

Susan Manchester

2520 Homewood

From: April Fisher <aprilfisher73@gmail.com>  
Sent: Tuesday, October 8, 2019 12:20 PM  
To: Jenna G.  
Cc: Susan Manchester; CobiPermits  
Subject: Re: 2520 Homewood Dr - Guest House permit 2019-10-004 is denied - Pro Team P&D

200K Cabana

2019-10-004

Sorry Jenna, I had this one confused with another application. I did speak with Angel about 2520 Homewood. No, we did not talk about tweaking the plans to remove the word "cottage". It still functions the same per Belle Isle Code. I did discuss with Angel that there is incorrect ISR and setback data on the plans, the dock can not be shown since it is a different permitting process, and that a special exception would be required by the Planning and Zoning Board. It is a separate application made to the City Clerk to include a narrative of what is being requested, consistent with City Code. Here is a link to the

Code: [https://library.municode.com/fl/belle\\_isle/codes/code\\_of\\_ordinances?nodeId=SPBLADECO\\_CH42ADEN\\_ARTIIIVASPEXCH](https://library.municode.com/fl/belle_isle/codes/code_of_ordinances?nodeId=SPBLADECO_CH42ADEN_ARTIIIVASPEXCH)

You will also need to include 10 sets of the plan showing the requested guest cottage and details of it's size, etc. A second kitchen is not allowed per code. This application is submitted to the City Clerk and then when determined a complete application can be scheduled for the Planning and Zoning Board. The Board meets the fourth Tuesday of the month. A 30-60 day process is typical. The next possible hearing date would be November 26th if the Board holds a meeting in November but they typically do not. So it may not be until December or January for the next meeting.

Thank you,

April

Zoning  
DENIED  
ID  
1-15-20

April Fisher, AICP  
Fisher Planning and Development Services  
407-494-8789

On Tue, Oct 8, 2019 at 11:59 AM April Fisher <aprilfisher73@gmail.com> wrote:

This application has already been before the Board for a special exception application and was approved per the following which must be complied with. A guest cottage was what was requested on the special exception application and what was approved. Here are the conditions of the special exception approval that was granted by the Board:

After discussion, Board member Shenefelt moved the criteria of Section 42-63 and 54-75 (c)(5) of the Belle Isle Land Development Code having been met TO APPROVE the special exception to allow conversion of an of a previously permitted storage shed to become what the land development code defines as a guest cottage on a single-family residential property with a primary detached single-family dwelling submitted by applicant Josh Brown, located at 2705 Nela Avenue, Belle Isle, FL 32809 also known as Parcel # 19-23-30-5888-03-060 with the following conditions;

1. The guest cottage shall be used exclusively for housing members of the family occupying the principal building and their nonpaying guests, such quarters shall have no kitchen facilities and shall not be rented or otherwise used as a separate dwelling;
2. The plans shall be revised to remove the kitchen facilities before submitting for building permitting;
3. The guest cottage must be maintained in a functional and aesthetically pleasing manner so as not to impact the public interest adversely; and,

2019-11-045

Thank you,

*Susan Manchester*

Permit Administration for the City of Belle Isle

Building Inspections and

Code Compliance Department

407-423-0504 X23309 or 407-581-8161 option permits

**E-mail:** [smanchester@universalengineering.com](mailto:smanchester@universalengineering.com)

**Website:** [www.universalengineering.com](http://www.universalengineering.com)



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**UNIVERSAL ENGINEERING SCIENCES, INC.**

3532 Maggie Blvd. | Orlando, FL 32811

Tel: (407) 423-0504 | Fax: (407) 423-3106

## Susan Manchester

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**From:** April Fisher <aprilfisher73@gmail.com>  
**Sent:** Monday, September 30, 2019 12:02 PM  
**To:** Susan Manchester  
**Cc:** CobiPermits; Yolanda Quiceno; Heidi Peacock (hpeacock@belleislefl.gov)  
**Subject:** Re: 2520 Homewood Dr - zoning for guest house 2019-10-004 - Pro Team P&D

Hi Susan, you are correct. Based on the land development code, it is not allowed. A guest cottage requires a special exception approved by the Planning and Zoning Board and the second kitchen is prohibited by code.

Thank you,

April

April Fisher, AICP  
Fisher Planning and Development Services  
407-494-8789

On Mon, Sep 30, 2019 at 8:29 AM Susan Manchester <[SManchester@universalengineering.com](mailto:SManchester@universalengineering.com)> wrote:

Hi April,

I am pretty sure this won't be allowed – but I still have to submit it. The contractor refers to it as a “cabana” on the app - but the plans call it a guest house.

Thank you,

*Susan Manchester*

Permit Administration for the City of Belle Isle

Building Inspections and

Code Compliance Department

407-423-0504 X23309 or 407-581-8161 option permits

## Susan Manchester

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**From:** Susan Manchester  
**Sent:** Monday, September 30, 2019 1:04 PM  
**To:** Jenna G.  
**Cc:** CobiPermits; April Fisher  
**Subject:** 2520 Homewood Dr - Guest House permit 2019-10-004 is denied - Pro Team P&D

Hello Jenna.

I submitted your app for zoning approval. It has been denied by April Fisher of the Planning and Development Services.

Although the scope of work is described as a “cabana” on the app – the plans refer to the structure as a guest cottage. A guest cottage requires a special exception approved by the Planning and Zoning Board and the second kitchen is prohibited by code. I have cc’d April Fisher in on this email. You may direct any questions you may have to her via email regarding applying for consideration of a variance after the plans are modified to remove the kitchen.

Thank you,

*Susan Manchester*

Permit Administration for the City of Belle Isle  
Building Inspections and  
Code Compliance Department  
407-423-0504 X23309 or 407-581-8161 option permits  
E-mail: [smanchester@universalengineering.com](mailto:smanchester@universalengineering.com)  
Website: [www.universalengineering.com](http://www.universalengineering.com)



**UNIVERSAL ENGINEERING SCIENCES, INC.**  
3532 Maggie Blvd. | Orlando, FL 32811  
Tel: (407) 423-0504 | Fax: (407) 423-3106



# City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811  
Tel 407-581-8161 \* Fax 407-581-0313 \* [www.universalengineering.com](http://www.universalengineering.com)

RECEIVED  
SEP 30 2019

## Building / Land Use Permit Application

DATE: 9/13/2019 2520 Homewood Dr. PERMIT # 2019-10-004  
PROJECT ADDRESS 2520 Homewood Drive, Belle Isle, Florida 32809, Belle Isle, FL X 32809 32812  
PROPERTY OWNER Mark Allen Jones and Jessica M. Jones Jones PHONE 321.295.6572 VALUE OF WORK (labor & material) \$ 200,000

### PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

Add 300sqft Cabana,

Please provide information, if applicable.

- SINGLE FAMILY RESIDENCE:** 8.5"x11" Plat Survey, Plot Plan of Home and Floor Plans of New Construction/Revision Required
- BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- SEPTIC SYSTEM (RESIDENTIAL):** - Provide verification of OC Health Dept approval for on-site septic tank system, per FAC Chap. 64E-6
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 19-23-30-5888-06-122

To obtain this information, please visit <http://www.ocpaffl.org/Searches/ParcelSearch.aspx>

**SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCROACH INTO ANY EASEMENT OR REQUIRED SETBACK.** Survey specific foundation plan required to show compliance with zoning setbacks. Note: this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

Wind Exposure Category: B    C    D   

PLANNING & ZONING APPROVAL: \_\_\_\_\_  
DATE \_\_\_\_\_

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)

CONSTRUCTION TYPE \_\_\_\_\_  
 OCCUPANCY GROUP    Comm Res:    yes    Single Fam    Multi Fam  
 #BLDG.    #UNITS    #STORIES    1 TOTAL SQ.FT.    300  
 MAX. FLOOR LOAD \_\_\_\_\_ MAX. OCCUPANCY \_\_\_\_\_  
 MIN. FLOOD ELEV. \_\_\_\_\_ LOW FLOOR ELEV. \_\_\_\_\_  
 WATER SERVICE \_\_\_\_\_ WELL \_\_\_\_\_ SEPTIC    yes

