Susan Manchester

2500 Homewood

From: Sent: April Fisher <aprilfisher73@gmail.com>

Tuesday, October 8, 2019 12:20 PM

To:

Jenna G.

Cc:

Susan Manchester; CobiPermits

Subject: Re: 2520 Ho

Re: 2520 Homewood Dr - Guest House permit 2019-10-004 is denied - Pro Team P&D

2019-10-004

Sorry Jenna, I had this one confused with another application. I did speak with Angel about 2520 Homewood. No, we did not talk about tweaking the plans to remove the word "cottage". It still functions the same per Belle Isle Code. I did discuss with Angel that there is incorrect ISR and setback data on the plans, the dock can not be shown since it is a different permitting process, and that a special exception would be required by the Planning and Zoning Board. It is a separate application made to the City Clerk to include a narrative of what is being requested, consistent with City Code. Here is a link to the

Code: https://library.municode.com/fl/belle_isle/codes/code_of_ordinances?nodeId=SPBLADECO_CH42ADE
N ARTIIIVASPEXCH

You will also need to include 10 sets of the plan showing the requested guest cottage and details of it's size, etc. A second kitchen is not allowed per code. This application is submitted to the City Clerk and then when determined a complete application can be scheduled for the Planning and Zoning Board. The Board meets the fourth Tuesday of the month. A 30-60 day process is typical. The next possible hearing date would be November 26th if the Board holds a meeting in November but they typically do not. So it may not be until December or January for the next meeting.

Thank you,

April

April Fisher, AICP Fisher Planning and Development Services 407-494-8789

On Tue, Oct 8, 2019 at 11:59 AM April Fisher <april sher 73@gmail.com> wrote:

DENI

This application has already been before the Board for a special exception application and was approved per the following which must be complied with. A guest cottage was what was requested on the special exception application and what was approved. Here are the conditions of the special exception approval that was granted by the Board:

After discussion, Board member Shenefelt moved the criteria of Section 42-63 and 54-75 (c)(5) of the Belle Isle Land Development Code having been met TO APPROVE the special exception to allow conversion of an of a previously permitted storage shed to become what the land development code defines as a guest cottage on a single-family residential property with a primary detached single-family dwelling submitted by applicant Josh Brown, located at 2705 Nela Avenue, Belle Isle, FL 32809 also known as Parcel # 19-23-30-5888-03-060 with the following conditions;

- 1. The guest cottage shall be used exclusively for housing members of the family occupying the principal building and their nonpaying guests, such quarters shall have no kitchen facilities and shall not be rented or otherwise used as a separate dwelling;
- 2. The plans shall be revised to remove the kitchen facilities before submitting for building permitting;
- 3. The guest cottage must be maintained in a functional and aesthetically pleasing manner so as not to impact the public interest adversely; and,

Thank you,

Susan Manchester

Permit Administration for the City of Belle Isle

Building Inspections and

Code Compliance Department

407-423-0504 X23309 or 407-581-8161 option permits

E-mail: smanchester@universalengineering.com

Website: www.universalengineering.com



UNIVERSAL ENGINEERING SCIENCES, INC.

3532 Maggie Blvd. | Orlando, FL 32811 Tel: (407) 423-0504 | Fax: (407-423-3106

Susan Manchester

From: Sent: To: Cc: Subject:	April Fisher <aprilfisher73@gmail.com> Monday, September 30, 2019 12:02 PM Susan Manchester CobiPermits; Yolanda Quiceno; Heidi Peacock (hpeacock@belleislefl.gov) Re: 2520 Homewood Dr - zoning for guest house 2019-10-004 - Pro Team P&D</aprilfisher73@gmail.com>
	ed on the land development code, it is not allowed. A guest cottage requires a the Planning and Zoning Board and the second kitchen is prohibited by code.
Thank you,	
April	
April Fisher, AICP Fisher Planning and Developm 407-494-8789	ent Services
On Mon, Sep 30, 2019 at 8:29	AM Susan Manchester SManchester@universalengineering.com> wrote:
Hi April, I am pretty sure this won'	t be allowed – but I still have to submit it. The contractor refers to it
as a "cabana" on the app	- but the plans call it a guest house.
Thank you,	
Susan Manchester	
Permit Administration for the City	of Belle Isle
Building Inspections and	
Code Compliance Department	

407-423-0504 X23309 or 407-581-8161 option permits

Susan Manchester

From:

Susan Manchester

Sent:

Monday, September 30, 2019 1:04 PM

To:

Jenna G.

Cc:

CobiPermits; April Fisher

Subject:

2520 Homewood Dr - Guest House permit 2019-10-004 is denied - Pro Team P&D

Hello Jenna.

I submitted your app for zoning approval. It has been denied by April Fisher of the Planning and Development Services.

Although the scope of work is described as a "cabana" on the app – the plans refer to the structure as a guest cottage. A guest cottage requires a special exception approved by the Planning and Zoning Board and the second kitchen is prohibited by code. I have cc'd April Fisher in on this email. You may direct any questions you may have to her via email regarding applying for consideration of a variance after the plans are modified to remove the kitchen.

Thank you,

Susan Manchester

Permit Administration for the City of Belle Isle Building Inspections and Code Compliance Department 407-423-0504 X23309 or 407-581-8161 option permits E-mail: smanchester@universalengineering.com

Website: www.universalengineering.com



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3532 Maggie Blvd. | Orlando, FL 32811 Tel: (407) 423-0504 | Fax: (407-423-3106



City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando Fl 32811

Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

Building / Land Use Permi	t Application
DATE: 9/13/2019 250 Homewood Dr.	ERMIT # 209-10-004
ROJECT ADDRESS 2520 Homewood Drive, Belle Isle, Florida 32809	, Belle Isle, FL X 32809 32812
	ALUE OF WORK (labor &material) \$_200,000
ROPERTY OWNER Mark Allen Jones and Jessica M. Jones DOVER PHONE 321.295.6572	ALUE OF WORK (labor &material) 3
LEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS	
dd 300sqft Cabana,	
Please provide information, if applicable. <u>SINGLE FAMILY RESIDENCE:</u> 8.5"x11" Plat Survey, Plot Plan of Home and Floor Plans of N <u>BOAT DOCK</u> : DEP Clearance Required with Application (Call 407-897-4100); please provide a <u>SEPTIC SYSTEM (RESIDENTIAL):</u> – Provide verification of OC Health Dept approval for on-s Homeowners will be required to have a contractor on record for homes that are rented and/o	ew Construction/Revision Required a copy of their report ite septic tank system, per FAC Chap. 64E-6
lease Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 19-23-30-5888-06-1	22
To obtain this information, please v	isit http://www.ocpafl.org/Searches/ParcelSearch.aspx
PECIAL CONDITIONS: STRUCTURES MAY NOT ENCROACH INTO ANY EASEMENT	Wind Exposure Category: B C D
OR REQUIRED SETBACK. Survey specific foundation plan required to show compliance with \vdash oning setbacks. Note: this Zoning Approval MAY or MAY NOT be in conflict with your Deed	SPRINKLERS REQ'D Y N no
testrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be	If Required – SUBMIT COPY OF PLANS FOR FIRE
ssessed.	REVIEW Date: SentRCD
LANNING & ZONING APPROVAL:	ZONING (N \$165-
DATE	CERT OF OCC Y N \$
LEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)	TRAFFIC Y N \$ SCHOOL Y N \$
ONSTRUCTION TYPEComm Res:yes Single FamMulti Fam	FIRE Y N S
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IN FLOOD ELEV. LOW FLOOR ELEV.	ROOFING Y N \$ BOAT DOCK Y N \$
ATER SERVICEWELLSEPTICyes	BUILDING Y N \$ 133
	WINDOW(S) N S
UILDING REVIEWER DATE	DOOR(S) Y N S
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er FSS 105.3.3:	OTHERY N \$
n enforcing authority may not issue a building permit for any building construction, erection, alteration, adification, repair or addition unless the permit either includes on its face or there is attached to the	n 25
rmit the following statement: "NOTICE: In addition to the requirements of this permit, there may be	1% BCAIB FEE
iditional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water	1.5% DCA FEE
anagement districts, state agencies, or federal agencies."	141779
epublic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste,	TOTAL (10 / 0)
d commercial garbage and construction debris collection and disposal services with the city limits of	OTHER DEDMITS DECILIBED.
e City. Contractors, homeowners and commercial businesses may contact Republic Services at 407- 3-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates	OTHER PERMITS REQUIRED: ELECTRICAL Y
e fixed by contract and are available at City Hall or from Republic Services. The City enforces the	Sess
ntract through its code enforcement office. Failure to comply will result in a stop work order.	MECHANICAL Y
PARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS,	PLUMBING Y
ECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC. UTIK	ROOFING Y (NA)
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1231.50	



