



**City of Belle Isle Job Site Card Building PERMIT 2018-08-007**

**PERMIT MUST BE POSTED ON SITE** - A permit expires in 6 months if approved inspections are not recorded /schedule within that time frame. **You are responsible for scheduling and keeping track of all inspections.**

Permit Number: 2018- 08-007

Issue Date: 8/07/2018

Site Address: 5298 Jade Cir 32812

Parcel #: 20-23-30-4395-00-160

Class:  Residential

Subdivision:

Description of Work: **Pre-manufactured Metal Shed 12'x14'**

Issued To: Raper James A Jr

Business Phone: 407 228 4633

Name: Raper James A Jr

Contractor License: Homeowner

Payment Date & Method: 8 / 8 / 2018

Visa  Master Card  Amex  Discover  Check / Money Order # 4664

Schedule Inspections via Email at: [BDscheduling@universalengineering.com](mailto:BDscheduling@universalengineering.com)

**SCHEDULE INSPECTIONS BY 3:00PM CUT OFF TIME**

**Inspection Results Will Be Sent Out the Following Business Day**

**"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**

BUILDING	INSPECTOR	DATE	COMMENTS
100 Demo Final			
110 Footing			
120 Stem Wall			
130 Slab			
140 Lintel/Tie Beam			
150 Down Pour			
160 Tilt Panel			
170 Window In-progress			
180 Sheathing (wall)			
190 Sheathing (roof)			
195 Dry-in (roof/walls)			
200 Framing			
205 Drywall Nail/Screw			
210 Fire Rated Assembly			
220 Above-Ceiling			
230 Insulation			
240 Lathe			
250 Final			
260 Other			

Inspection requests are to be emailed to [BDscheduling@UniversalEngineering.com](mailto:BDscheduling@UniversalEngineering.com); a confirmation email will be sent back to you upon scheduling. **Next-Day Inspection requests must be made by 3pm.** Please include the following in your request: Permit #, project address, type of inspection, date of the requested inspection, a contact name & a contact phone number. **AM or PM may be requested but cannot be guaranteed.** Inspection results will be sent out the following business day. A permit expires in 6 months if approved inspections are not recorded /scheduled within that time frame. **You are responsible for scheduling and keeping track of all your inspections -**

Universal Engineering Sciences - 3532 Maggie Blvd., Orlando, FL 32811  
Tel 407-581-8161 \* Fax 407-581-0313 \* [www.universalengineering.com](http://www.universalengineering.com)



# City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811  
Tel 407-581-8161 \* Fax 407-581-0313 \* [www.universalengineering.com](http://www.universalengineering.com)

RECEIVED  
AUG - 2 2018

## Building Permit (Land Use) Application

DATE: 8/1/18

PERMIT # 208-08-007

PROJECT ADDRESS 5298 Jade Cir, Belle Isle, FL 32809 ✓ 32812

PROPERTY OWNER James and Heather River PHONE 407 228 4633 VALUE OF WORK (labor & material) \$ 4719.38

### PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

Pre-manufactured Metal Shed 12'x14'

Please provide information, if applicable.

- **SINGLE FAMILY RESIDENCE:** 8.5"x11" Plat Survey, Plot Plan of Home and Floor Plans of New Construction/Revision Required
- **BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- **SEPTIC SYSTEM (RESIDENTIAL):** - Provide verification of OC Health Dept approval for on-site septic tank system, per FAC Chap. 64E-6
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 20-23-30-4395-00-160

To obtain this information, please visit <http://www.ocpall.org/Searches/ParcelSearch.aspx>

**SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCRoACH INTO AN EASEMENT OR REQUIRED SETBACK.** Survey specific foundation plan required to show compliance with zoning setbacks. Note: this Zoning Approval **MAY** or **MAY NOT** be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

**ZONING APPROVED**  
Date: 8/7/18 By: [Signature]  
City of Belle Isle

PLANNING & ZONING APPROVAL DATE: 8/7/18 BY: [Signature]

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)

CONSTRUCTION TYPE \_\_\_\_\_

OCCUPANCY GROUP \_\_\_\_\_ Comm Res: \_\_\_\_\_ Single Fam \_\_\_\_\_ Multi Fam

#BLDG. \_\_\_\_\_ #UNITS \_\_\_\_\_ #STORIES \_\_\_\_\_ TOTAL SQ.FT. \_\_\_\_\_

MAX. FLOOR LOAD \_\_\_\_\_ MAX. OCCUPANCY \_\_\_\_\_

MIN. FLOOD ELEV. \_\_\_\_\_ LOW FLOOR ELEV. \_\_\_\_\_

WATER SERVICE \_\_\_\_\_ WELL \_\_\_\_\_ SEPTIC \_\_\_\_\_

BUILDING REVIEWER Dale Baker DATE 8-8-18

VERIFIED CONTRACTOR'S LICENSE & INSURANCE ARE ON FILE 8-2-2018

noc OIB disclosure

Per FSS 105.3.3:  
An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC. 15112

Page 1 of 2

2x4

\* Okay in easement since pool patio encroaches already. If easement is needed by utility, owner is responsible for cost of replacement/relocation of shed.

25  
16  
41  
20.00  
61.50

Wind Exposure Category: B \_\_\_ C \_\_\_ D \_\_\_

SPRINKLERS REQ'D	Y	N	
If Required - SUBMIT COPY OF PLANS FOR FIRE REVIEW			RCD
ZONING	<input checked="" type="radio"/>	<input type="radio"/>	\$ <u>300</u>
CERT OF OCC	<input checked="" type="radio"/>	<input type="radio"/>	\$
TRAFFIC	<input type="radio"/>	<input type="radio"/>	\$
SCHOOL	<input type="radio"/>	<input type="radio"/>	\$
FIRE	<input type="radio"/>	<input type="radio"/>	\$
SWIMMING POOL	<input type="radio"/>	<input type="radio"/>	\$
SCREEN ENCLOSURE	<input type="radio"/>	<input type="radio"/>	\$
ROOFING	<input type="radio"/>	<input type="radio"/>	\$
BOAT DOCK	<input type="radio"/>	<input type="radio"/>	\$
BUILDING	<input type="radio"/>	<input type="radio"/>	\$
WINDOW(S)	<input type="radio"/>	<input type="radio"/>	\$
DOOR(S)	<input type="radio"/>	<input type="radio"/>	\$
FENCE	<input checked="" type="radio"/>	<input type="radio"/>	\$
SHED	<input checked="" type="radio"/>	<input type="radio"/>	\$ <u>61.50</u>
DRIVEWAY	<input type="radio"/>	<input type="radio"/>	\$
OTHER	<input type="radio"/>	<input type="radio"/>	\$

1% BCAIB FEE 2 min

1.5% DCA FEE 2 min

TOTAL 95.50

OTHER PERMITS REQUIRED:

ELECTRICAL	Y	NA
PREPOWER	Y	NA
MECHANICAL	Y	NA
PLUMBING	Y	NA
ROOFING	Y	NA
GAS	Y	NA

PAID USA 4664 8-8-18

8/7/18



**Building Permit (Land Use) Application**  
 To be completed as required by State Statute Section 713 and other applicable sections.