BUILDING REVIEWER \_\_\_\_\_ DATE \_\_\_\_\_

VERIFIED CONTRACTOR'S LICENSE & INSURANCE ARE ON FILE \_\_\_\_\_ DATE \_\_\_\_\_

#### Per FSS 105.3.3:

An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC. UTIK

199x4  
25  
296  
821 ÷ 2  
410.50  
1231.50

SPRINKLERS REQ'D	Y	N	no
If Required - SUBMIT COPY OF PLANS FOR FIRE REVIEW			
REVIEW	Date: Sent	RCD	
ZONING	<u>Y</u>	N	<u>\$65.-</u>
CERT OF OCC	Y	N	\$
TRAFFIC	Y	N	\$
SCHOOL	Y	N	\$
FIRE	Y	N	\$
SWIMMING POOL	Y	N	\$
SCREEN ENCLOSURE	Y	N	\$
ROOFING	Y	N	\$
BOAT DOCK	<u>Y</u>	N	\$
BUILDING	<u>Y</u>	N	<u>\$1231.50</u>
WINDOW(S)	Y	N	\$
DOOR(S)	Y	N	\$
FENCE	Y	N	\$
SHED	Y	N	\$
DRIVEWAY	Y	N	\$
OTHER	Y	N	\$

1% BCAIB FEE

1.5% DCA FEE

TOTAL

#### OTHER PERMITS REQUIRED:

ELECTRICAL	Y	<u>NA</u>
PREPOWER	Y	<u>NA</u>
MECHANICAL	Y	<u>NA</u>
PLUMBING	Y	<u>NA</u>
ROOFING	Y	<u>NA</u>
GAS	Y	<u>NA</u>

12-32  
18.47  
1427.29



City of Belle Isle  
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811  
 Tel 407-581-8161 \* Fax 407-581-0313 \* [www.universalengineering.com](http://www.universalengineering.com)

RECEIVED  
 SEP 30 2019  
 BY: \_\_\_\_\_

**Building Permit (Land Use) Application**  
 To be completed as required by State Statute Section 713 and other applicable sections.

PERMIT # 2019-10-004

Owner's Name Mark Allen Jones and Jessica M. Jones

Owner's Address 2520 Homewood Drive, Belle Isle, Florida 32809

Contractor Name <u>Keith Smith</u>	Company Name <u>ProTeam P&amp;D LLC</u>
License # <u>CGC1525330</u>	Company Address <u>747 Clifford Drive</u>
Contact Phone/Cell <u>321.295.6572</u>	City, State, ZIP <u>Orlando, FL 32804</u>
Contact Email <u>ksmith7047@gmail.com</u>	Contact Fax _____

**WARNING TO OWNER:** Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations ([www.floridabuilding.org](http://www.floridabuilding.org)) and City Ordinances ([www.municode.com](http://www.municode.com)) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ROOFING, ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, SCREEN ENCLOSURES, ETC.

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner Signature [Signature]  
 The foregoing instrument was acknowledged before me this 9/26/19  
 by Mark Jones who is personally known to me  
 and who produced License  
 as identification and who did not take an oath.  
 Notary as to Owner  
 State of Florida  
 County of Orange  
[Signature] Eugenia Gomez  
 Notary Public State of Florida  
 Eugenia Gomez  
 My Commission GG 293870  
 Expires 01/22/2023

Contractor Signature [Signature]  
 COMPANY NAME ProTeam P&D  
 The foregoing instrument was acknowledged before me this 9/27/19  
 by Keith Smith who is personally known to me  
 and who produced license  
 as identification and who did not take an oath.  
 Notary as to Owner  
 State of Florida  
 County of Orange  
[Signature]  
 Notary Public State of Florida  
 Eugenia Gomez  
 My Commission GG 293870  
 Expires 01/22/2023

**Impervious Surface Ratio Worksheet**  
 Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per City Code, Section 50-74: Impervious Surface Ratio

- Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).  
 Total Lot Area 29,387 X 0.35 = 10,285  
 Allowable Impervious Area (BASE) 10,285
- Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc.
  - House 3,444 sqft
  - Driveway 1,310
  - Walkway NA
  - Accessory Buildings \_\_\_\_\_
  - Pool & Spa \_\_\_\_\_
  - Deck & Patio \_\_\_\_\_
  - Other proposed cabana
 Actual Impervious Area (AIA) 7823 sqft (see cover sheet of plans)
- If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.
- If AIA is greater than BASE, then onsite retention must be provided.

Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed



Keith Smith <ksmith7047@gmail.com>

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## Jones property

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Angel Lopez Olijnyk <angel@ksarchitect.net>  
To: Keith Smith <ksmith7047@gmail.com>

Fri, Sep 27, 2019 at 12:50 PM

Good morning Keith and Jenna,

All this information is in the cover sheet of the plans. I have attached a screenshot of it.

Please let me know if you have any questions.

Best,

### AREA CALCULATIONS

EXISTING RESIDENCE:	3,444	SF
GUEST COTTAGE:	384	SF
DRIVEWAY	1,340	SF
POOL DECK	2,231	SF
POOL+SPA	444	SF

<b>TOTAL IMPERVIOUS AREAS</b>	<b>7,823</b>	<b>SF</b>
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TOTAL SITE AREA:	29,387	SF
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TOTAL LOT COVERAGE: (SITE AREA/ TOTAL IMPERVIOUS AREA)	26.6%
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BASE IMPERVIOUS SURFACE RATIO:	35%
MAXIMUM IMPERVIOUS SURFACE RATIO:	65%



[Quoted text hidden]

[Quoted text hidden]

Sent from my iPhone

Permit Number: 2019-10-004  
 Folio/Parcel Identification Number: \_\_\_\_\_  
 Prepared by: \_\_\_\_\_  
 Return to: \_\_\_\_\_

DOCH 20190605172  
 09/27/2019 11:08:24 AM Page 1 of 1  
 Rec Fee: \$10.00  
 Phil Diamond, Comptroller  
 Orange County, FL  
 IP - Ret To: PRO TEAM P & D LLC



**NOTICE OF COMMENCEMENT**

State of Florida, County of Orange

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property (legal description of the property, and street address if available)  
2520 Homewood Drive, Belle Isle FL 32809
2. General description of improvement  
Adding 300sqft cabana
3. Owner information or Lessee information if the Lessee contracted for the improvement  
 Name Mark Jones + Jessica Jones  
 Address 2520 Homewood Drive, Belle Isle FL 32809  
 Interest in Property Fee Simple  
 Name and address of fee simple titleholder (if different from Owner listed above)  
 Name \_\_\_\_\_  
 Address \_\_\_\_\_
4. Contractor  
 Name ProTeam P & D, LLC Telephone Number 321-295-6572  
 Address 747 Clifford Drive, Orlando FL 32804
5. Surety (if applicable, a copy of the payment bond is attached)  
 Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
 Address \_\_\_\_\_ Amount of Bond \$ \_\_\_\_\_
6. Lender  
 Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
 Address \_\_\_\_\_
7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by §713.13(1)(a)7, Florida Statutes.  
 Name Kevin Smith Telephone Number 321-295-6572  
 Address 747 Clifford Dr, Orlando FL 32804
8. In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in §713.13(1)(b), Florida Statutes.  
 Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
 Address \_\_\_\_\_
9. Expiration date of notice of commencement (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified) \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated in it are true to the best of my knowledge and belief.

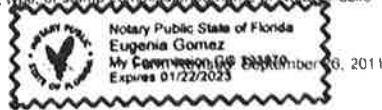
Jessica Jones Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Partner/Manager  
 \_\_\_\_\_ Signatory's Title/Office

The foregoing instrument was acknowledged before me this 27 day of 9 by Jessica Jones  
 month/year name of person

as owner for \_\_\_\_\_  
 Type of authority, e.g., officer, trustee, attorney in fact Name of party on behalf of whom instrument was executed

Signature of Notary Public, State of Florida \_\_\_\_\_  
 Print, type, or stamp commissioned name of Notary Public

Personally Known  OR Produced ID \_\_\_\_\_  
 Type of ID Produced \_\_\_\_\_



State of FLORIDA, County of ORANGE  
 I hereby certify that this is a true copy of the document as recorded in the Official Records  
 PHIL DIAMOND, COUNTY COMPTROLLER  
 BY: Campson D.C.  
 DATED: 9-27-19





### Employer Detail Page

This database was last updated Tuesday, September 17, 2019 12:10 AM.