City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32814 Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

Building Permit (Land Use) Application

To be completed as required by State Statute Section 713 and other applicable sections.

PERMIT # 2019-10-004

Contractor Name Keith Smith	Company Name ProTeam P&D LLC
License # CGC1525330	Company Address 747 Clifford Drive
Contact Phone/Cell 321.295.6572	City, State, ZIP Orlando, FL 32804
Contact Email ksmith7047@gmail.com	Contact Fax
(www.floridabuilding.org) and City Ordinances (www.municode.com) in this permit does not grant permission to violate any applicable City an obtain a permit to do the work and installations as indicated. I certify that no	Is granted I agree to conform to all Division of Building Safety Regulations regulating same and in accordance with plans submitted. The issuance of id/or State of Florida codes and /or ordinances. Application is hereby made to be work or installation has commenced prior to the issuance of a permit and that a ction in this jurisdiction. I understand that a separate permit must be secured for LUMBING, GAS, SIGNS, POOLS, SCREEN ENCLOSURES, ETC.
OWNER'S AFFIDAVIT: I certify that all the foregoing information is accura construction and zoning.	ate and that all work will be done in compliance with all applicable laws regulating

Contractor Signature

COMPANY NAME

ProTeam

Mark Allen Jones and Jessica M. Jones

The foregoing instrument was acknowledged before me this 1/21/19

license

who is personally known to me

and who produced.

as identification and who did not take an oath.

Notary as to Owner State of Florida County of Orange

Notary Public Pate of Florida Eugenia Gomez My Commission GG 293870 Expires 01/22/2023

Walkway ___

Accessory Bulldings Pool & Spa

Deck & Patio

Other Oriposed Casava

Actual Impervious Area (AIA) 1823 5914

If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.

If AIA is greater than BASE, then onsite retention must be provided.

Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 Inches rainfall/12 Inches p/foot) X (result from line 4) = cubic feet of storage volume needed



Jones property

Angel Lopez Olijnyk <angel@ksarchitect.net>
To: Keith Smith <ksmith7047@gmail.com>

Fri, Sep 27, 2019 at 12:50 PM

Good morning Keith and Jenna,

All this information is in the cover sheet of the plans. I have attached a screenshot of it.

Please let me know if you have any questions.

Best,

AREA CALCULATIONS

SF SF
SF
SF
SF
3F
SF
5



[Quoted text hidden]

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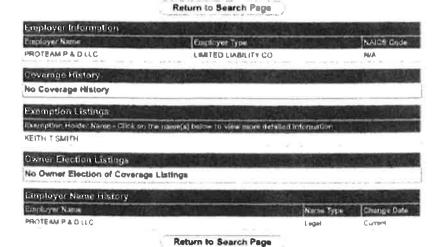
Sent from my iPhone

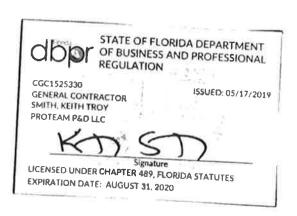
NOTICE OF COMMENCEMENT State of Florida, County of Orange The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement. Description of property (legal description of the property, and street address if available) Surety of the property of the Lessee contracted for the Improvement Name Address Address Telephone Number Telephone Number Telephone Number Address Telephone Number Telephone Number Telephone Number Address Address Telephone Number	Permit Number: 2019	10.004	DOCH 20190605172 09/27/2019 11:08:24 AM Page
NOTICE OF COMMENCEMENT Sale of Florida. County of Orange he undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713. Florida Statutes, the following information is provided in this Notice of Commencement. Description of improvement Owner information or Lesse's clintormation of the property, and streat address if, available) 2.2.0 Horne 100 This Bulk TELL PL 32.00 Ceneral description of improvement Owner information or Lesse's clintormation of the bease contracted for the improvement Name 100 This PL 200			Pag Eng. 910 00
NOTICE OF COMMENCEMENT State of Florida. County of Orange he undersigned hereby gives notice that improvement will be made to certain real property, and in accordance that Chapter 13, Florida Statutes. Description of property (legal description of the property, and street address (lavalable)) 2520 Hone 200 Price Bell TEL PL 3200 General description of Improvement Address 2520 Hone 200 Price Bell TEL PL 3200 General description of Improvement Name Price Bell TEL PL 3200 Interest in Property 12 CASCA Address 2520 Hone 200 Price Bell TEL PL 3200 Interest in Property 12 CASCA Address 3210 Hone 200 Price Bell TEL PL 3200 Interest in Property 12 CASCA Name Property 12 CASCA Address 3210 Hone 200 Price Bell TEL PL 3200 Interest in Property 12 CASCA Name Property 12 CASCA Address 3210 Hone 200 Price Bell TEL PL 3200 Interest in Property 12 CASCA Address 3210 Hone 200 Price Bell TEL PL 3200 Interest in Property 12 CASCA Name Property 12 CASCA Address 3210 Hone 200 Price Bell TEL PL 3200 Interest in Property 12 CASCA Address 3210 Hone 200 Price Bell TEL PL 3200 Interest in Property 12 CASCA Address 3210 Hone 200 Price Bell TEL PL 3200 Interest in Property 12 CASCA Address 3210 Hone 200 Price Bell TEL PL 3200 Interest in Property 12 CASCA Address 3210 Hone 200 Price Bell TEL PL 3200 Interest in Property 12 CASCA Address 3210 Hone 200 Price Bell TEL PL 3200 Interest in Property 12 CASCA Address 3210 Hone 200 Price Bell TEL PL 3200 Interest in Property 12 CASCAA Telephone Number 321 - 295 - 65 Telephon	repared by.		Phil Diamond, Comptroller Orange County, FL
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Lender Name Address Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by §713.13(1)(a)7, Florida Statutes. Name Address Land Corp. Telephone Number Teleph			Amount of Bond \$
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Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by §713.13(1)(a)7, Florida Statutes. Name			Telephone Number
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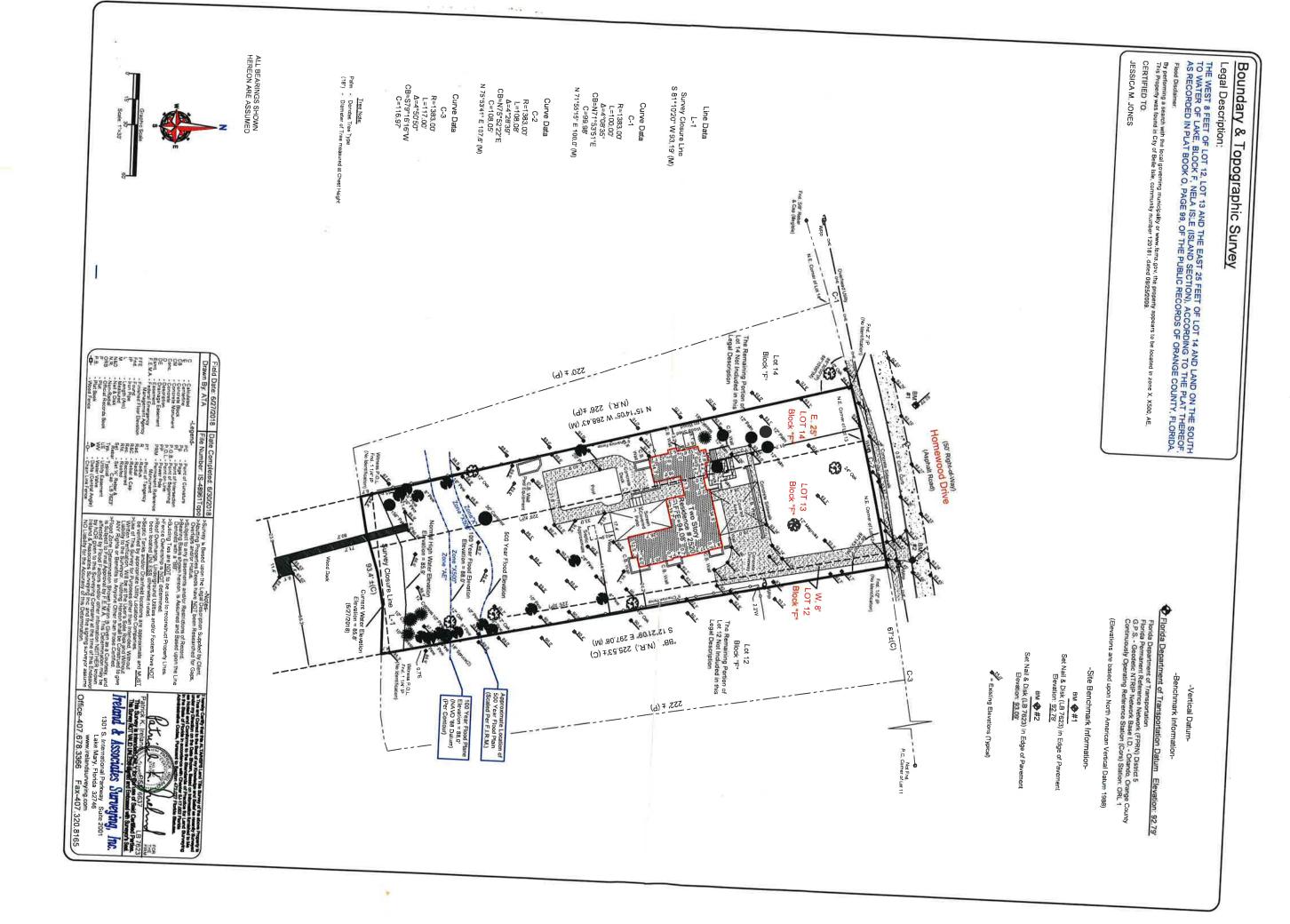
Employer Detail Page