**PERMIT # 2018-08007**

Owner's Name James Raper  
 Owner's Address 5298 Jade Cir

Contractor Name <u>James Raper</u>	Company Name
License #	Company Address <u>5298 Jade Cir</u>
Contact Phone/Cell <u>407 228 4633</u>	City, State, ZIP <u>Belle Isle, FL 32812</u>
Contact Email <u>Jamie@YourPrivateAdjuster.com</u>	Contact Fax

**WARNING TO OWNER:** Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations ([www.floridabuilding.org](http://www.floridabuilding.org)) and City Ordinances ([www.municode.com](http://www.municode.com)) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ROOFING, ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, SCREEN ENCLOSURES, ETC.

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner Signature [Signature]  
 The foregoing instrument was acknowledged before me this 8 / 1 / 2018  
 by JAMES RAPER who is personally known to me  
 and who produced R160 441 732 540  
 as identification and who did not take an oath  
 Notary as to Owner  
 State of Florida  
 County of Orange



Contractor Signature \_\_\_\_\_  
 COMPANY NAME N/A  
 The foregoing instrument was acknowledged before me this 1 / 1 / 1  
 by \_\_\_\_\_ who is personally known to me  
 and who produced \_\_\_\_\_  
 as identification and who did not take an oath  
 Notary as to Owner  
 State of Florida  
 County of Orange

**Impervious Surface Ratio Worksheet**  
 Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per City Code, Section 50-74: Impervious Surface Ratio

- Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).  
 Total Lot Area 12956 X 0.35 = 4535  
 Allowable Impervious Area (BASE) \_\_\_\_\_
- Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc.
  - House 2730.6
  - Driveway 432
  - Walkway 270
  - Accessory Buildings 168 (proposed shed)
  - Pool & Spa 360
  - Deck & Patio 490
  - Other \_\_\_\_\_
 Actual Impervious Area (AIA) 4450.6
- If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.
- If AIA is greater than BASE, then onsite retention must be provided.

Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed



# MAP OF BOUNDARY SURVEY

**LEGAL DESCRIPTION:**

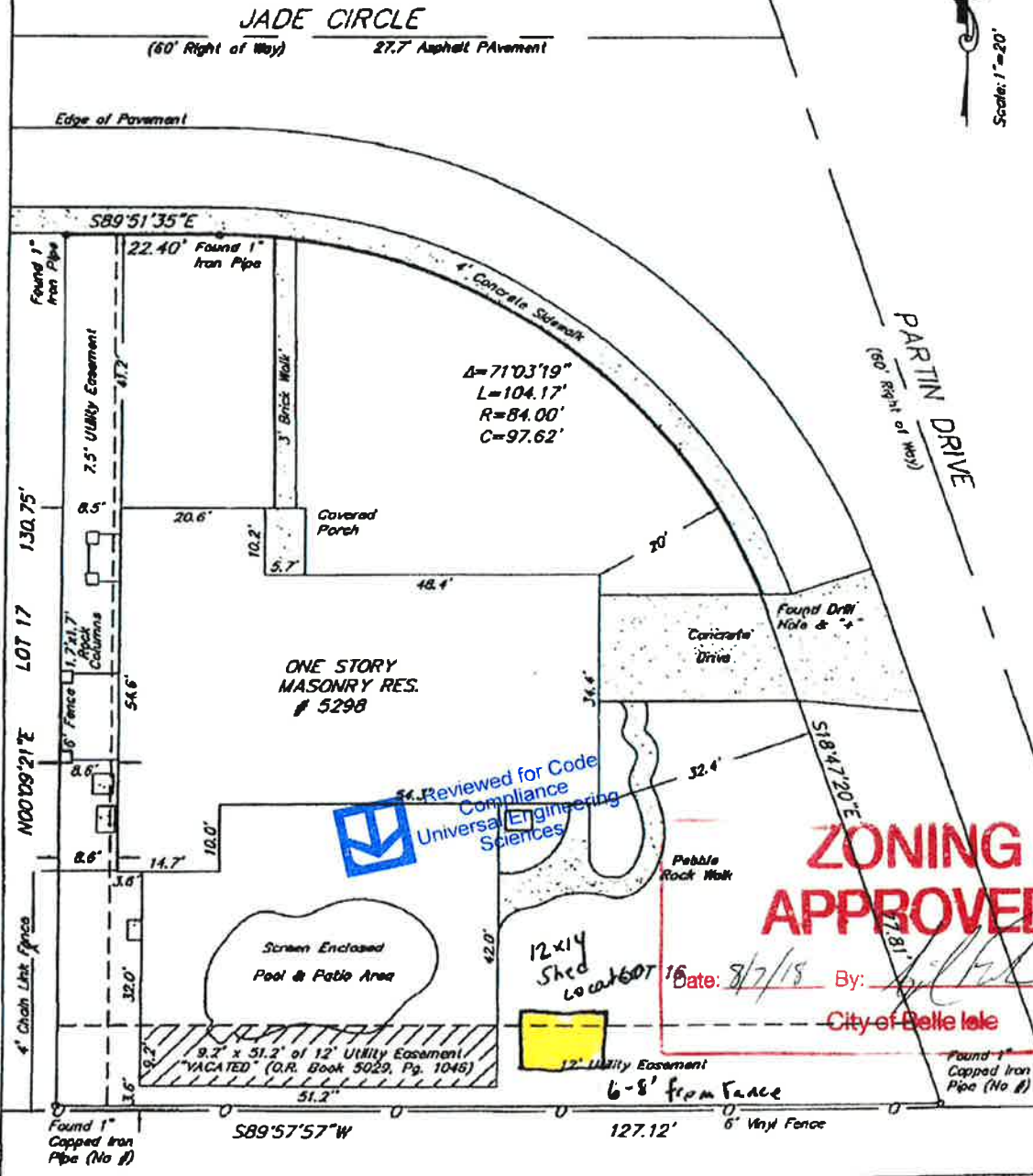
LOT 16, LAKE CONWAY SHORES, ACCORDING TO MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 50, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

**BEARING BASIS:**

Bearings based on the Southerly Right of Way line of Jade Circle, bearing S.89°50'39"E., according to the above referenced plat.

**FLOOD ZONE INFORMATION:**

Subject Property appears to lie in Flood Zone "X" according to National Flood Insurance Rate Map 12095C0430 E, Dated December 06, 2000.



Prepared For: JAMES RAPER, JR. AND HEATHER RAPER; FIRST HORIZON HOME LOAN CORPORATION; PILLAR TITLE AND TRUST, INC.; STEWART TITLE GUARANTY COMPANY;

This Survey was prepared without the benefit of abstract of title commitment, therefore no guarantees pertaining to rights of way, easements, agreements or similar matters have been made. This certifies that a survey of the hereon described property was made under my direct supervision and meets minimum technical standards set forth by the Florida Board of Professional Land Surveyors in chapter 61G176, Florida administrative code, pursuant to section 472.027 of the Florida Statutes. Unless it bears the signature and the original raised seal of a Florida Licensed Surveyor and Mapper this drawing, sketch, plat, or map is for information purposes only and is not valid.