Carrier Location Information

[Return to Search Page](#)

Employer Information		
Employer Name	Employer Type	NAICS Code
PROTEAM P & D LLC	LIMITED LIABILITY CO	NA

Coverage History
No Coverage History

Exemption Listings
Exemption Holder Name - Click on the name(s) below to view more detailed information
KEITH T SMITH

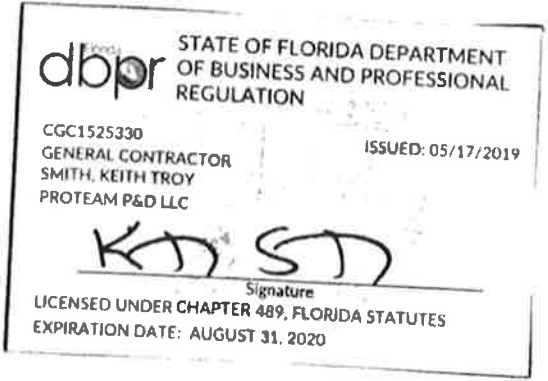
  

Owner Election Listings
No Owner Election of Coverage Listings

Employer Name History		
Employer Name	Name Type	Change Date
PROTEAM P & D LLC	Legal	Current

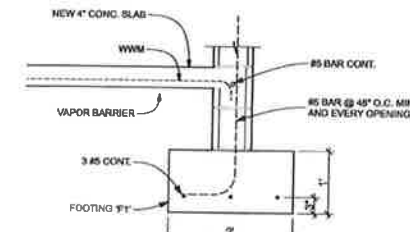
[Return to Search Page](#)



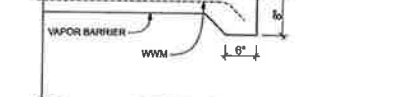




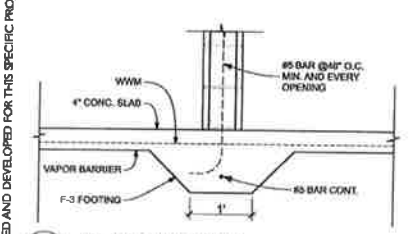




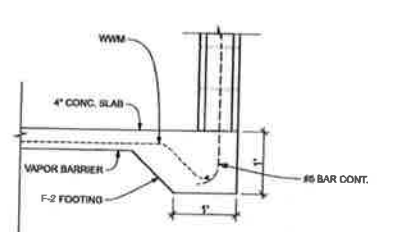
**11 F - 1 FOOTING**  
SCALE: 3/4" = 1'-0"



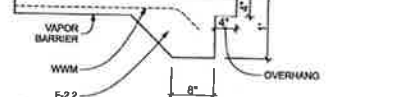
**7 F - 2.1 FOUNDATION**  
SCALE: 3/4" = 1'-0"



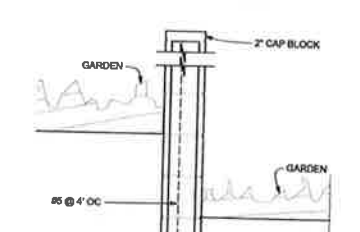
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SCALE: 3/4" = 1'-0"



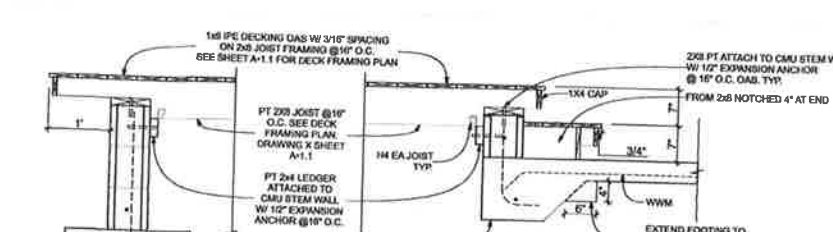
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SCALE: 3/4" = 1'-0"



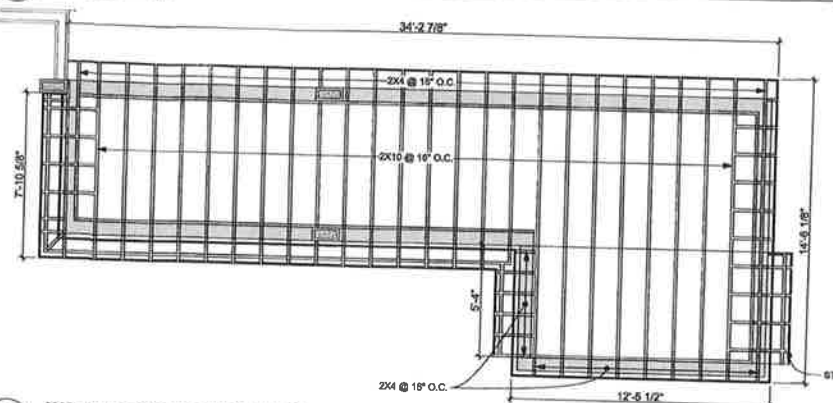
**6 F - 2.2 FOUNDATION**  
SCALE: 3/4" = 1'-0"



**9 TYP. GARDEN WALL DETAIL**  
SCALE: 3/4" = 1'-0"



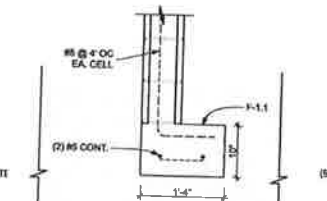
**8 DECK FRAMING CONNECTION DETAIL**  
SCALE: 3/4" = 1'-0"



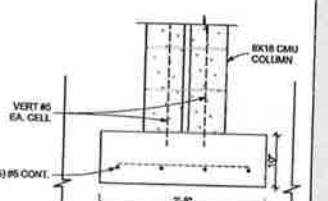
**3 WOOD DECK FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