This database was last updated Jucsday, September 17, 2019 12:10 AM.

Carrier Location information







CODE COMPLIANCE

THIS PROJECT WAS DESIGNED UNDER THE FOLLOWING CODES. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUPPLIERS, BY WORKING ON, OR PROVIDING MATERIALS FOR THIS PROJECT HEREBY AGREE TO COMPLY WITH ALL LOCAL STATE AND FEDERAL REGULATIONS HAWNS JURISDICTION OVER THIS PROJECT, AND TO COMPLY WITH ALL GOVERNING CODES, WICLIDING BUT NOT LIMITED TO, THE MOST CURRENT EDITIONS AS ADOPTED BY THE STATE OF FLORIDA, OF THE FOLLOWING:

2017 FLORIDA BUILDING CODE, RESIDENTIAL 6TH EDITION and all current arre-

2011 NATIONAL ELECTRIC CODE and all current amend

ZONING INFORMATION R-1-AA ZONIN

SETBACKS
FRONT: 25'
SIDE: 7.5'
WATERFRONT REAR: 50'

BASE IMPERVIOUS SURFACE RATIO: 35%
MAXIMUM IMPERVIOUS SURFACE RATIO: 65%
MAXIMUM BUILDING HEIGHT: 35°

PROJECT DESCRIPTION:

REMODEL OF EXISTING POOL, DECK, AND DOCK. ADDITION OF NEW DECK AND 300SF (LIVING AREA) GUEST COTTAGE

PROPERTY DESCRIPTION:

PARCEL NUMBER: 19-23-30-5888-06-122 JURISDICTION: CITY OF BELLE ISLE

GENERAL SPECIFICATIONS

WINDOWS AND DOORS
1, WINDOWS AND DOORS TO BE BY WESTERN WINDOW OR APPROVED SIMILAR W/ FLORIDA WINDOWS AND DOORS TO BE BY WESTERN WINDOW PRODUCT APPROVAL
 DOOR HARDWARE - EMTEK OR APPROVED SIMILAR

WWM.

2. ALL SLOPES IN CONCRETE SLABS AND TOPPINGS TO BE INTEGRAL WITH THE SLAB POUR AND TO BE VERIFIED WITH ARCHITECT AND BY THE GENERAL CONTRACTOR PRIOR TO POURING TO AVOID ANY POWDING OF WATER.

3. EXPANSION JOINTS TO BE DETERMINED BY THE ARCHITECT PRIOR TO POURING CONCRETE AND ONCE FIRM, CONCRETE MY IS DETERMINED. GENERAL CONTRACTOR TO NOTIFY ARCHITECT I WEEK PRIOR TO POURING.

4. UNCOUPLIAND MEMBRANE BY SCILLIFFE OTHER SYSTEMS. MODEL DITRA 6M - 12' WIDE OVER THINSET MORTAR OVER CLEAN CMU OR CONCRETE OR ICF.

MASONRY

1. ALL NEW EXPOSED MASONRY TO MATCH EXISTING IN TERMS OF CMU TEXTURE AND JOINT STYLE. JOINTS ARE TO ALIGN HORIZONTALLY WITH EXISTING.

WATERPROOFING CMU
DRYLOK LATEX COATING - INSTALLED PER MANUFACTURERS RECOMMENDATION ON EXTERIOR SIDE OF WALL TOPO OF DRYLOKTO BE 2" BELOW TOP OF PLANTER WALL

INSULATION

1. OPEN CELL AND CLOSED CELL POLYURETHANE INSULATION SHALL BE SEALITETIM BY NCFI
POLYURETHANES OR APPROVED SIMILAR

FASTENERS

PASTERNEHS

1. BY SIMPSON STRONG-TIE OR EQUAL, HOT DIPPED GALY, ZMAX

2. ANY DISSIMILAR METALS TO BE SEPARATED WITH INFLON WASHER OR APPROPRIATE
MATERIAL, CORTRACTOR TO CONFIRM IN ALL APPLICATIONS AND NOTIFY ALL SUB

CONTRACTORS AND VERIEY SEPARATION,

3. THELLES AND TRIM: 3-18 GYANGESS STEEL TRIM SCREWS, PRE-DRILL ALL IPE.

4. DETAIL DRAWINGS HAVE PRIORITY OVER FASTENERS LISTED HERE IF ANY
DISCREPANCIES, NOTIFY ARCHITECT TO CONFIRM.

I. IIE WOOD TO BE S4S AND FSC APPROVED.
ALTERNATE FOR DECKING:
1) KILN DRIED CUMARU FCS APPROVED.
(2) TREX, TRANSCEND I X 6 SQUARE EGGE BOARD-COLOR TBD OR APPROVED SIMILAR VERIFY WITH ARCHITECT PRIOR TO ORDERING ANY HARDWOODS.