*[Signature]*

PAGE & ASSOCIATES  
SURVEYING & MAPPING, INC.  
P.S.M. #4660  
3752 BRANDY STREET  
ORLANDO, FLORIDA 32812  
Ph. (407) 228-9748  
Fax (407) 228-9948

**Ken Lawson, Secretary**

**Rick Scott, Governor**

September 23, 2016

Alex Martens

Superior Sheds, Inc.  
2323 S. Volusia Ave  
Orange City, FL 32763

RE: Manufacturer Certification, ID MFT-113; Expiration Date: September 22, 2019

Dear Alex Martens

It is my pleasure to inform you that Superior Sheds, Inc., located at 2323 S. Volusia Ave, Orange City, FL 32763, has been approved under the Manufactured Buildings Program, as provided for under Chapter 553, Part I, Florida Statutes, to manufacture Storage Sheds, Manufactured Buildings for installation in Florida.

Construction or modification on a manufactured building cannot begin until the Third Party Agency has approved the plans in accordance with the current Florida Building Code. Your Third Party Agency is a contractor for the Department and has statutory authority and responsibilities that must be met to maintain approved status. You may expect and demand quality plans review and inspections.

Each Code change will make your plans obsolete until they have been reviewed, approved and indicated [on the cover page of the plans] for compliance with the Code by your Third Party Agency for plans review. Please ensure that your plans are in compliance and are properly posted on our website. All site-related installation issues are subject to the local authority having jurisdiction.


The Department's contractor will make unannounced monitoring visits at least once each year. You must grant complete access to your manufacturing facility and records to remain in compliance with the rules and regulations of this program.

Your certification is approved for three years from this date. You will receive a renewal notice by Email generated by the BCIS ([www.floridabuilding.org](http://www.floridabuilding.org)) for online renewal. If you have questions you may contact Robert Lorenzo at 850-717-1835 or our FAX at 850-414-8436.

Please visit our website at [www.floridabuilding.org](http://www.floridabuilding.org) to see valuable information on the Florida Manufactured Buildings Program. A copy of this letter must accompany applications for local building permits.



Sincerely,



Robert Lorenzo  
Manufactured Buildings Program

cc: Professional Service Industries

Permit Number: 208-08-007  
Folio/Parcel Identification Number: 20-23-30-4395-00-160  
Prepared by: James Raper

DOCH 20180458134  
08/02/2018 12:08:57 PM Page 1 of 1  
Rec Fee: \$10.00  
Phil Diamond, Comptroller  
Orange County, FL  
IP - Ret To: JAMES RAPER

Return to: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**NOTICE OF COMMENCEMENT**

State of Florida, County of Orange

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. **Description of property** (legal description of the property, and street address if available)

LOT 16 Lake Conway Shores

2. **General description of improvement**

3. **Owner information or Lessee information if the Lessee contracted for the improvement**

Name James Raper

Address 5298 Jade Cir

Interest in Property Owner

Name and address of fee simple titleholder (if different from Owner listed above)

Name \_\_\_\_\_

Address \_\_\_\_\_

4. **Contractor**

Name NA James Raper

Telephone Number 407 228 4633

Address 5298 Jade Cir

5. **Surety** (if applicable, a copy of the payment bond is attached)

Name NA

Telephone Number \_\_\_\_\_

Address \_\_\_\_\_

Amount of Bond \$ \_\_\_\_\_

6. **Lender**

Name \_\_\_\_\_

Telephone Number \_\_\_\_\_

Address \_\_\_\_\_

7. **Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by §713.13(1)(a)7, Florida Statutes.**

Name NA

Telephone Number \_\_\_\_\_

Address \_\_\_\_\_

8. **In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in §713.13(1)(b), Florida Statutes.**

Name NA

Telephone Number \_\_\_\_\_

Address \_\_\_\_\_

9. **Expiration date of notice of commencement** (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified)

COMPTROLLER  
SEAL  
COUNTY OF ORANGE  
State of Florida  
I hereby certify that this is a true copy of the document as filed in the Official Records  
PHIL DIAMOND, COUNTY COMPTROLLER  
BY: [Signature]  
DATED: 08-02-18

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager [Signature]

Signatory's Title/Office Home owner

The foregoing instrument was acknowledged before me this 1<sup>st</sup> day of Aug by James Raper

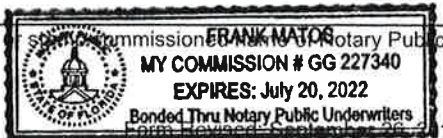
as Notary Type of authority, e.g., officer, trustee, attorney in fact

for James Raper Name of party on behalf of whom instrument was executed

Signature of Notary Public - State of Florida [Signature]

Print, type, Frank Matos Notary Public

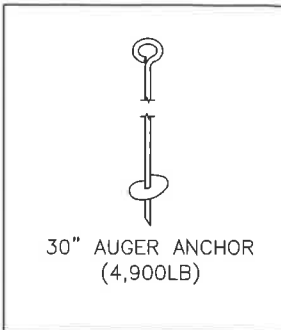
Personally Known OR Produced ID   
Type of ID Produced R160 441 73 2540





**SETUP AND INSTALLATION OF SINGLE WIDE SHED**

- BUILDING IS PLACED IN REQUESTED LOCATION ON SCHEDULE 40 PVC TO ALLOW FOR MOVEMENT TO PLUM OR SQUARE UNIT TO HOUSE, FENCE, PROPERTY LINE, ETC.
- ONCE UNIT IS SQUARE AND THE HIGH SPOT OF THE GROUND IS ESTABLISHED, THE BUILDING IS BLOCKED ON THE HIGH SPOT AND LEVELED. THE OTHER END OF THE BUILDING IS BROUGHT UP TO LEVEL AND BLOCKED. THEN THE CENTER OF THE BUILDING IS SUPPORTED TO LEVEL, BLOCKED, AND THEN SHIMMED.
- AFTER THE BUILDING IS LEVEL, MORE BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 3).
- ANCHOR PLACEMENT IS ESTABLISHED BY THE WIDTH OF THE BUILDING. HOLES ARE DRILLED THRU THE 2"x4" BOTTOM PLATE WITH A 1/2" AUGER BIT. 1/2" EYEBOLT OR OPTIONAL 1/2" THREADED ROD (FOR A "HIGH SET") IS SECURED THRU THE HOLE.
- ANCHORS ARE **NOT REQUIRED** IN THE BOTTOM PLATE FOR DOORS AND DOORWAYS WITH NO FOOTER (GARAGE DOORS FOR EXAMPLE). HEADER DESIGN TRANSFERS THESE LOADS.
- IF THE UNIT HAS A FLOOR, EITHER A HOLE IS DUG FOR THE 30" AUGER ANCHOR AND BACKFILLED AND SECURED AS PER THE DETAIL OR A 1/2" HOLE IS DRILLED INTO THE CONCRETE 1-1/2" OFF OF RIM JOIST. THE EYEBOLT IS FASTENED THRU THE BOTTOM PLATE AND A SIMPSON A-24 (OR EQUAL) IS SECURED TO THE CONCRETE WITH A 1/2" WEDGE ANCHOR.
- IF THE UNIT IS A 'NO FLOOR' OPTION, ANCHOR WITH 1/2"x5" WEDGE ANCHOR THRU THE 2"x4" BOTTOM PLATE.