**NOTES SLAB PLAN**

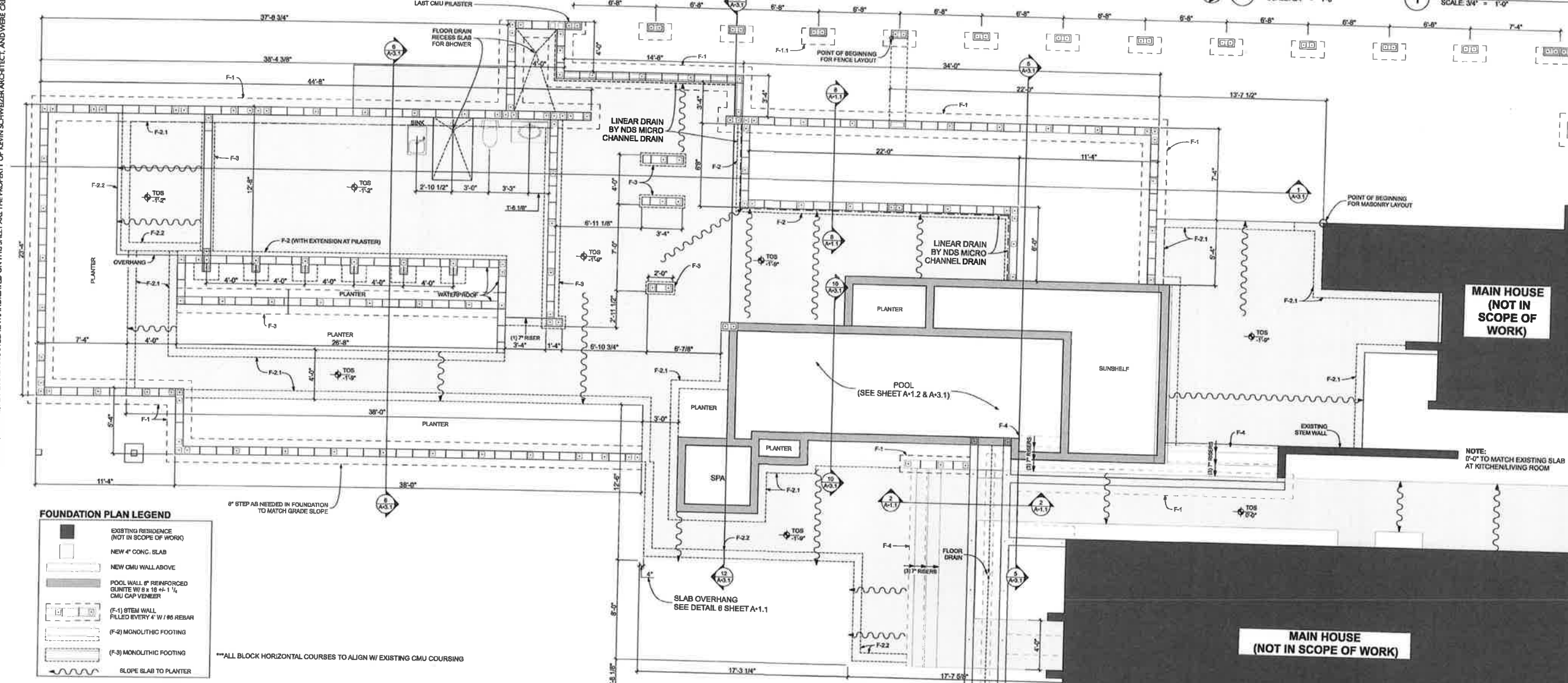
- SEE SLAB PLAN FOR FIRST FLOOR REBAR PLACEMENT, SIZE, AND SPACING - SHEET A-1.1
- 5 MIL PLASTIC VAPOR BARRIER HAS OVER COMPACTED TERMITES TREATED FILL
- VERIFY ALL DIMENSIONS WITH ARCHITECT PRIOR TO EACH POUR
- ALL STRUCTURAL SLAB CONCRETE TO BE 6000 PSI
- FORMS, OR RE-SHORING, REQUIRED UNTIL CONCRETE ACHIEVES FULL DESIGN STRENGTH
- QUALITY CURING CONDITIONS ARE TO BE MAINTAINED UNTIL THE CONCRETE HAS ACHIEVED FULL DESIGN STRENGTH
- UPPER SLABS TO BE SUPPORTED ALL THE WAY TO THE GROUND UNTIL THE CONCRETE HAS ACHIEVED ITS FULL DESIGN STRENGTH
- 2 #5 EACH SIDE OF OPENING AND 3 #5 ALL CORNERS ALL LEVELS FOR ICF WALLS
- CONCRETE & REINFORCING STEEL:
  - FOOTING CONCRETE TO BE 3,000 PSI SLAB
  - CONCRETE TO BE 6,000 PSI
  - COLUMN CONCRETE TO BE 5,000 PSI
  - CONCRETE PROPORTIONING, PLACING, FINISHING AND CURING SHALL BE AS PER THE LATEST EDITION OF THE PCU MANUAL.
  - REINFORCING BARS SHALL BE NEW GRADE 615 DEFORMED STEEL.
  - ARRANGEMENT AND BENDING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI DETAILING MANUAL.
  - WHERE REINFORCING BARS ARE SHOWN AS CONTINUOUS, LAP BARS A MINIMUM OF 48 BAR DIAMETER OR 30 BAR DIAMETERS FOR TENSION AND COMPRESSION SPLICES, RESPECTIVELY (12" MINIMUM), UNLESS NOTED OTHERWISE, PROVIDE SUITABLE WIRE SPACERS, CHAIRS, TIES, ETC., FOR SUPPORT OF REINFORCING STEEL IN THE PROPER POSITION WHILE PLACING THE CONCRETE.
  - SEE THE DRAWINGS FOR CONCRETE COVER FOR REINFORCING STEEL, BUT IN NO CASE SHALL THE COVER BE LESS THAN REQUIRED BY AC308.
- DOWEL VERTICAL REINFORCING BARS OUT OF THE FOUNDATION WITH BARS OF THE SAME SIZE AND SPACING AS IN THE WALL ABOVE.
- SLOPE ALL EXTERIOR SLABS TO PLANTERS AS INDICATED ON FOUNDATION/SLAB PLAN TO AVOID PONDING



**2 F-1.1 FOUNDATION**  
SCALE: 3/4" = 1'-0"



**1 F-1.1 FOUNDATION**  
SCALE: 3/4" = 1'-0"



**FOUNDATION PLAN LEGEND**

	EXISTING RESIDENCE (NOT IN SCOPE OF WORK)
	NEW 4" CONC. SLAB
	NEW CMU WALL ABOVE
	POOL WALL 6" REINFORCED GUNITE W/ #1 @ 16" + 1 1/4" CMU CAP VENEER
	(F-1) STEM WALL FILLED EVERY 4" W/ #6 REBAR
	(F-2) MONOLITHIC FOOTING
	(F-3) MONOLITHIC FOOTING
	SLOPE SLAB TO PLANTER

**FOUNDATION / SLAB PLAN**  
SCALE: 1/4" = 1'-0"

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**KEVIN SCHWEIZER ARCHITECT**  
CORAL DESIGN & PLANNING INC.  
145 CANAL STREET  
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**JONES RESIDENCE REMODEL**  
NILS M. SCHWEIZER ORIGINAL - 1965  
2520 HOMEWOOD DRIVE,  
BELLE ISLE, FLORIDA 32809