EXTERIOR FINISHES

1. PAINT FASCIMEXPOSED ROOF FRAMING- SOLID BODY STAIN BY SW WOOD CLASSIC OR 1. PAINT FASCIAIEXPOSED POOF FRAMING-SOLID BODY STAIN BY SW WOOD CLASSIC APPROVED SIMILAR COLOR: 13D
2. EXTERIOR CEILING FINISH TO BE SYNTHETIC STUCCO BY STO CORP, SAND FINISH-COLOR: 13D
3. EXTERIOR GYPSUM CEILING BOARD TO BE 58° DENSGLASS GOLD.
4. PVC FASCIA BOARD TO BE BY AZER OR APPROVED SIMILAR.
PPOLYIES 41° PAINTED SAMPLE

INTERIOR FINISHES

1. ALL GERAMIC, GLASS TILE, AND STONE TILE INSTALLATION WILL BE IN ACCORDANCE WITH THE TILE COUNCIL OF NORTH AMERICA (TO/A) DESIGN STANDARDS (PROVIDE SAMPLES FOR APPROVAL).
2. INTEROR WALL & CEILING FINISH - INTERIOR PLASTER OVER BLUEBOARD - MEDIUM
TEXTURE WALLS (1/2"), HEAVY TEXTURE CEILINGS (5/6") - 4'X4' SAMPLES REQUIRED FOR

APPROVAL
3. TILE UNDERLAYMENT - SCHLUTER SYSTEM
4. GENERAL EXTERIOR TYPICAL CAULKING TO BE ADHESIVE CAULK BY OSI QUAD PROSERIES CAULKING GOOFING AND FLASHING NOT INCLUDED.
5. WOOD FLOORING IS RUSSIAN WHITE OAK BY SISERIAM FLOORS - SEE TYPICAL
INSTALLATION VIDEO AT WAVOUGLOB CONVENED TO WHITE OAK BY SISERIAM FLOORS - SEE TYPICAL
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INSTALLATION VIDEO AT WAVOUGLOB CONVENED TO WHITE OAK BY SISERIAM FLOORS - SEE TYPICAL

EQUIPMENT

1. FIREPLACE - REGENCY® LIBERTY® LRISE NATURAL GAS FIREPLACE OR APPROVED SIMILAR

2. NATURAL GAS WATER HEATER BY RINNAI ULTRA SERILES RIJA TANKLESS HOT WATER HEATER

3. AC SYSTEM BY MITSUBISHI MR SLIM 2 ZONE DUCTED HEAT PUMP OR APPROVED SIMILAR

4. HOSE BIBS - RECESSED AND COVERED BY AQUION WATER SYSTEMS OR APPROVED SIMILAR 5, HOOD BY ZLINE OR APPROVED SIMILAR

POOL - BY OTHERS (DESIGN GUIDELINES) POOL SHALL BE CONSTRUCTED OF REINFORCED 5000 PSI SHOTCRETE.
 POOL FINSH SHALL BE NPT STORESCAPES MIN PEBBLE "TANCE BLUE" ALTERNATE TO BE EXPOSED AGGREGATE WIT MOSAIC GLASSS TILE ACCENT AT WATERFALL WALL AND WATER.

LINE.

3. POOL HEAT PUMP BASIS OF DESIGN IS RHEEM HEAT PUMP CLASSIC SERIES M631011.

4. POOL SANITATION SYSTEM TO BE SALTWATER BASED.

5. POOL PUMP TO UTILIZE 2° PVC PIPING AND POOL PUMP SHALL BE SIZED AT 1/2 HP PER 10,000 GAL MAXIMUM.

LANDSCAPE - BY OTHERS

LANDSCAPE - BY OTHERS

1. ALL IRRIGATION SYSTEM COMPIENTS SHALL BE INSTALLED A MINIMUM OF 2" FROM BUILDING. THE IRRIGATION SYSTEM SHALL BE INSTALLED SUCH THAT NO WATER HITS THE BUILDING DUBING OPERATION.

2. SLOPE GRADES ANAY FROM BUILDING ON ALL SIDES.

3. IF APPLICABLE, CONTRACTOR BHALL REMOVE ALL CLASS 1 INVASIVE EXOTIC PLANTS FROM LOT. SEE WINE REPORTED HALL SHALL S

JONES RESIDENCE

2520 HOMEWOOD DR. BELLE ISLE, FLORIDA, 32809

PARCEL #: 19-23-30-5888-06-122

ARCHITECTURAL DRAWINGS A-0.1

ERNAL PRESSURE COFFEIGIENT +/- 0.0 MEAN ROOF HEIGHT 15 MAIN WIND FORCE RESISTING SYSTEM MAXIMUM PRESSURE 25.5, -23.3

COMPONENTS AND CLADDING

FREE STANDING ROOF

OPEN DESIGN.

ROOF ZONE 1: 25.4. -23.3 ROOF ZONE 2: 35 9, 38 1 ROOF ZONE 3: 50 8, -69 8

*PRESSURES ARE WORKING STRESS DESIGN (NOMINAL) PRESSURES IN POUNDS PER SF

WIND CALCULATIONS

GUEST COTTAGE

WIND LOAD BY FBC 1809 AND ASCE7-10 RISK CATEGORY: II

ENCLOSED DESIGN, INTERNAL PRESSURE COEFFICIENT +/- 10 MEAN ROOF HEIGHT, 15

COMPONENTS AND CLADDING

ROOF ZONE 2: ROOF ZONE 3: OVERHANG ZONE 1,2: OVERHANG ZONE 3: WALL ZONE 4: WALL ZONE 5: IDSS \$LIDING GLASS DOOR 20 SF FIXED GLASS

EXPOSURE D WIND SPEED: 136 MPH (3 SECOND GUST)

SITE PLAN/ COVER SHEET/ DEMOLITION PLAN GENERAL NOTES

FOUNDATION SLAB / SLAB PLAN FLOOR PLAN / FRAMING PLAN / ROOF PLAN ELECTRICAL/ MECHANICA/ RCP DOCK PLANS/ FRAMING/ DETAILS

CABANA ELEVATIONS BUILDING SECTIONS

THIS PROJECT HAS A 3D BIMX COMPONENT. FOR ACCESS: FOR ACCESS:
DOWNLOAD BIMX APP ON TABLET UK SMARTPHONE
AND OPEN LINK BELOW ON BROWSER.
Allps://bimxc.graphiaoft.com/model/62c5c52f-99a1-4135-95d5-6fb225fd3722

NOTE: THE 3D MODEL IS NOT LIMITED TO THE SCOPE OF THE WORK OUTLINED IN THIS PERMIT AND DEPICTS ALL POSSIBLE PHASES OF THE DESIGN.