**SETUP AND INSTALLATION OF DOUBLE WIDE SHED**

- BUILDING IS PLACED IN REQUESTED LOCATION. THE FIRST SECTION OF THE DOUBLE WIDE IS PLACED ON THE HIGHEST LOCATION OF GROUND AND IS LEVELED UP.
- BLOCKS ARE THEN PLACED AT THE END, CENTER, AND OTHER END TO LEVEL. ONCE THE BUILDING IS LEVEL, BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 3).
- THE NEXT SECTION OF THE SHED IS BACKED INTO PLACE AND UNLOADED PARALLEL WITH THE FIRST SECTION. THE TWO SECTIONS ARE CONNECTED AT THE LOWER CORNER WITH (1) 1/2"x4 1/2" BOLT AND NUT. THE SECOND SECTION IS THEN LEVELED AND THE OTHER BOLT HOLES ARE LINED UP AND BOLTED SECURE. THE REST OF THE BLOCKING IS THEN COMPLETED. THIS PROCEDURE IS REPEATED FOR MULTIPLE SECTION SHEDS UNTIL ALL SECTIONS ARE IN PLACE.
- GROUND ANCHORS ARE THEN ADDED (SEE TABLE 4B).
- ONCE THE BUILDING IS PROPERLY BLOCKED AND BOLTED TOGETHER, THE SUPPORT BRACING IS REMOVED.
- ANCHORS ARE **NOT REQUIRED** IN THE BOTTOM PLATE FOR DOORS AND DOORWAYS WITH NO FOOTER (GARAGE DOORS FOR EXAMPLE). HEADER DESIGN TRANSFERS THESE LOADS.



**CODE INFORMATION**

CODE VERSION	FBC 2017 6th Edition, ASCE-7
MANUFACTURER	SUPERIOR SHEDS
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	STORAGE
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	Va=200mph
EXPOSURE	D
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.15
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	20PSF OR 300lbs
FLOOR DEAD LOAD	8PSF
FLOOR LIVE LOAD	STD. 75PSF - 125PSF OPT.
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	LESS THAN 720 SQ.FT.

**GENERAL NOTES & SPECIFICATIONS FOR AUGER ANCHORS**

- BUILDING ANCHORS SHALL BE "MOBILE HOME" TYPE HP-1 SINGLE HELIX EYE AUGER ANCHOR BY HOME PRIDE OF BRISTOL, VA. OR EQUAL. AVERAGE HOLDING STRENGTH IS NOT LESS THAN 4,900 LBS.
- ANCHORING SYSTEM TO GROUND PER LOCAL BUILDING CODE (BY DEALER). LOCATE ANCHORS PER TABLE 4A OR 4B.
- THREADED ROD WITH EYEBOLTS SHALL BE PLACED THRU THE BOTTOM PLATE (FLOOR SYSTEM) AND ATTACHED TO ANCHOR.

**TABLE 1 ANCHORING TO CONCRETE**

SHED WIDTH	UPLIFT (PLF)	ANCHOR SPACING
20'-0"	400	3'-6"
13'-8"	280	3'-6"
11'-8"	240	3'-6"
10'-0"	200	3'-6"
8'-0"	160	3'-6"
6'-0"	120	3'-6"

**TABLE 2 SKID RUNNER SPACING\***

SHED WIDTH	X1	X2	X3
13'-8"	1'-10 1/2"	1'-10 1/2"	1'-10 1/2"
11'-8"	2'-8"	6'-4"	-
10'-0"	1'-7"	6'-10"	-
8'-0"	0'-9"	6'-6"	-
6'-0"	0'-10"	51"	-

**TABLE 3A PAD TYPES**

TYPE	PAD DIMENSIONS	MAX. LOAD*	MATERIAL
I	2"x8"x16"	1778LBS	CONCRETE BLOCK QUALITY CEMENT AND SAND MIX
II	4"x8"x16"	3500LBS	CONCRETE BLOCK QUALITY CEMENT AND SAND MIX
III	16"x16"	3950LBS	ABS PLASTIC PADS
IV	8"x8"x16"	1900LBS	CONCRETE BLOCK QUALITY CEMENT AND SAND MIX

\* BASED ON 2000PSF SOIL BEARING CAPACITY (2000PSF IS TYPICAL)  
**NOTES**  
 1. HOLLOW OR SOLID CONCRETE BLOCKS (8"x8"x16") MAY BE STACKED ON PADS FOR HIGH SETS UP TO 48" WITHOUT REINFORCING.  
 2. ABS PADS REQUIRED ON 11'-8" AND 13'-8" WIDE SHEDS ONLY.

**TABLE 4A 30" AUGER ANCHOR SPACING - SINGLE WIDE**

SHED WIDTH	LW*	UPLIFT (PLF)	END ANCHOR**	MAX. INTERIOR SPACING***
13'-8"	7.00	243	0'-0" TO 3'-0"	10'-0"
11'-8"	6.00	208	0'-0" TO 3'-0"	10'-0"
10'-0"	5.00	174	0'-0" TO 3'-0"	10'-0"
8'-0"	4.00	138	0'-0" TO 3'-0"	10'-0"
6'-0"	3.00	104	0'-0" TO 3'-0"	10'-0"

**TABLE B 30" AUGER ANCHOR SPACING - DOUBLE WIDE**

SHED WIDTH	LW*	UPLIFT (PLF)	END ANCHOR**	MAX. INTERIOR SPACING***
20'-0"	10.00	400	0'-0" TO 3'-0"	5'-0"

\* LOAD WIDTH OF UPLIFT ON RUNNER  
 \*\* LOCATION FROM END WALL OF AUGER ANCHOR  
 \*\*\* MAXIMUM SPACING BETWEEN ANCHORS

- NOTES**
- ANCHOR SPACING IS DESIGNED AS PER ASCE-7.
  - ALL MEASUREMENTS ARE CENTER-TO-CENTER.
  - THE MINIMUM NUMBER OF ANCHORS PER SHED IS (4). (1) ANCHOR PER EACH CORNER. ADDITIONAL INTERIOR ANCHORS ARE REQUIRED IF SPACING IS MORE THAN 10'-0" BETWEEN ANCHORS.
  - ANCHORS SHALL BE ON SIDE WALLS EXCEPT WHEN THE SHED IS PLACED NEXT TO AN EXISTING BUILDING; IN WHICH ANCHORS CAN BE PLACED ON THE END WALLS AS CLOSE TO THE SIDE AS POSSIBLE.