FOUNDATION SLAB / SLAB PLAN

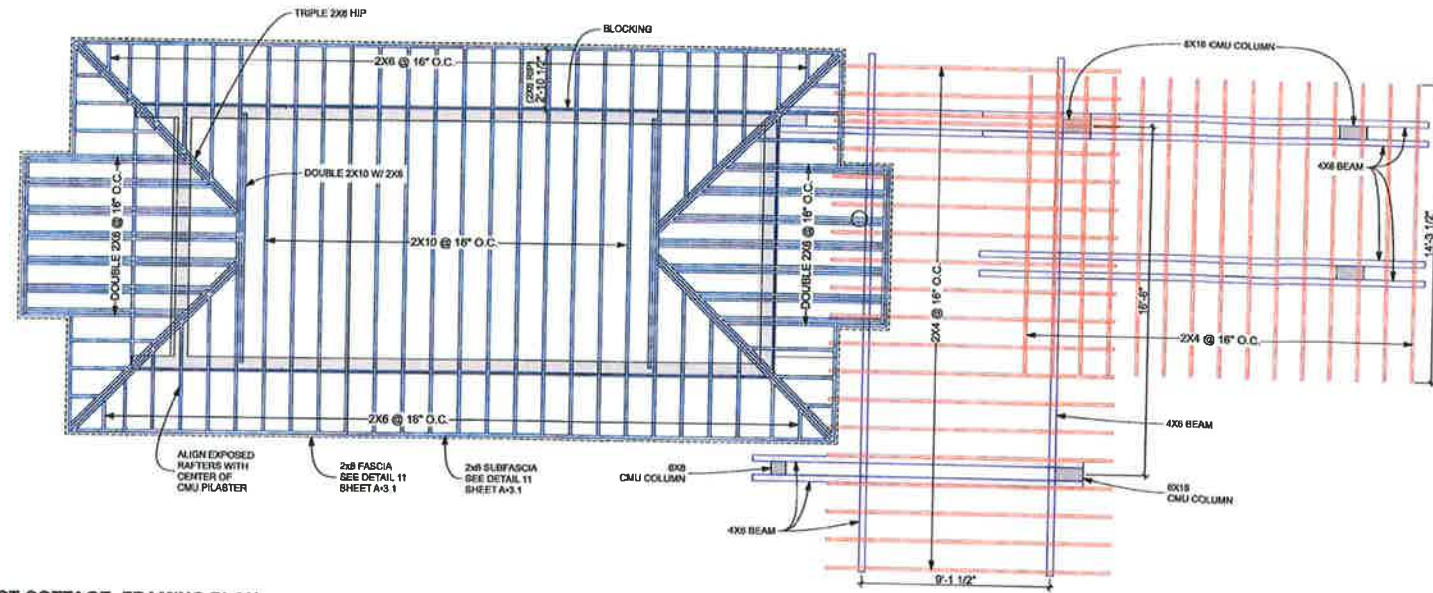
SEPTEMBER 10, 2019

SHEET NUMBER  
**A-1.1**

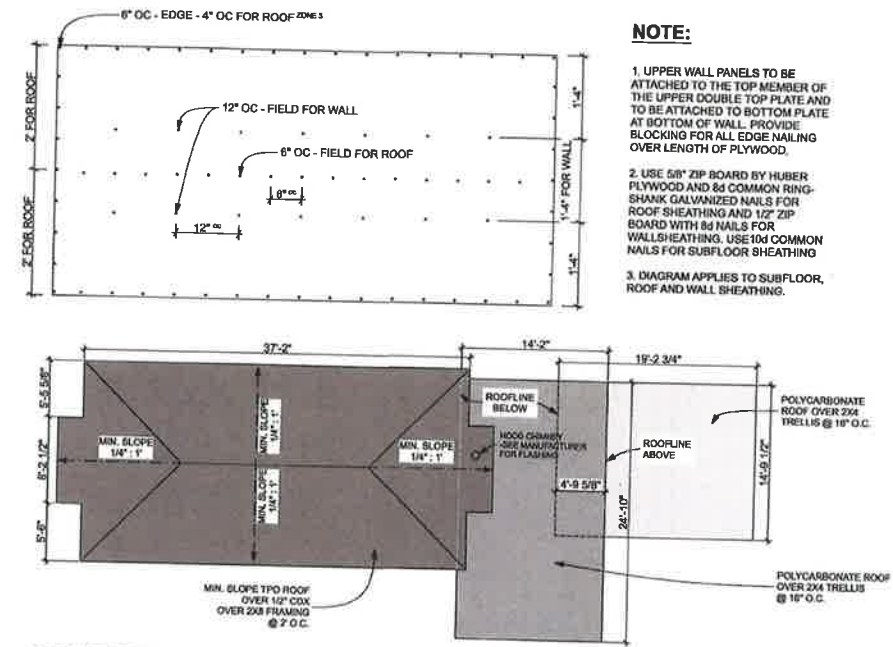
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7/10/19

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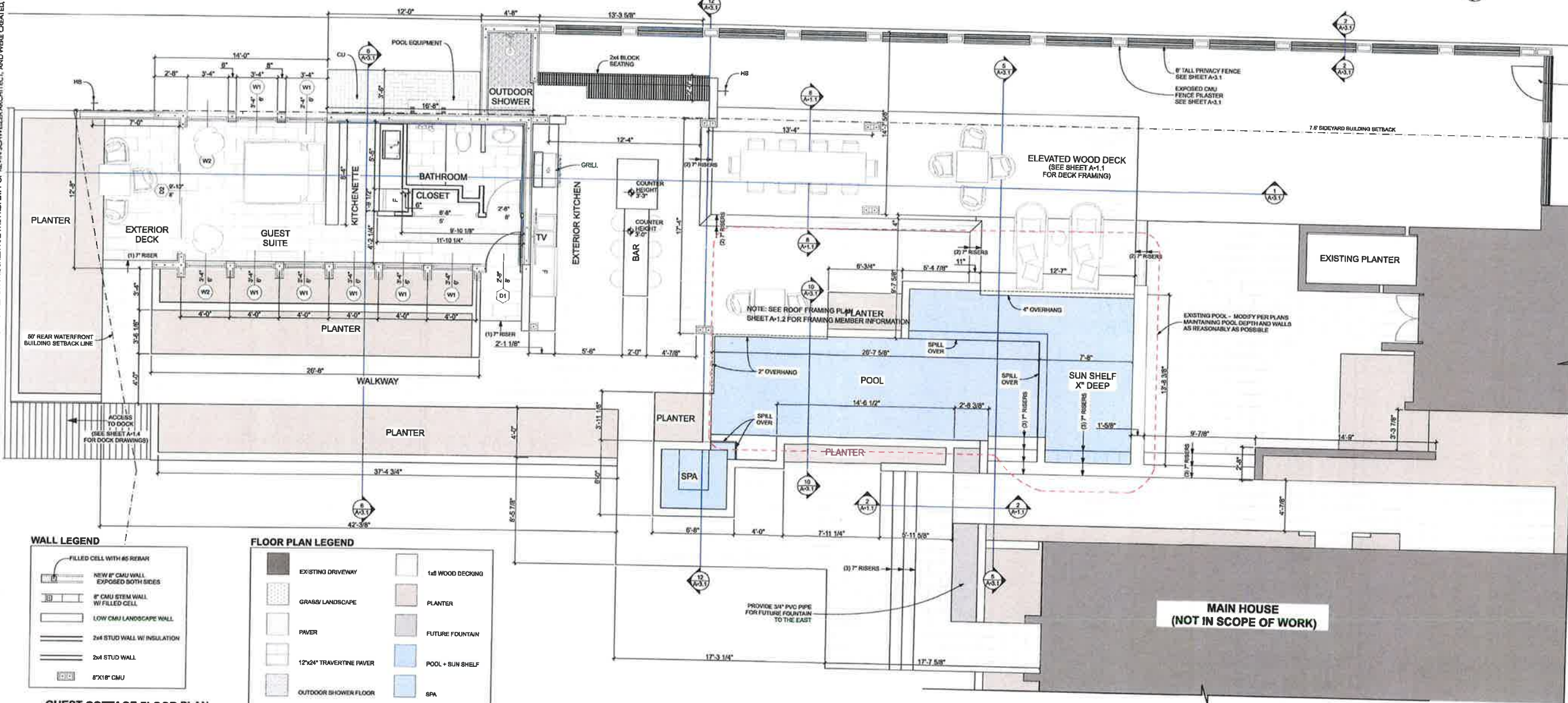


**GUEST COTTAGE FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**GUEST COTTAGE ROOF PLAN**  
SCALE: 1/8" = 1'-0"

- NOTE:**
- UPPER WALL PANELS TO BE ATTACHED TO THE TOP MEMBER OF THE UPPER DOUBLE TOP PLATE AND TO BE ATTACHED TO BOTTOM PLATE AT BOTTOM OF WALL. PROVIDE BLOCKING FOR ALL EDGE NAILING OVER LENGTH OF PLYWOOD.
  - USE 5/8" ZIP BOARD BY HUBER PLYWOOD AND 8d COMMON RING-SHANK GALVANIZED NAILS FOR ROOF SHEATHING AND 12" ZIP BOARD WITH 8d NAILS FOR WALL SHEATHING. USE 1d COMMON NAILS FOR SUBFLOOR SHEATHING.
  - DIAGRAM APPLIES TO SUBFLOOR, ROOF AND WALL SHEATHING.



**WALL LEGEND**

[Symbol]	FILLED CELL WITH #5 REBAR
[Symbol]	NEW 8" CMU WALL EXPOSED BOTH SIDES
[Symbol]	8" CMU STEM WALL W/ FILLED CELL
[Symbol]	LOW CMU LANDSCAPE WALL
[Symbol]	2x4 STUD WALL W/ INSULATION
[Symbol]	2x4 STUD WALL
[Symbol]	8"x18" CMU

**FLOOR PLAN LEGEND**

[Symbol]	EXISTING DRIVEWAY	[Symbol]	1x6 WOOD DECKING
[Symbol]	GRASS/ LANDSCAPE	[Symbol]	PLANTER
[Symbol]	PAVER	[Symbol]	FUTURE FOUNTAIN
[Symbol]	12"x24" TRAVERTINE PAVER	[Symbol]	POOL + SUN SHELF
[Symbol]	OUTDOOR SHOWER FLOOR	[Symbol]	SPA

**GUEST COTTAGE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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NILS M. SCHWEIZER ORIGINAL - 1965  
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BELLE ISLE, FLORIDA 32809

FLOOR PLAN / FRAMING PLAN / ROOF PLAN

SEPTEMBER 10, 2016

SHEET NUMBER

**A-1.2**

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FLORIDA REGISTERED ARCHITECT  
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**2 GUEST COTTAGE MECH / RCP PLANS**  
SCALE: 1/4" = 1'-0"



**HVAC LEGEND**

ID	DESCRIPTION
	EXHAUST FAN
	EXHAUST DUCT
	AC SIDEWALL SUPPLY
	AC RETURN DUCT - R6 MIN.
	AC SUPPLY DUCT - R6 MIN.
	MINI SPLIT AHU IN DROP SOFFIT WITH ACCESS PANEL
	RETURN GRILLE
	SUPPLY GRILLE
	VERTICAL DUCT TRANSITION