ARCHITECT KEVIN SCHWEIZER ARCHITECT

05 PARKETOWNE BLVD, SUITE 3 EDGEWATER, FL 32132

CONTACT: KEVIN SCHWEIZER, ARCHITECT TOTAL IMPERVIOUS AREAS E-MAIL: keyin@ks

AREA CALCULATIONS

TOTAL LOT COVERAGE:

AC PAD

NEW PLANTER

NEW POOL DECK PAVER

EXISTING SIDEWALK

EXISTING CONCRETE DRIVEWAY

EXISTING BUILDING FOOTPRINT

POOL

TOTAL SITE AREA:

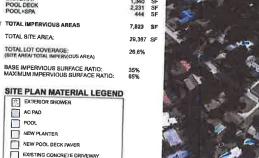
OWNER: MARK AND JESSICA JONES 2520 HOMEWOOD DR, BELLE ISLE, FLORIDA, 32809 PHONE: 407-376-6397

CONTACT: MARK JONES EMAIL: majjonas@icloud.com

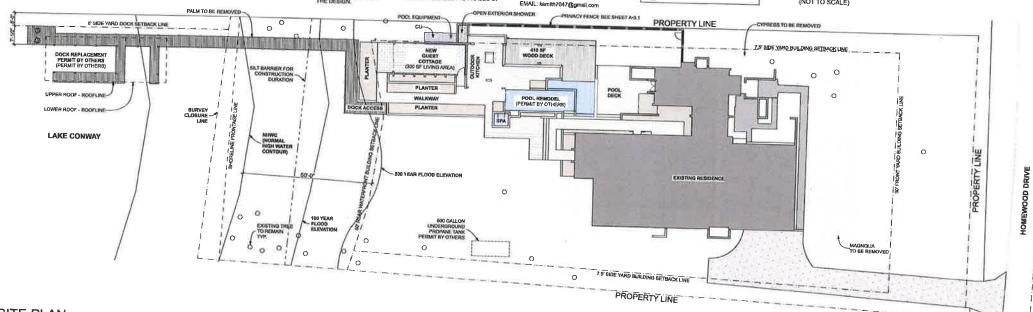
CONTRACTOR PROTEAM PND LLC. 747 CLIFFORD DRIVE,

ORLANDO, FLORIDA, 3280 PHONE: 321-295-657

CONTACT: KEITH SMITH



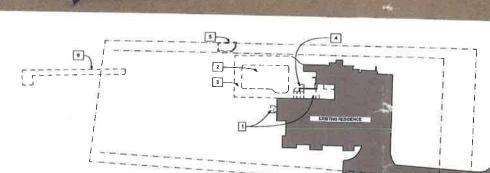
SITE LOCATION



SITE PLAN

DEMOLITION PLAN



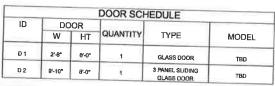


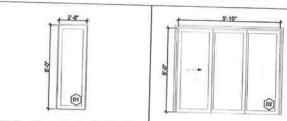
DEMOLITION NOTES

- 1. REMOVE CONCRETE WALKWAY & STEPS, LEVEL AND PREP
- GRADE FOR NEW CONSTRUCTION.

 REPAIR AND MODIFY POOL SEE POOL DRAWINGS SHEET
 A-1.2, A-3.1 3. REMOVE POOL DECK

- 3. REMOVE POOL DECK
 4. REMOVE PLANTER
 5. REMOVE PLANTER
 7. REMOVE PLANTER
 8. REMOVE PLANTER
 8. REMOVE CONCRETE BLOCK WALL AND POOL EQUIPMENT-VERIEY WITH OWNER THE OPTION TO STORE EQUIPMENT
 9. LOSTING OCK TO BE REPLACED REMOVE ALD PILES.
 9. DECKING AND FRAMING, SEE SHEET A-14
 7. ALL DERBIS SHALL BE REMOVED FROM THE CONSTRUCTION
 8. STEAT APPROPRIATE TIMES TO AVOID HAZARD WHILE
 EXTING THE BULLDONS
 8. WORK SHALL CONFORM TO THE LATEST EDITION OF ALL
 APPLICABLE REFERENCE SPECIFICATIONS AND TO ALL
 OCVERNING BUILDING CODES AND REQUIREMENTS OF
 AUTHORITIES HAVING JURISDICTION
 9. JOS SITE INSPECTIONS BY DEMOLITION CONTRACTOR MUST
 BE CONDUCTED TO EXAMINE SYSTIMS CONDITIONS AND
 DETERMINE THE NATURE AND SCOPE OF WORK OR ANY
 DIFFICULTIES THAT MIGHT ARISE AT THE TIME OF WORK ANY
 DISCREMANCY IN THE BENOLITION DOCUMENTS BUALL DE
 BROUGHT TO THE ATTENTION OF THE ARCHITECT





			WINDO	W SCHEDULE	
ID WIN	WINDOW		QUANTITY		MODEL
	HT				
W 1	3'-4"	6'-0"	7	FIXED GLASS	TBD
W2	3'-4"	8'-0"	2	OPERABLE AWNING	TBD



KEVIN SCHWEIZER

CORAL DESIGN & FLANNING INC.

145 CANAL STREET W SMYRNA BEACH, FL 3216

PHONE: C 386-405-8322

ALL IDEAS, DESIGNS, PLANS

AND ARRANGEMENTS
AND ARRANGEMENTS
INDICATED ON THIS SHEET
ARETHE PROPERTY OF KEVIN
SCHWEIZER ARCHITECT,
AND WERE CREATED,
EVOLVED AND DEVELOPED
FOR THIS SPECIFIC PROJECT.

REMOD

RESIDENCE

ES NILS A

NO

ARCHITECT'S INTENT:

IN THE EVENT OF ANY AMBIGUITY OR QUESTION WITH REGARD TO THE INTENT OF THE DOCUMENTS, THE ARCHITECT SHALL INTERPRET THE CONSTRUCTION DOCUMENTS.

SITE/LANDSCAPING:

I. ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED A MINIMUM OF 2' FROM BULLDING, THE IRRIGATION (IF USED) SYSTEM SHALL BE INSTALLED SUCH THAT NO WATER HITS THE BULLDING DURING OPERATION.

THE BUILDING OURNIG OPERATION.
2. NO PLANT MATERIAL OR TURE SHALL BE PLACED WITHIN 2' OF BUILDING.
3. SLOPE GRADES AWAY FROM BUILDING ON ALL SIDES.
4. IF APPLICABLE, CONTRACTOR SHALL REMOVE ALL CLAS 1 INVASIVE EXOTIC PLANTS FROM LOT. SEE www.floppc.org/fiet/filst.htm FOR A LIST OF INVASIVE SPECIES.
6. LANDSCARE CONTRACTOR TO PROVIDE 3"4 OPER NON-CYPRESS MULCH ARGUND.