**TABLE 3 SUPPORT FOOTING PAD SPACING FOR RUNNER BLOCKING FOR SINGLE & DOUBLE WIDE SHEDS**

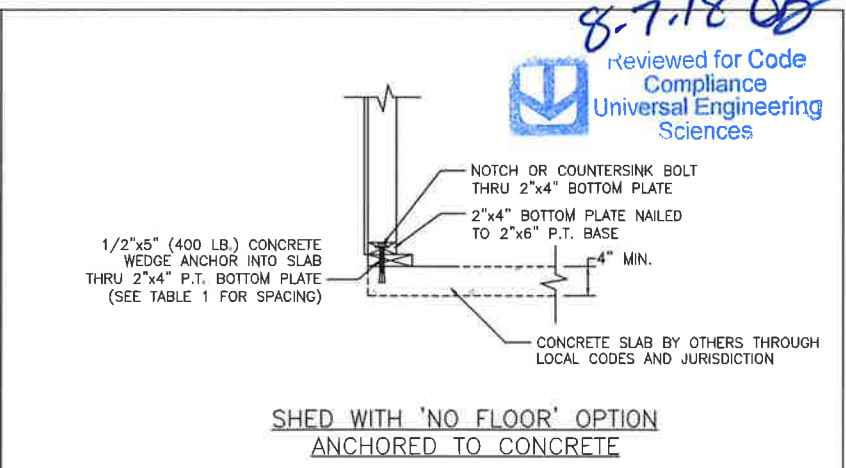
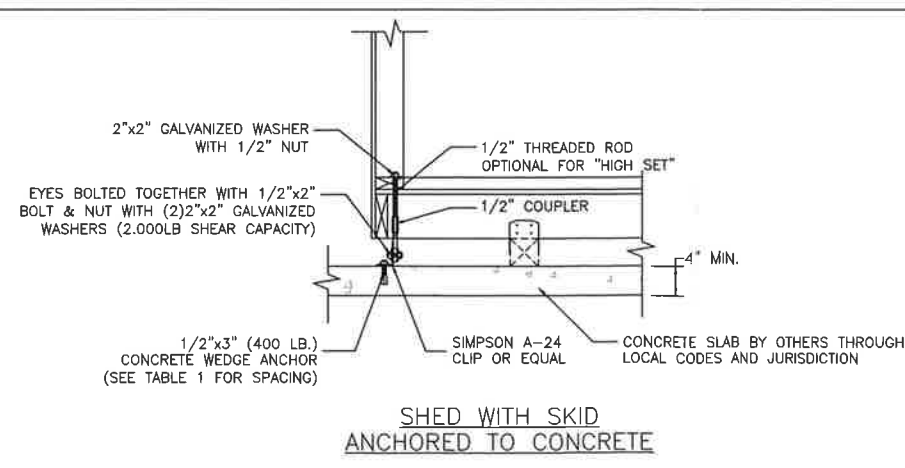
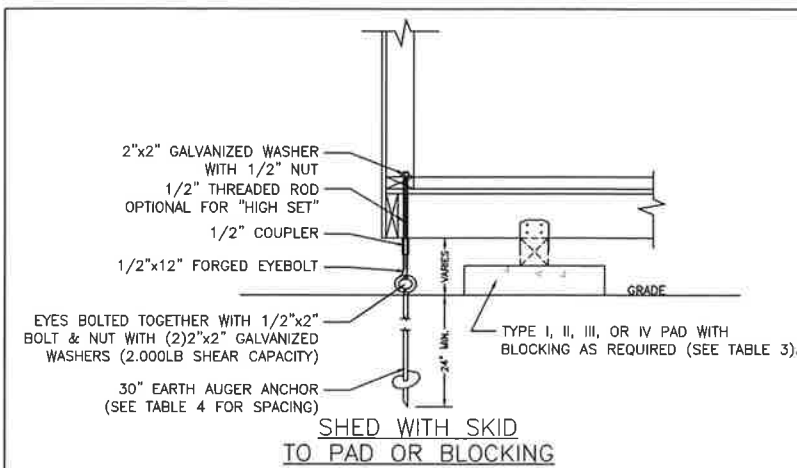
SHED DESCRIPTION		PAD		MAXIMUM LOAD AND PAD TYPE				
SHED WIDTH	TYPE	LW*(PLF)	END PAD	MAX. SPACING	END PAD	SIDE RUNNER PAD TYPE	INTERIOR PAD	SIDE RUNNER PAD TYPE
13'-8"	SW/DW	4.15/332	0" TO 6"	6'-0"	1936LB	I, II, III, OR IV	1879LB	I, II, III, OR IV
11'-8"	SW/DW	6.00/480	0" TO 6"	6'-0"	2558LB	I, II, III, OR IV	2558LB	I, II, III, OR IV
10'-0"	SW/DW	5.00/400	0" TO 6"	6'-0"	2400LB	I, II, III, OR IV	2400LB	I, II, III, OR IV
8'-0"	SW	4.00/320	0" TO 6"	6'-0"	2029LB	I, II, III, OR IV	2133LB	I, II, III, OR IV
6'-0"	SW	3.00/240	0" TO 6"	6'-0"	1658LB	I, II, III, OR IV	1866LB	I, II, III, OR IV

\* LOAD WIDTH OF UPLIFT ON RUNNER  
**NOTES**  
 1. PAD SPACING IS END TO CENTER OF PAD.  
 2. PADS OTHER THAN END PADS SPACING IS CENTER TO CENTER.  
 3. USE SAME MAXIMUM SPACING FOR INTERIOR SPACING.

TITLE: INSTALLATION GUIDE-SINGLE & DOUBLE WIDE SHEDS

Drawn By: **MTB**  
 Date: **4/26/16**  
 Scale: **N/A**  
 Model#: **ALL**

- GENERAL NOTES**
- FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION.
  - THIS BUILDING IS EXEMPT FROM THE FBC ENERGY CONSERVATION CODE PER SECTION 1015.22.
  - REFER TO TIE-DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE.