- MECHANICAL NOTES**
1. SYSTEM BY MITSUBISHI - MR SLIM 2 ZONE DUCTED HEAT PUMP 9K / 15K BTU.
  2. ALTERNATE SYSTEM: DAIKIN MINI-SPLIT TYPE 6080 HZ COOLING AND HEAT PUMP AIR CONDITIONING WITH DC INVERTER AND SWING COMPRESSOR
  3. DUCT BOARD TO BE QUIET R BY OWENS CORNING
  4. FLEXIBLE DUCT TO BE ECOTOUCH BY OWENS CORNING
  5. GRILLES BY TITUS OR APPROVED SIMILAR - COLOR TO BE WHITE UNO. EXACT GRILLE LOCATIONS TO BE DETERMINED ON SITE WITH ARCHITECT
  6. PROVIDE GFIC AS DETERMINED BY NEC- 2008 ARTICLE 210-63.
  7. HOT WATER HEATER - SEE GENERAL SPECIFICATIONS SHEET A0.1
  8. CENTRAL BATH EXHAUST SYSTEM BY BROAN 688 / 50 CFM / 4.0 SONES OR APPROVED SIMILAR
  9. ALTERNATE ADD: CENTRAL VACUUM BY SILENT MASTER

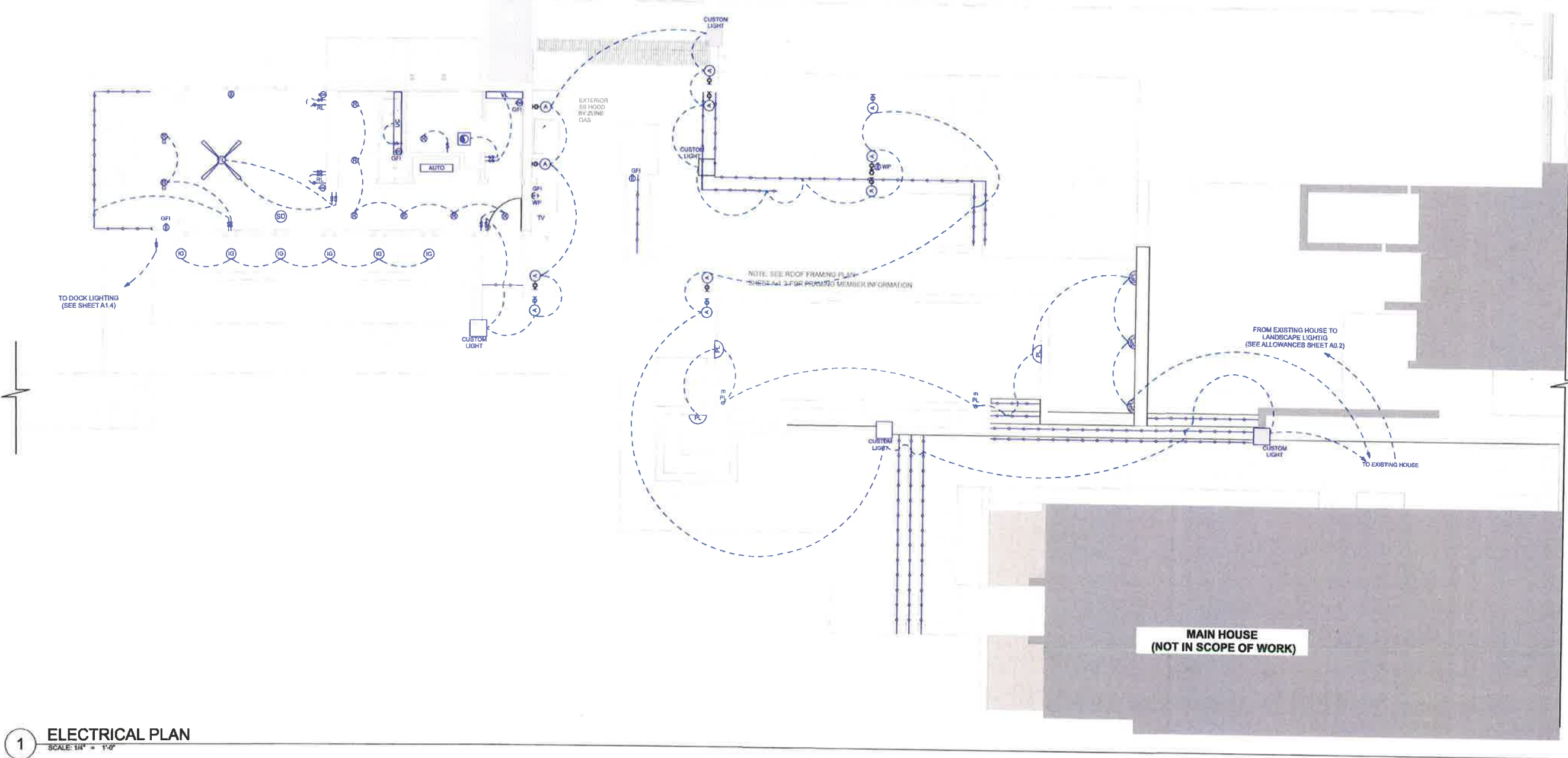
**POWER / COMMUNICATION LEGEND**

ID	DESCRIPTION
	CAT 6 ETHERNET CABLE
	SMOKE DETECTOR
	115V DUPLEX POWER OUTLET- GFIC
	115V DUPLEX POWER OUTLET- AFCI
	220V DUPLEX POWER OUTLET- GFIC

**LIGHTING LEGEND**

ID	DESCRIPTION
	WALL SCONCE - UP / DOWN
	3" RECESSED CEILING CAN
	6" RECESSED CEILING CAN
	IN GROUND LIGHT
	UNDER CABINET SPOT LIGHT
	CEILING FAN W/ LIGHT
	EXHAUST FAN / LIGHT
	POOL LIGHT
	MINI POOL LIGHT
	LED STRIP COVE LIGHT
	EXTERIOR LED STRIP LIGHT
	LED READING LIGHT
	HORIZONTAL VANITY LIGHT
	AUTOMATIC LIGHT

**1 ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"



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**JONES RESIDENCE REMODEL**  
MRS M. SCHWEIZER ORIGINAL - 1985  
2520 HOMEWOOD DRIVE,  
BELLE ISLE, FLORIDA 32809