PLANTS, TREES, AND LANDSCAPE BEDS. ACCEPTABLE MULCH TYPES INCLUDE PINE STRAW PINE

ALLOWANCES:

CUSTOM 4" GATE - \$800
CUSTOM LIGHTS - \$2,500
LANDSCAPE LIGHTING - \$2,500
LANDSCAPE AND IRRIGATION - \$6,000
SECURITY / WIFI - \$1,500
LIGHT FIXTURES / FANS - \$3,500

LUMBING FIXTURES - \$2.500

PILUMBING FIX INCES - 94,500
APPLIANCES : 45,500
TRAVERTINE TILE FOR BATH AND BACK SPLASH - \$2,500 · MATERIAL ONLY
BATH ACCESSORIES AND MIRROR - \$1,000 · MATERIAL ONLY

STRUCTURAL NOTES:

1. STRUCTURE HAS BEEN DESIGNED FOR A 136 MAE PER HOUR MASIC WIND SPEED EXPOSURE D, IN ACCORDANCE WITH THE 2010 EDITION OF THE FLORIDA STATE BUILDING CODE (FRC)

DESIGN FLOOR LOADS:
LIVE LOADS: MINIMUN UNIFORMLY DISTRIBUTED
UNINHABITABLE ATTIC W'STOPAGE * 30 PSF
LIVING AREA * 40 PSF
BALCONIES * 90 PSF
DEAL LOAD = 16 PSF

3 THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL CONSTRUCTION AND ITS CONTENTS.

4. REPERTO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT CIVEN OR RIDICATED. ANY DIMENSIONS DISCREPANCIES FOUND ON THE STRUCTURAL DRAWINGS SHALL BE CONTROLLED BY THE DIMENSIONS INDICATED ON THE ARCHITECTURAL DRAWINGS AFTER VERPLICATION WITH THE ARCHITECT & INDIDESES.

5. FOR MOUNTING AND SECURING MECHANICAL EQUIPMENT, REFER TO THE MANUFACTURER'S INSTRUCTIONS

CONCRETE: 1. STRUCTURAL CONCRETE, INCLUDING FOOTINGS, SHALL CONFORM TO THE REQUIREMENTS OF ACIDOT AND SHALL ATRING A MINISHAN COMPRESSIVE STRENGTH IN 28 DAYS (FL) OF 3000 PSI UNLESS OTHERWISE MOTE CONCRETE FOR SLASS ON GROWED SHALL ATRIAN ANNIMAM COMPRESSIVE STRENGTH IN 28 DAYS OF 2600 PSI.

CONCRETE, WHEN PLACED, SHALL HAVE A SLUMP OF 8 INCHES MAXIMUM AND 1 INCH MINIMUM EXCEPT FOR SLABS ON-GRADE WHICH SHALL HAVE A MAXIMUM SLUMP OF 5 INCHES AND A MINIMUM OF 3 INCH.

3. ALL REINFORCING SHALL CONFORM TO ASTM 616 FOR GRADE 50 STEEL; WELDED WIRE MESH TO ASTM A-185.

4. CHECK ALL DRAWINGS AND APPLICABLE MANUFACTURERS SHOP DRAWINGS FOR LOCATION OF ALL.
EMBEDDED ITEMS SUCH AS PIPE SLEEVES, ANCHOR BOLTS, ETC., PRIOR TO PLACING CONCRETE.

REINFORCEMENT FOR CONTINUOUS FOOTINGS SHALL BE CONTINUOUS AND SPLICED WITH A FULL 30 INCH. LAP. PROVIDE CORNER BARS FOR EACH CONTINUOUS BAR, IMAINS 30 INCH LEGS IN EACH DIRECTION.

REINFORCEMENT FOR BOND BRAMS SHALL BE CONTINUOUS AND SPLICED WITH A FULL 30 INCH LAP. PROVIDE CORNER BARS FOR EACH CONTINUOUS BAR HAVING 30 INCH MINIMUM LEGS IN EACH DIRECTION.

7. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRIVING AND EXCESSIVE COLD OR HOT TEMPERATURES START INTIAL, CURNOS AS SOON AS FREE WATER HAS DISAPPEARED FROM THE CONCRETE BURIFACE AFTER PLACING AND FINENSIVES. INTERPRESENT SOON THE CONCRETE BY CURING AND SEALING ACCORDANCE WITH ACI 301 PROCEDURES, PERFORM CURING OF THE CONCRETE BY CURING AND SEALING COMPOUND, BY MOST CURING BY WOISTURE RETAINING COYPE OLUTING OR BY COMPANDATION THEREOR.

8. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR THE REINFORCEMENTS

A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES B CONCRETE EXPOSED TO EARTH OR WEATHER: #6 BARS AND SMALLER, 1 1/2" INCHES; #6 BARS AND LARGER, 2 INCHES

9, CONCRETE SLAB ON GRADE CONTROL JOINTS SHALL BE AS SHOWN ON THE FOUNDATION PLAN OR TYPICAL DETAILS, WHERE CONTROL JOINTB ARE NOT SHOWN ON PLANS, ALL CONCRETE SLABS ON GRADE SHALL BE BOUND BY KETPE, OWNERS OF BRANCH CONTROL SOFT IN THAT THE PROLOGED AREA ODES NOT EXCEED 480 SQUARE FEET RATIO OF BOUNDARY DIMENSIONS SHALL NOT EXCEED 18.1, KEYED OR DOWNELD CONTROL JOINTS NEED ONLY COCUR AT EXPOSED EODES DURING POUNING, ALL OTHER JOINTS WAY BE SAW. CUT. POST-TENSIONED CONCRETE SLABS ON GRADE SHALL NOT HAVE CONTROL JOINTS UNLESS SPECIFICALLY NOTED ON THE PLANS.

18. CONSTRUCTION JOINTS OR POUR JOSH'S IN STRUCTUMA, ELEMENTS (IBAMS, COLUMNS, ELEMENES SLABS, ETC.) NOT SPECIFICATE SHOWN OR NOTED ON THE ENAMINES REQUIRE PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR SHALL SUBMIT SHOW DRAWNES SHOWNING PROPOSED JOINTS TO EXPRISE FOR APPROVAL.

11. ALL CONCRETE SHALL UTILIZE A MINIMUM OF 20% FLY ASH CONTENT.

STRUCTURAL STEEL:

STRUCTURAL STEEL:

ALL STRUCTURAL STEEL SMAPES SMALL CONFORM TO ASTMA-35 AND THE "SPECIFICATION FOR THE DEBION, FARRICATION AND ERECTION OF STRUCTURAL STEEL FOR BRADINGS" BY THE AMERICAN RISTITUTE OF STEEL CONSTRUCTION, ALL STEEL PIPE SMALL CONFORM TO ASTMA-35. TYPE (F) = 35 KM

2. ALL SHOP CONNECTIONS TO BE WELDED BUTLIZING EXXX ELECTROGES) AND FEED CONNECTIONS TO BE BOLTED UNLESS OTHERWISE SPECIFICALLY NOTED ON THE STRUCTURAL DRAWINGS. ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF "THE STANDARD CODE FOR WELDING IN BUILDING CONSTRUCTION" OF THE AMERICAN WELDING SOCIETY.

3. ALL STEEL TO RECEIVE ONE SHOP COAT AND ONE FIELD TOUCHUP COAT OF APPROVED PAINT.

ALL BOLTED CONNECTIONS SHALL CONSIST OF ASTM A325 HIGH STREAGTH BOLTS AND HARDENED WASHERS
AS SHOWN ON THE STRUCTURAL DRAWINGS, ALL BOLTED CONNECTIONS SHALL CONFORM TO THE
"SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS" BY THE AMERICAN INSTITUTE OF
STEEL CONSTRUCTION.

TELL CONSTRUCTION.

5. ALL ANCHOR BOLTS SHALL CONFORM TO ASTM A38 OR A307 (THREADED ROD).

6. SUBJECT SHOP DRAWINGS FOR REVIEW OF CONFORMANCE TO DESIGN CONCEPT, CONTRACTOR TO MAKE CHANGES AS REQUIRED AND RESUBJECT TWO COPIES.