*8.7.18 OB*  
 Reviewed for Code Compliance  
 Universal Engineering Sciences

**TIE-DOWN DETAILS**

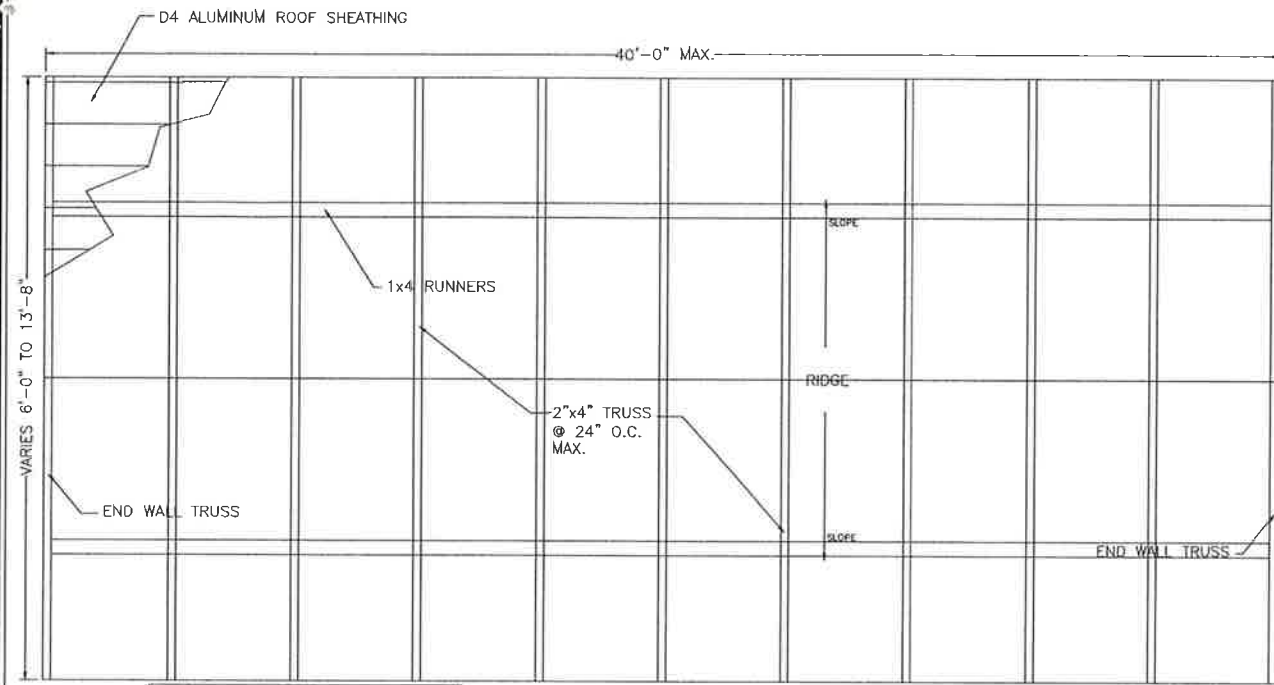
*AM*

1/18/18

Matthew T. Baldwin P.E.  
 Florida License #64608

Sheet: AD-1 OF 1





DESIGN PRESSURES	
ROOF	+27.8/-94.7
WALLS/DOORS/WINDOWS	+32.5/-29.2

ROOF FRAMING PLAN

### Side Wall Header Schedule (180C)

Size	Building Width Up to 14' Wide		Fasteners w/ strap (each end)
	Max. Span	NJ(b)	
1-4"x4"	6'-0"	0	3 - 3" x 0.131" nails
4"x4" w/2"x4"	8'-0"	1	6 - 3" x 0.131" nails

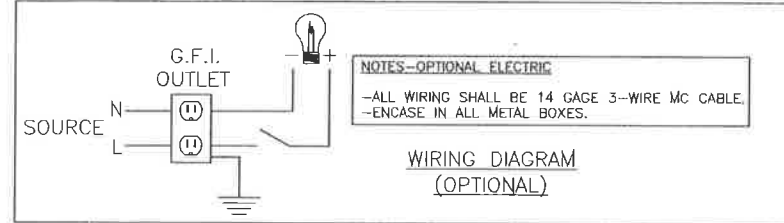
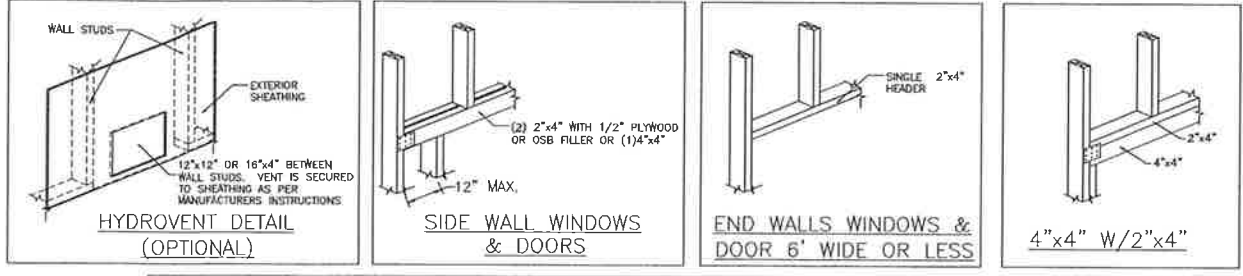
a. Tabulated values are for No. 2 grade Spruce-Pine-Fir lumber.  
 b. NJ - Number of jack studs required to support each end.  
 c. Window header for window openings that have more than 50% combined stud wall above and below, otherwise use door header schedule.  
 d. See header details for alternate layouts, i.e. 2-2"x4" or 4"x4" P.T.  
 e. The header can be attached to the top plate and thus have the combined strength equivalent and use the maximum span stated.

### End Wall Header Schedule (180C)

Size(d)	Max. Span	NJ(b)	Fasteners w/o strap (each end)(c)
1-2"x4"	6'-0"	0	4 - 3" x 0.131" nails
2-2"x4"(c)	9'-0"	0(d)	6 - 3" x 0.131" nails

a. Tabulated values are for No. 2 grade Spruce-Pine-Fir lumber.  
 b. NJ - Number of jack studs required to support each end.  
 c. Laid flat  
 d. No Jack studs, but 2x6 studs laid flat

\*NOTES  
 1. SEE FASTENER SCHEDULE FOR HARDWARE REQUIREMENTS.  
 2. SEE HEADER SCHEDULE FOR ADDITIONAL INFORMATION.  
 3. WINDOW HEADERS HAVE COMBINED 50% OR MORE WALL FRAMING ABOVE AND BELOW, OTHERWISE REFER TO DOOR HEADERS.



intertek  
 PSI  
 2018-01-18  
 Plans Review: Victor C. Martin, PE  
 FL PE #82979, LA PE #32017  
 LSUCCC #02436, TN PE #120939