ELECTRICAL / MECHANICAL RCP  
SEPTEMBER 10, 2010

SHEET NUMBER  
**A-1.3**

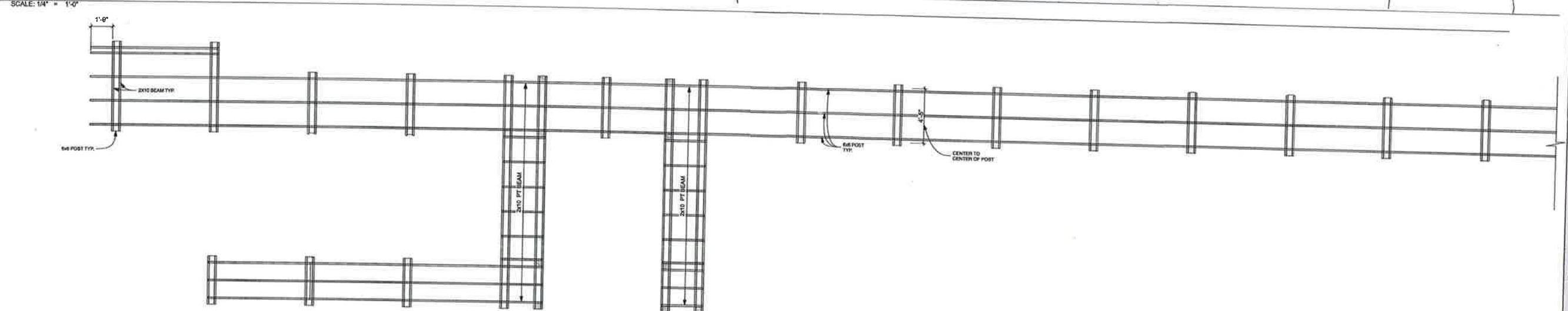
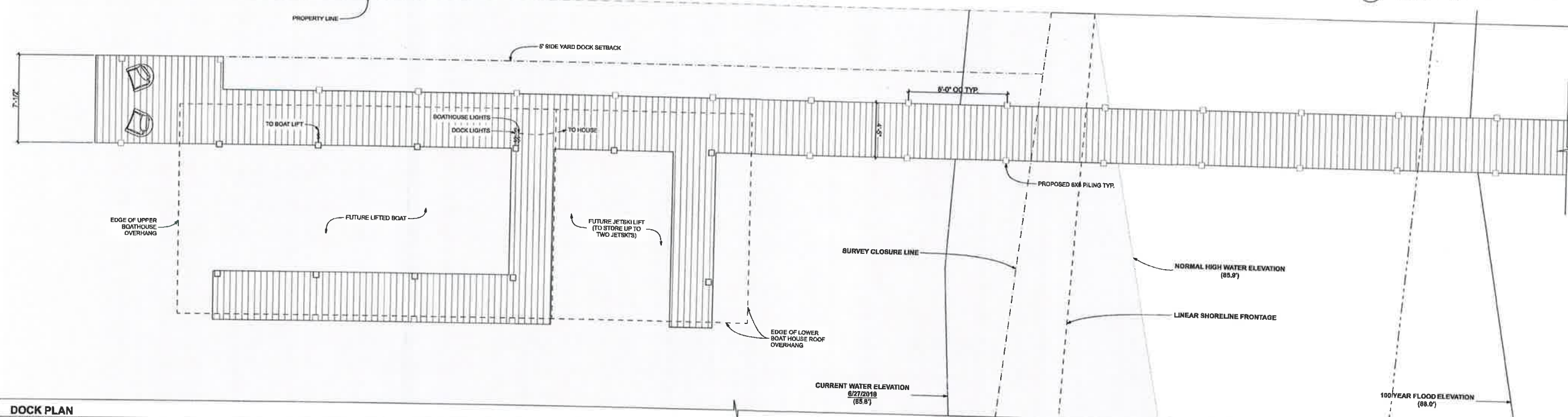
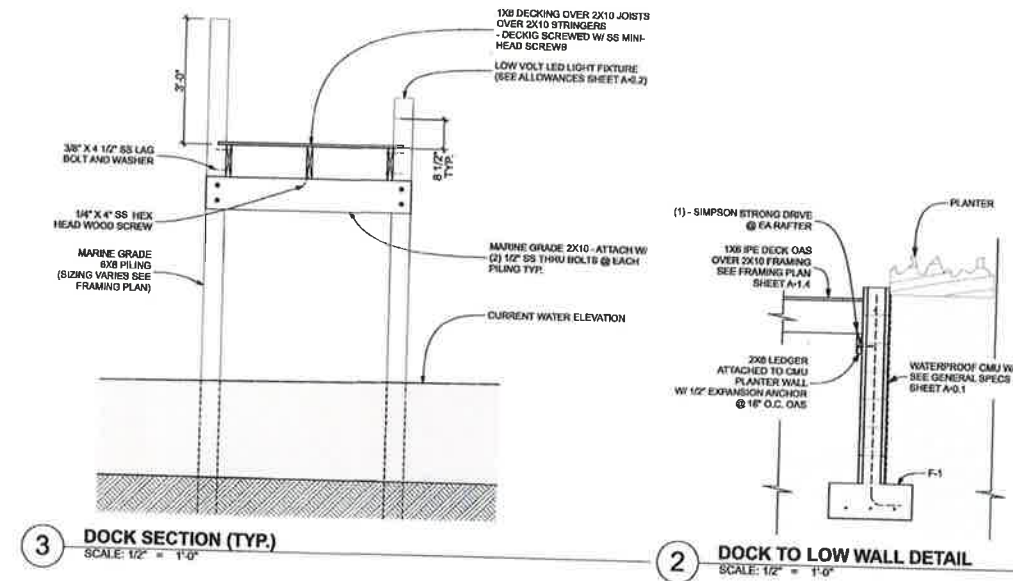
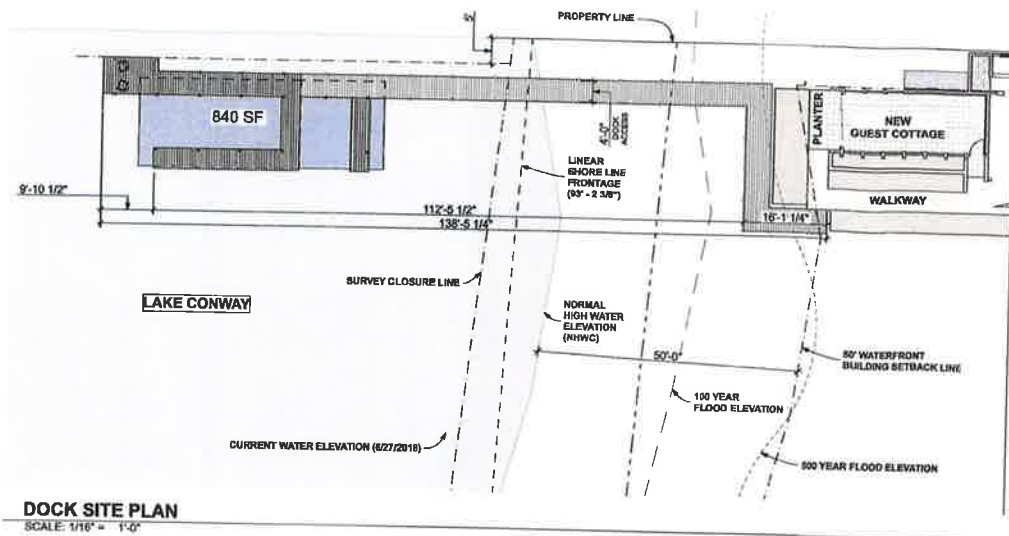
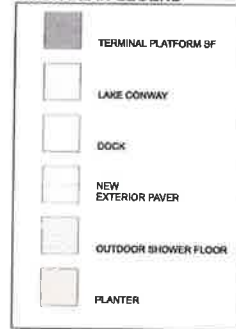
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AR0013154

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**TERMINAL PLATFORM CALCULATIONS:**

TOTAL LINEAR SHORELINE FRONTAGE = 63' - 2 3/8"  
 TOTAL AREA = (10 X (FIRST 75' OF SHORELINE)) + (5 X (EXCESS OF 75' OF SHORELINE))  
 = (10 X 75) + (5 X 18)  
 = 750 + 90  
 = 840 SF

**DOCK PLAN LEGEND**



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 2520 HOMEWOOD DRIVE,  
 BELLE ISLE, FLORIDA 32809

DOCK PLANS/  
 FRAMING/ DETAILS

SEPTEMBER 10, 2019

SHEET NUMBER

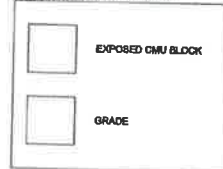
**A-1.4**

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 A00013154

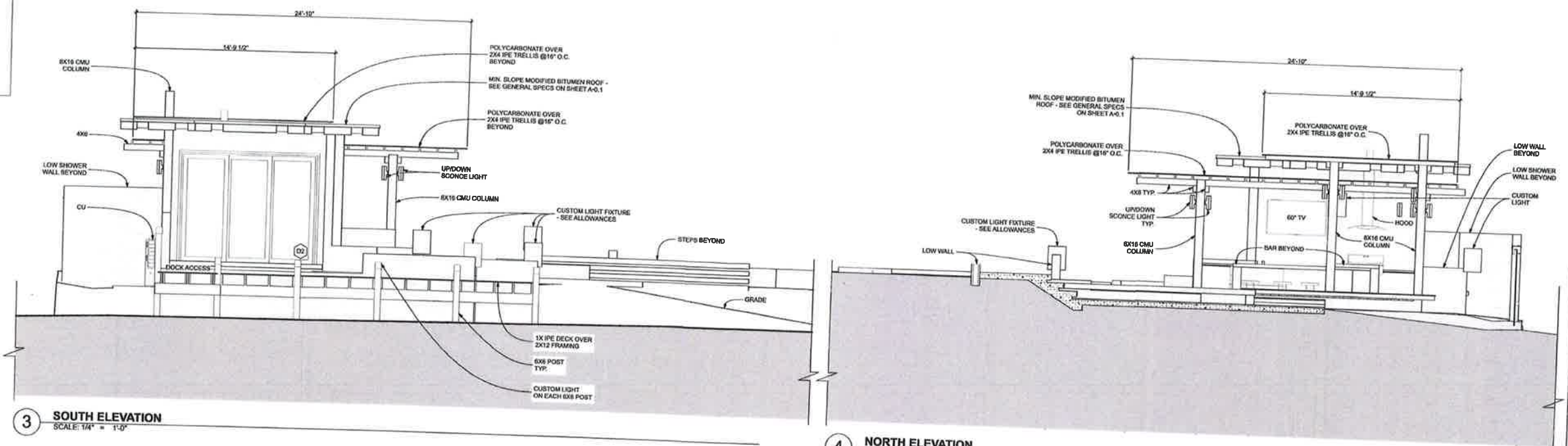
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**ELEVATION LEGEND**