7. GROUT FOR COLUMN BASE PLATES SHALL BE NON-SHRINK GROUT BY "EMBECO" OR APPROVED EQUAL, 5000 PSI MINIMUM.

FOUNDATIONS

SLAB HAS BEEN DESIGNED FOR A MINIMUM UNIFORM ALLOWABLE SOIL BEATING VALUE OF 2000 PSF. CONTRACTOR SHALL SUBMIT SOILS TEST REPORTS TO THE ARCHITECT VERIFYING THE ALLOWABLE SOIL

2. CONTRACTOR RESPONSIBLE FOR IN-PLACE SOILS TO BE UNIFORMLY COMPACTED AND TESTED TO ENSURE MINIMUM SOIL BEARING PRESSURE CAPACITY OF 2 000 PSF.

ANY ADDITIONAL FILL MATERIAL REQUIRED SHALL CONSIST OF SOILS THAT CONTAIN NOT MORE THAN 12 % OF FINES (SILT OR CLAY PARTICLES) PASSING A NO. 200 SIEVE AND SHALL BE PLACED IN UNFORM LYKERS NOT EXCEEDING 12 ONCHES LOOSE EACH LAYER SHALL BE SYSTEMATICALLY AND UNIFORMLY COMPACTED IN THE MANNER AND TO THE DEGREE SPECIFIED FOR THE IN-PLACE SOILG.

4. COMPLY WITH SPECS ED TERMITE TREATMENT (SECTION 1016 FBC), UNLESS LATEST REGULATIONS WILL NOT ALLOW SPECSTED CHEMICALS, PROVIDE BUBBNITAL OF CAMIESTINY ALLOWED CHEMICALS, IF NO CHEMICALS SPECIFIED OR NOT ALLOWABLE AS SPECIFIC, TERMITE TREATMENT SHALL BEI, IN COMPLIANCE WITH LATEST APPLICABLE FHA REGULATIONS AND STATE LAW CONTRACTOR TO FURNISH OWNER WITH A 9 YEAR WRITTEN BOOD PRING TO RECEIVING PAYMENT, UNLESS INDICATED OTHERWISE IN SPECIFICATIONS.

1. ALL MADDINITY UNITS BHALL CONFORM TO THE REQUIREMENTS OF ASTM CRO FOR LOAD BEARING MASONRY WITH A MINIMUM FM OF 1509 PSI UNLESS NOTED OTHERWISE ON THE PLANS.
MASONRY TERRONOTH OR DEFENDA

MORTAR STRENGTH = 1800

GROUT STRENGTH = 2000

MASONEY CONSTRUCTION AND MATERIALS SHALL CONFORM WITH ALL THE REQUIREMENTS OF THE THRESTICATIONS FOR MASONEY STRUCTURES" (ACLISIC 1-02/ASCE S-02/TMS-402-02), AS PUBLISHED BY THE MASONEY STANDARDS, SONT COMMITTEE.

MASONRY CONSTRUCTION SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A "CERTIFIED STRUCTURAL MASONRY CONTRACTOR" ON "CERTIFIED STRUCTURAL MASON" AS RECOGNIZED BY THE FLORID CONCRETE TAX PROCOURTS ASSOCIATION (FIZER).

4. MORTAR MIX SHALL CONFORM TO REQUIREMENTS OF FLIIC STANDARDS, TYPE M OR S, TYPE M MORTAR SHALL BE USED WHERE MASONRY IS IN CONTACT WITH SOIL

S. GROUT SHALL HAVE ASSLARY OF 8 TO 11 INCHES, BE IN CONFORMANCE WITH ASTM C 478-02 AND ATTAIN A COMPRESSIVE STEED WITH OF 180 OF 8 REGULAR SHALL CONFORM TO REQUIREMENTS OF FIRS STRAINABBL BUT CONFORMED BLOOD STATEMENT OF THE STRAINABBL BUT CONFORMED BLOOD STATEMENT RESPECTATION ALL CONFORMED BLOOD STATEMENT RESPECTATION AND STATEMENT STATEMENT AND STATEMENT ASSAULTS OF STATEMENT ASSAULTS O

6. CONCRETE MASONITY UNITE SHALL BE PLUME. TRUE TO LIVE, WITH LEVEL COURSES ACCURATELY SHACKS AND BUILT TO THE THO CONCRESS AND IN A RUNNING BOND AS INDICATED AND CONFIDENCE TO THE TO LED MARES PECCHED IN COLOR SHALL BE LEVEL AND BUILT TO THE THE DESTRUCT OF THE PROTECT OF CONCRETE WITH SHALL BE ADMINISTED BUILD BE RECOVED UNITED FOR FOREIGN AND ATTER. CONCRETE UNITE SHALL BE DRIVEN HAD. EACH UNIT SHALL BE ADMINISTED TO FAIL POSITION IN THE WORKER UNITED TO FAIL POSITION IN THE WORKER UNITED BUILD BUIL

7. HIGLIOW UNITS SHALL BE LAID WITH FULL HEAD AND BED JOINTS TO THE THICKNESS OF THIS FACE SHELL AS A MEMBARY. THE WEBS SHALL ALSO BE BEDGED IN ALL COURSES, STRING AND AT THE FOUNDATION, ADJACHS! HOW AND ADJACHS AND ADJACH

RENFORCING BARS SHALL BE PLACED IN THE MIDDLE OF THE CELLS, UNLESS NOTED OTHERWISE, AN TIED OR OTHERWISE REQUIRED SUPPORTED AT THE TOP AND BOTTOM TO ENSURE THAT THE BAR DOES MOVE DURING DORDITING, MIRMAN LAFAT ALL BYLIGES OR DOWNELS SHALL BE 30 INCHES FOR 45 BARS. MICHES FOR AN BARS UNLESS OTHERWISE NOTED ON THE DRAINING.

8. GROUTIND BHALLBE ACCOMPLEHED IN 5 FOOT LIFTS. EACH LIFT SHALL BE MECHANICALLY CONSOLIDATE INTO THE PREVIOUS LIFT, WHEN PLACED, SO AS TO PREVENT COLD JOINTE, RECONSOLIDATE AS REQUIRED. IN 12 SAUMER, BOTH CLARKOUT OFFICING GRALL BE FUELD AT THE BOTTOM OF EACH CELL TO BE FILLED FOR 12 SAUMER, BOTH CLARKOUT OFFICIAL PROBE TO PILLING OF THE CELL GROUT FACEBOAT TO STOYED FOR MORE THAN ONE HOUR SHALL BE STOYED BELOW. THE EYE OF THE MAKKINET WITH 1-NET TO PROVIDE AKEY FOR SUBSEQUENT GROUTING.

10. THE MINIMAN CONTINUOUS UNDISTRUCTED CELL AREA PLOCELL TO RECEIVE GROUT MUST NOT BE LESS. THE YEAR OF THE STATE OF T

H. TEMPORARY BRACING AND EHORING OF ALL CONCRETE MASONAY CONSTRUCTION, TO PROVIDE STABILITY JURING CONSTRUCTION UNTIL THE CONSTRUCTION ACHIEVES HE PROPER STREAMCH AND SUPPORTING CONSTRUCTION CAN WITHSTAND THE MOUCES LOADS, TO BET THE RESPONSIBILITY OF THE CONTRICTION.

12. CONTROL JOINTS SHALL BE PROVIDED IN ACCORDANCE WITH THE LOCATIONS AND GETALS SHOWN ON THE DRAWNESS. CONTROL JOINTS SHALL BOT EXTEND THROUGH THE TOP DOND BEAM COURSE. THE JOINTS ON BIOTH BIOSE OF THE WALL SHALL BE SEALED AND TOOLED SWOOTH.