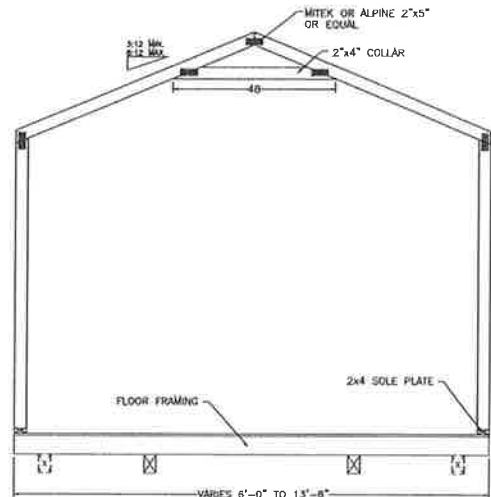


### CODE INFORMATION

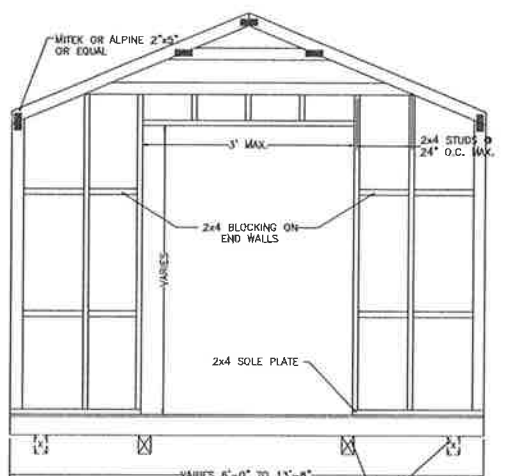
CODE VERSION	FBC 2017 6th Edition, ASCE-7, 2014 NEC
MANUFACTURER	SUPERIOR SHEDS
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	STORAGE
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	V <sub>W</sub> -180mph
EXPOSURE	C
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.15
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	30PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	STD. 75PSF - 125PSF OPT.
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

### REVISIONS

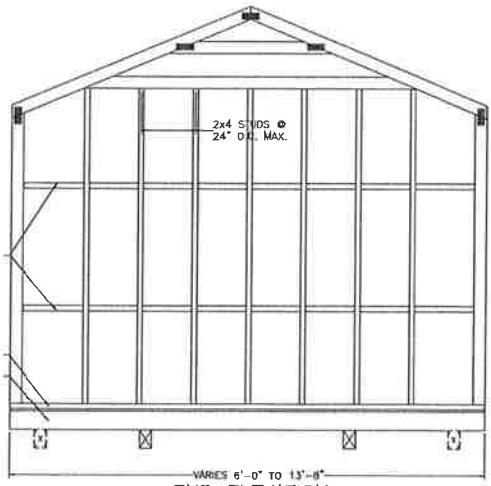
REV	DESCRIPTION	DATE	BY



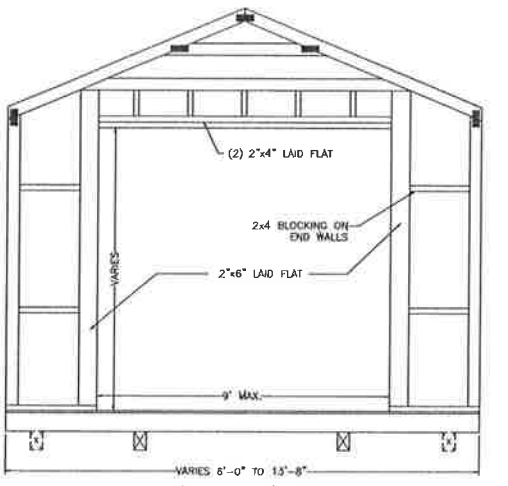
ELEVATION CROSS-SECTION TYPICAL ARCH FRAME



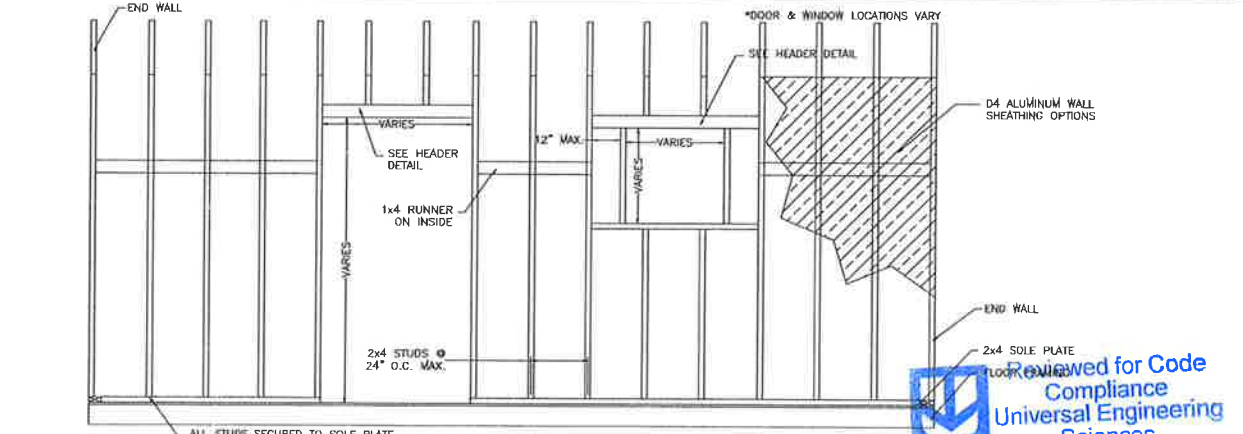
END ELEVATION WITH DOOR



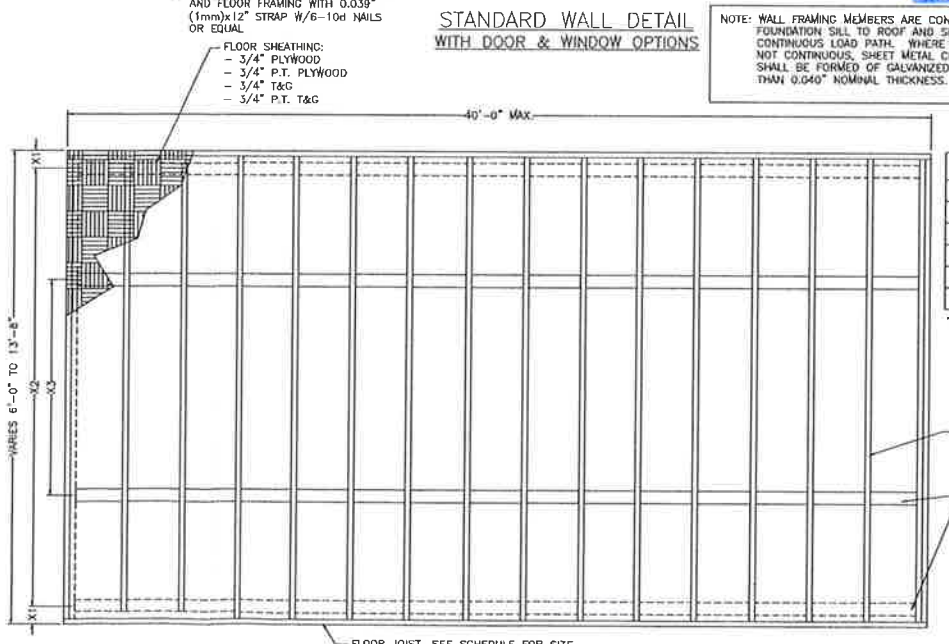
END ELEVATION WITHOUT DOOR



END ELEVATION WITH GARAGE DOOR (ONLY ON ENDWALL)



STANDARD WALL DETAIL WITH DOOR & WINDOW OPTIONS



FLOOR FRAMING PLAN

### TABLE 2 SKID RUNNER SPACING\*

SHED WIDTH	X1	X2	X3
13'-0"	1'-10"	1'-10"	1'-10"
11'-0"	2'-0"	0'-4"	-
10'-0"	1'-7"	0'-10"	-
8'-0"	0'-9"	0'-8"	-
6'-0"	0'-10"	0'-1"	-

\*ALLIES ARE FROM END OF JOIST TO CENTERS OF (2) 4"x4" SKIDS ONLY. 13'-0" WIDE SHEDS HAVE (4) SETS OF SKIDS.