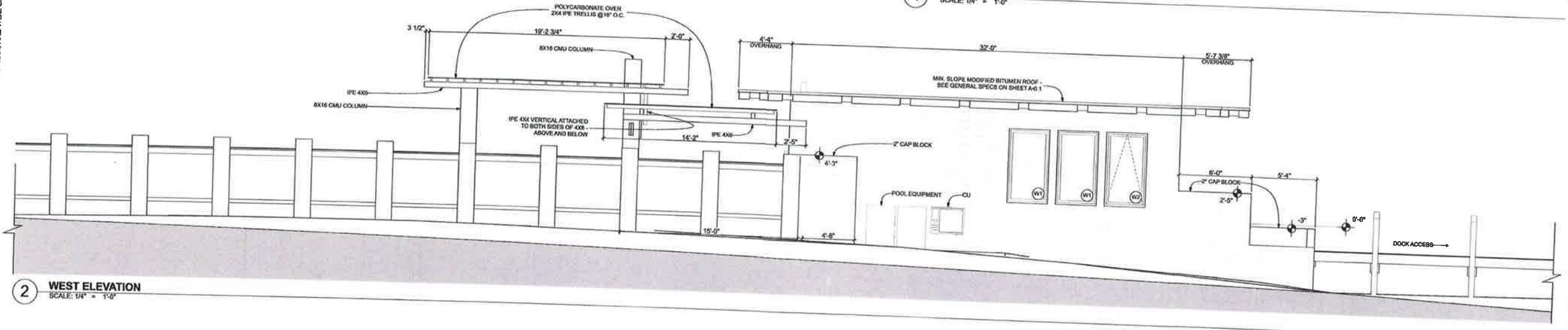


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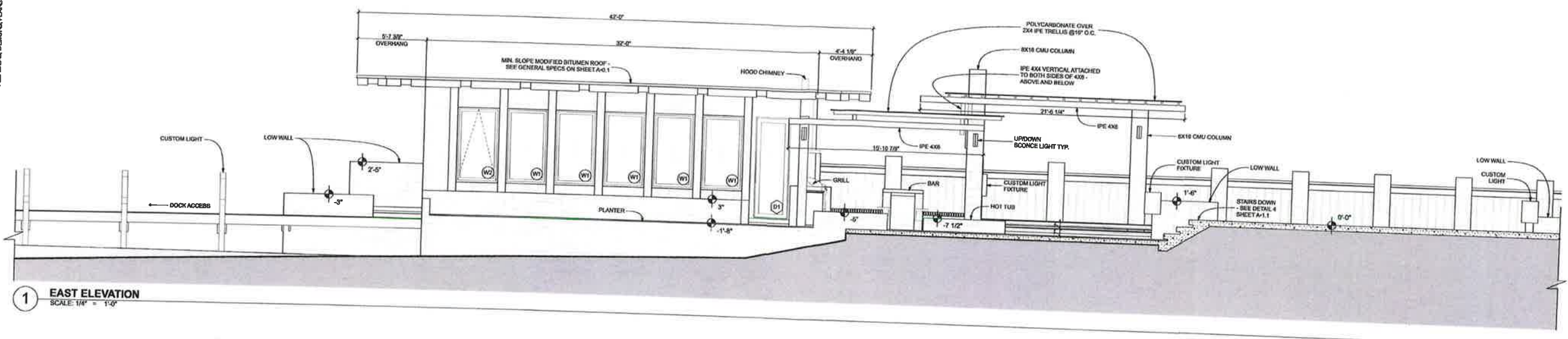


**3 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**4 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**ISA**  
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**JONES RESIDENCE REMODEL**  
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2620 HOMEWOOD DRIVE,  
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CABANA ELEVATIONS

SEPTEMBER 10, 2019

SHEET NUMBER  
**A-2.1**

CHARLES KEVIN SCHWEIZER  
FLORIDA REGISTERED ARCHITECT  
A06013154

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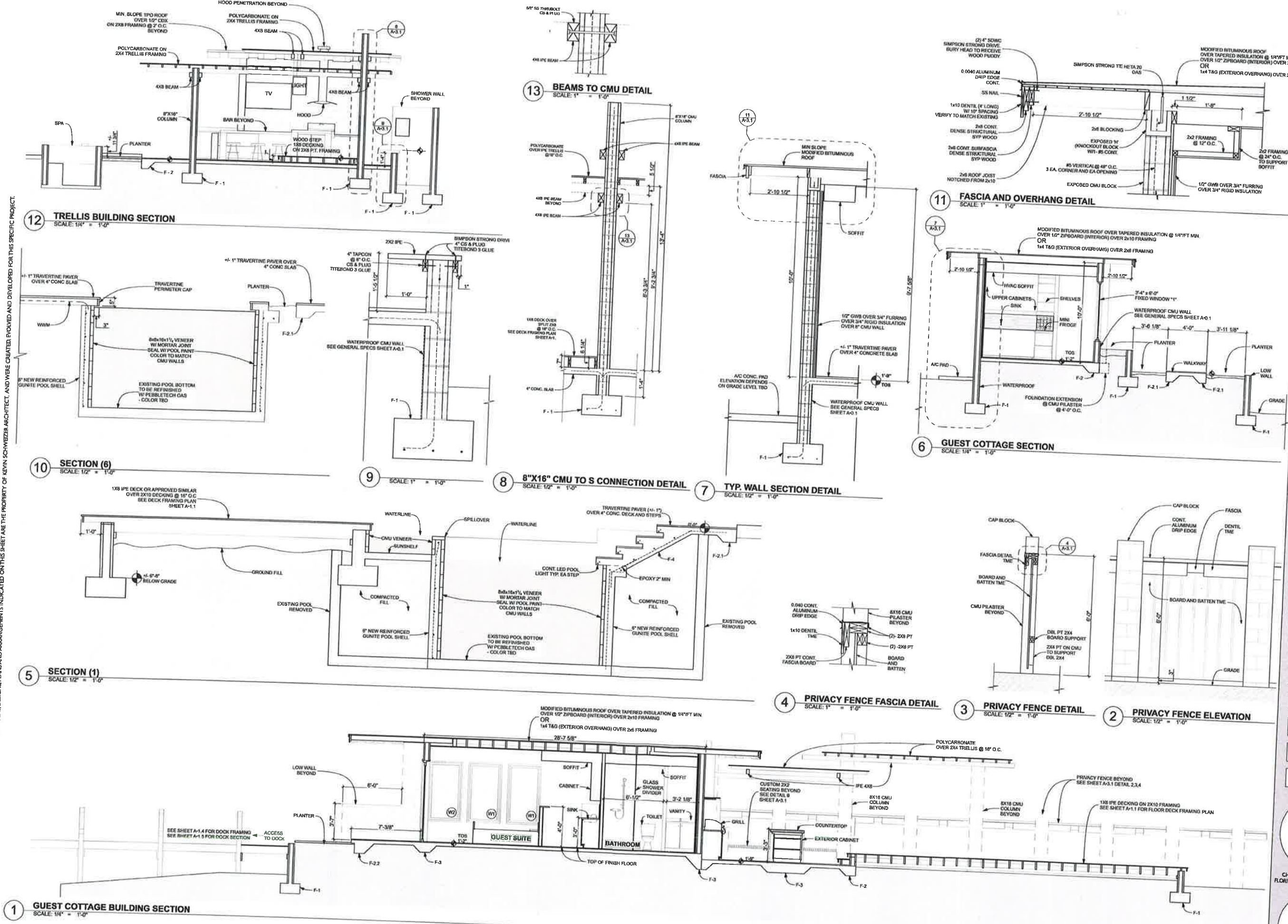
BUILDING SECTIONS

SEPTEMBER 10, 2019

SHEET NUMBER

A-3.1

CHARLES KEVIN SCHWEIZER  
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