A33	-	4-SD9x1.5"	4-SD9x1.5"

Part#/Desc.	Uplift	Wall fastener	Floor Fastener
LSTA-18	1,235	7-SD9x1.5"	7-SD9x1.5"

Part#/Desc.	Uplift	Wall fastener	Floor Fastener
20Ga. 1-1/4" Wide	4,725	7-SD9x1.5"	-
5/8" x 30" Anchor	4,300	-	-

Strap & Fastener Schedule (a)

Part#/Desc.	Uplift	Wall fastener	Rafter Fastener	Plate Fastener
H1	400	-	6-8dx1.5"	4-8d
H11Z	750	-	6-16dx2.5"	6-16dx2.5"
H2A	495	5-8dx1.5"	5-8dx1.5"	2-8dx1.5"
H2.5A	535	-	5-8d	5-8d
H2.5	410	5-8d	5-8d	-
H2.5T	545	5-8d	5-8d	-
H2A	495	7-8dx1.5"	5-8dx1.5"	-
H3	320	4-8d	4-8d	-
H4	235	4-8d	4-8d	-
H5	285	4-8d	4-8d	-
LTS-12	620	6-10dx1.5"	6-10dx1.5"	-
LTS-16	620	6-10dx1.5"	6-10dx1.5"	-
LTS-18	620	6-10dx1.5"	6-10dx1.5"	-
LTS-20	620	6-10dx1.5"	6-10dx1.5"	-
MTS-12	860	7-10dx1.5"	7-10dx1.5"	-
MTS-16	860	7-10dx1.5"	7-10dx1.5"	-
MTS-18	860	7-10dx1.5"	7-10dx1.5"	-
MTS-20	860	7-10dx1.5"	7-10dx1.5"	-

Part#/Desc.	Uplift	Column Fastener	Rafter Fastener
A21	245	2-10dx1.5"	2-10dx1.5"
A23	585	4-10dx1.5"	4-10dx1.5"
A33	750	4-10d	4-10d

Part#/Desc.	Uplift	Wall fastener	Floor Fastener
LSTA-18	1,110	7-10d	7-10d

Part#/Desc.	Uplift	Stud fastener	Header Fastener
TP-35	N/R	5-3" x 0.131"	5-3" x 0.131"
HP40,41,80,81	4,725	5-3" x 0.131"	5-3" x 0.131"

Part#/Desc.	Uplift	Wall fastener	Floor Fastener
20Ga. 1-1/4" Wide	4,725	7-10dx1.5"	-
5/8" x 30" Anchor	4,300	-	-

a. Only needed on aluminum sheathing walls.
b. Headers over 6' span.

THIS BUILDING IS NOT APPROVED FOR HVHZ

a. All straps can be substituted with an equivalent brand meeting same strengths.
b. Rafter ties to stud wall to be at every connection for 24" o.c. & can be every other for 16" o.c. but is required on corners and studs adjacent to corners.
c. Only needed on aluminum & vinyl sheathing walls.
d. Headers over 6' span.

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DEC 28 2020

TOP LINE ENGINEERING, LLC
 STRUCTURAL ENGINEERS
 William E. Neary, III
 SMP-51, SMI-79, ICC 5185040
 10649 Oakview Pointe Terrace
 Gotha, Florida 34734

CODE INFORMATION

CODE VERSION	FBC 2017 6th Edition, ASCE-7, 2014 NEC
MANUFACTURER	SMITHBILT SHEDS
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	STORAGE
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	Va=180mph
EXPOSURE	C
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.15
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	20PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

REVISIONS

REV	DESCRIPTION	DATE	BY
1	PRESS PLATE RESIZED TO 2"x4"	11/8/16	MTB
2	ADDED GARAGE DOOR	1/13/17	MTB
3	2017 FBC 6th EDITION	8/17/17	MTB

Drawn By:	MTB
Date:	9/19/16
Scale:	N/A
Model#:	SBS-E-180C

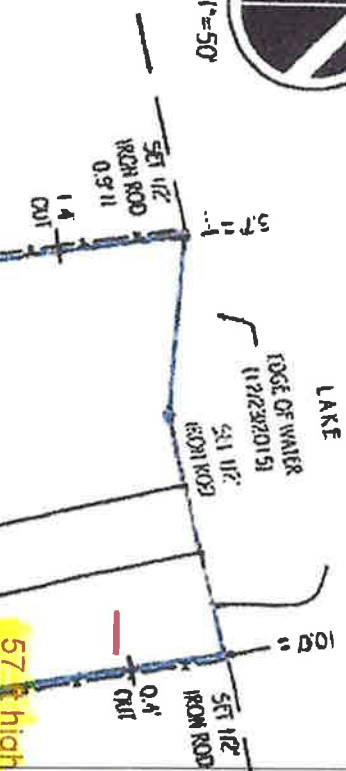
SEE GENERAL NOTES ON SHEET #1 (FBPR-1)

Matthew T. Baldwin P.E.
Florida License #64608

Sheet: FBPR-5 OF 5



SCALE: 1"=50'



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DEC 28 2020



57' high water from shed

35' from shed

57' from house

X = 10x20 Shed

5' ft from property line(fence)



EVENT LEGEND:

	BOUNDARY LINE
	BUILDING LINE
	CENTERLINE
	SEGMENT LINE
	CHAIN LINK FENCE
	WOOD FENCE
	OVERHEAD CABLE

LEGEND:

	CA DENOTES CENTRAL ANGLE
	CA TV DENOTES CABLE TV BOX
	CD DENOTES CHORD DISTANCE
	DE DENOTES DRIVEWAY EASEMENT
	FD DENOTES FOUND NAIL
	M DENOTES MEASURED
	OC DENOTES OVERHEAD CABLE
	P DENOTES PLAT
	PP DENOTES POOL PUMP
	R DENOTES RADIUS
	TR DENOTES TELEPHONE RISER
	UE DENOTES UTILITY EASEMENT
	UP DENOTES UTILITY POLE
	WM DENOTES WATER METER

Useful Coordinates - Please note the following:
 and/or Surveying offices throughout the State of Florida. Please refer to our website at
 www.LandtecSurvey.com for up to date information about our locations and coverage area.
 This survey has been issued by the following Landtec Surveying office:

Invoice Number: 7028 CE
 Drawn By: E.VANBELA
 Date of Field Work: 12/22/2015
 Revision:
 Revision:
 Revision:

BEARING REFERENCE: NORTH LINE OF TRENTWOOD BOULEVARD AS S. 70°07'55" W.
 ALL BEARINGS SHOWN HEREON REFERENCED THERETO.



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