TITLE: BUNGALOW - MASTER PLAN (SEE STATE PLANS ONLINE FOR COMPLETE SET)

Drawn By: MTB  
 Date: 12/12/17  
 Scale: N/A  
 Model#: SS-B-180CR1

GENERAL NOTES  
 1. FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION.  
 2. THIS BUILDING IS EXEMPT FROM THE FBC ENERGY CONSERVATION CODE PER SECTION 1015.22.  
 3. REFER TO THE-DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE.  
 4. ALL STUDS, RAFTERS, TRUSSES, ETC ARE 2x4 #2 SPF, EXCEPT AS NOTED.  
 5. STRUCTURES OVER 400 SQ. FT. WILL HAVE AN 80" MINIMUM DOOR.  
 6. GUTTERS TO BE INSTALLED ON-SITE BY OTHERS THRU LOCAL CODES.  
 7. ALL WINDOWS AND DOORS TO MEET THE MINIMUM SPECIFICATIONS AS PER FLORIDA BUILDING CODE.  
 8. FLAT METAL STRAPS CAN BE BENT AROUND STRUCTURAL MEMBERS OF WALL STUDS, TRUSSES, CHORDS, ETC TO HELP SECURE THESE MEMBERS; PROVIDED THAT THE ADDED BEND DOES NOT INTERFERE WITH ANY EXISTING BRAKES/BENDS IN THE STRAP.



Matthew T. Baldwin P.E.  
 Florida License #64608  
 Sheet: SSB-1 OF 1





Proposed shed  
location



Reviewed for Code  
Compliance  
Universal Engineering  
Sciences



# City of Belle Isle










Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811  
Tel 407-581-8161 \* Fax 407-581-0313 \* [www.universalengineering.com](http://www.universalengineering.com)

## OWNER BUILDER DISCLOSURE STATEMENT

Per Florida Statute 455.228:

**Homeowners hiring unlicensed Contractors may be subject a fine of up to \$5,000.00!**

Before me this day personally appeared James Rapel, who being duly sworn, deposes, and says as follows. "I hereby acknowledge that I have read and fully understand the individual provisions of this instrument."

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license  Initial
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.  Initial
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.  Initial
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000.00. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.  Initial
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction. Initial
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.  Initial
7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit, that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.  Initial
8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.  Initial
9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.  Initial
10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at (850)487-1395 or [www.Call.Center@dbpr.state.fl.us](mailto:www.Call.Center@dbpr.state.fl.us) for more information about licensed contractors.  Initial





Owner Builder Disclosure Statement

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

Project Address: 5298 Jade Cir Belle Isle FL 32812 JR Initial

12. I agree to notify the City of Belle Isle Building/Zoning Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. JR Initial

13. FBC 105.3.6 requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. JR Initial

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if any unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit. A copy of the property owner's driver's license, the notarized signature of the property owner, or other type of verification acceptable to the local permitting agency is required when the permit is issued.

Signature: [Signature] (Signature of the property owner) Print: James Raper (Name of the property owner)


Signature: \_\_\_\_\_ (Signature of the property owner) Print: \_\_\_\_\_ (Name of the property owner)

Owner's Address: 5298 Jade Cir Belle Isle, FL 32812

The foregoing instrument was acknowledged before me this 8 / 1 / 2018

by JAMES RAPER who is personally known to me / who produced the following R160 441 73 2540 as identification and who did not take an oath.

State of Florida / County of Orange

Notary Signature [Signature] Seal: 

**RICK SINGH, CFA - ORANGE COUNTY PROPERTY APPRAISER**

[Searches](#)
[Sales Search](#)
[Results](#)
[Property Record Card](#)
[My Favorites](#)
[Sign up for e-Notify...](#)

**5298 Jade Cir** < 20-23-30-4395-00-160 >

Name(s)  
 Raper James A Jr  
 Raper Heather  
 Mailing Address On File  
 5298 Jade Cir  
 Belle Isle, FL 32812-2102  
 Incorrect Mailing Address?

Physical Street Address  
 5298 Jade Cir  
 Postal City and Zipcode  
 Orlando, FL 32812  
 Property Use  
 0103 - Single Fam Class III  
 Municipality  
 Belle Isle



302320439500160 08/24/2006

**View 2017 Property Record Card**

[Property Features](#)
[Values, Exemptions and Taxes](#)
[Sales Analysis](#)
[Location Info](#)
[Market Stats](#)
[Update Information](#)

**2018 values will be available in August of 2018.**

**Property Description**

LAKE CONWAY SHORES 7/50 LOT 16

**View Plat**

**Total Land Area** 12,956 sqft (+/-) | 0.30 acres (+/-) GIS Calculated Notice

**Land**

Land Use Code	Zoning	Land Units	Unit Price	Land Value	Class Unit Price	Class Value
0100 - Single Family	R-1-AA	1 LOT(S)	working...	working...	working...	working...

Page 1 of 1 (1 total records)

**Buildings**

Important Information		Structure
<b>Model Code:</b>	01 - Single Fam Residence	<b>Actual Year Built:</b> 1978 <b>Gross Area:</b> 3056 sqft





# UNIVERSAL ENGINEERING SCIENCES

Consultants In: Geotechnical Engineering • Environmental Sciences  
Geophysical Services • Materials Testing • Threshold Inspection  
Building Code Administration, Compliance Inspection & Plan Review

3532 Maggie Blvd, Orlando, FL 32811 - P: 407.423.0504 - F: 407.423.3106

Work Order No. 118867

## Inspection Report

Project Name: 5298 Jade Circle ~ COBI  
Address: 5298 Jade Circle ~ COBI, Belle Isle, Orange County, FL  
Client: City of Belle Isle  
ProjectNo.: 0115.1700096.0000-0115-004

Date: 08/07/2018 Any any  
Permit No: 2018-08-007  
Lot No.:  
Contact: Susan Manchester at 407 581 8161

Scope of Inspection: REVIEW building app for shed

Inspection Type:

## Disposition of Inspection:

Comments:

*Approved*

I hereby affirm that to the best of my knowledge and belief, the above listed inspection was performed as indicated and the work was reviewed for compliance with the approved plans, and all pertinent sections of the Florida Building Code.

Inspector: Dale Baker, BN 3927

*Dale Baker*

*Hi Frank -  
please type the permit card &  
then put in Dale's Box for review*

*Frank*