13. UNLESS SPECIFICALLY SHOWN OTHERWISE, PROVIDE #9 GA, HOT DIP GALVANIZED "DUR-O-WALL" TRUSS TYPE REINFORCING IN EVERY OTHER COURSE.

2. ALE THYMOD SHALL BE C.D OR D.C. BREATHING CONFORMING TO FBC STANDARD 25-2 AND 25-3. LAY UP PHYMODO WITH FACE DRIVEN PERPENDICULAR TO SUPPORTS, PROVIDE BLOCKING AT PARILE EDGES WHERE INDICATED ON THE MAN PERPENDICULAR TO SUPPORTS, PROVIDE BLOCKING AT WARRING TO A PROVIDE STANDARD AND THE PROVIDED TO THE PROVIDE TO THE PROVIDE TO THE PROVIDED TO THE PROVIDE TO THE PROVIDED TO THE PROVIDED TO THE PROVIDE TO THE PROVIDED TO THE PROVIDE TO THE PROVIDED TO TH

THICKNESS: 15/32" (1/2") 10/32" (5/8")	SPAN RATING: 32/16 32/16	EDGE NALING 84 RING SHANK @ 6" C C.	FIELD NAILING 8d RING SHANK @ 6" O.C 10d @ 6" O.C.
--	--------------------------------	--	--

UNLESS NOTED OTHERWISE ON PLAN (IEE PLAN), ROOF SHEATHING SHALL BE 1932" MINIMUM AT PANELUED CONSTRUCTION LAY UP PLYWOOD WITH FACE GRAIN PARALLEL TO SUPPORTS USING SELV PLYWOOD

2. PREFABRICATED WOOD TRUSSES, JOSETS AND GENER TRUSSES SHALL BE DESIDENTED TO GUP-PORT THEIR SCLI-MERRIT, FLUS LIVE LOAD AND BIFFRIMPOISED DEAD LOADS. INCLUDING, NUT NOT LIMITED TO, WALFELD FETHER MOULD, OF PERPONDICAL AT TO THE STREAM, ALL MCCHANGLA AND OTHER SEGURINEST, AND SHALL FETHER MOULD, OF THE PROPERTY OF THE STREAM OF THE

4. ALL TRUSSES FURNISHED SHALL BE GUPPLED WITH SIGNED AND SEALED TRUSS DIAGRAMS PROVIDING THE DANAHACTURINERS TRUDGS SHEEPING REQUISIONED FOR BROCKING AND LATERIAL MOVEMENT. ALL TRUSS FOR THE PROPERTY OF THE CAMPACTY OF THE TRUSS ANCHORS CALLED OUT ON THE CONTROL OF THE TRUSS FURNISHED THE CAMPACTY OF THE TRUSS ENGINEERING. ANY TRUSS ANCHORS CALLED OUT THAT ARE OF DECED THE GIPT VALUES OF BROUGHT TO THE ATTEMPOR OF THE ENGINEER FOR BUSISTITUTION.

4.1 PREFABRICATED WOOD TRUSSES AND ANCILLARY WOOD-WORK, FASTENERS, ETC.

1. PARRICATION TO SUMME SHOP ORWANDS AND CALCULATIONS FOR ALL ELEMENTS OVER BIONATURE AND SEAL OF PLODED MONINEER, REPOCLATY HINDINEER, SHOPPOLATY SHOWNED.

2. SPECIALTY ENGINEER MAY BURNET PREFERRED CONNECTION AND OTHER DETAILS IF DIFFERENT FROM SMARE ON DRIVINGES FOR APPOLA

DO NOT SHIM ANY FRAMING COMPONENTS. DO NOT CUT ANY FRAMING MEMBERS WITHOUT EXPRESS WRITTEN AUTHORITY FROM THE ENGINEER. DO NOT CUT ANY TRUBSES.

8. DO NOT LOCATE ANY HOLES CLOSER THAN FOUR (4) BOLT DIAMETERS FROM THE END OF ANY WOOD FRAMENO MITURES. ALL WOOD MEMBERS IN CONTACT WITH CONCRETE AND/OR MASCRET TO BE PRESSURE TREATED. ALL WOOD EXPOSED TO THE WEATHER OR IN CONTACT WITH THE GROUND TO SE PRESSURE TREATED TO 0.00

8. ALL ROOF SHEATHING TO BE MINIMUM 1902", AND WALL SHEATHING TO BE 15/02" WITH FRAMING AT 16" OC APA RATED CO PLYMODO AS COVERD IN 18" 1 OR ZP BOARD BY HUBER OAS, BLOCKED WHEE BHOWN ON ROOF PLAN, MALED TO ROOF AND WALL FRAMING USING AS RING SHANK NALS Q 6" ALL EUPPORTSD EDGES AND BLOCKING AND 6" O.C. FIELD OF ROOF PANELS. USE 100 Q 4" O.C. WITHIN 6" OF ALL RIDGES, WALLEYS AND EAVES OF THE ROOF.

10. LANINATED TIMBER ELEMENTS (BENTS, BEAMS, DECK, ETC., AND ANCILLARY ACCESSORIES, FASTENERS,

C. ABRICATOR TO SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR ALL ELEMENTS OVER SIGNATURE AND FAULDEF FLORIDA BORNITEER REPECIALTY EXCRIBETER) SPECIALTY ENGINEER MAY SIMILIT CONNECTION DETAILS FOR BENTS AND BEAMS AND FASTENING MODE 10 INTERVALS FOR DECK. (CONNECTIONS FOR BEAM-ENDS TO RESIST NOTATION)

13.1. CLUE-LAMINATED BEANS (CLUE AN) SYNLL BE COUGLAS FOR COMBENDING PLY WAT SUPILE EXPANSIAND
214-19 AT CANTILEVES BRANE HAVING THE FOLLOWING MINIMAIN PROPRETTEE: \$15 - 2.400 PM, \$15 - 160 PM, \$15
214-19 AT CANTILEVES BRANE HAVING THE FOLLOWING MINIMAIN PROPRETTEE: \$15 - 2.400 PM, \$15 - 160 PM, \$15
214-19 AT CANTILEVES BRANE HAVING THE FOLLOWING MINIMAIN PROPRETTEE: \$15 - 2.400 PM, \$15 - 160 PM, \$15
214-19 AT CANTILEVES BRANE HAVING THE FOLLOWING MINIMAIN PROPRETTY FOR THE LATEST
AMERICAN INSTITUTE FOR THINGER CONSTITUTION (ATTC) AND ASTIM STRANGES BLANGES SHALL BEARAN
APPROPRIETED EXPANSE STRANGE CHEMINATION FOR SHALL BE MANAFACTURED WITH HOUGHTRY STRANGARD
APPROPRIETED OR OF UPWARD TO SHANGAS BEACH BE MANAFACTURED WITH HOUGHTRY STRANGAS BLANGES CONTROLLED TO SHANGAS BEACH WITH CHEMINATION CAMBRILL WE HAVE REASTER CONDITIONS
BEACH ALE FOLLOWING THE FOLLOWING ARCHITECTURES WITH CHEMINA WAS BUILD WITH A STRANGE CONDITIONS
HAVE SEED CAMBRILL, PROVIDED CRIPPLE FRANKING ARCHITE STRANGE BUILT WITH MINIMAIN CAMBRIS STATED
AND ARCHITECTURES.

FIRE BLOCKING - DRAFT STOPPING:
FIRE BLOCKING SHALL BE PROVIDED IN ALL WALLS AND PARTITIONS TO CUT OFF ALL CONCEALED DRAFT OPENINGS
ODTH HORSE, AND VERTE AND TO FORM A FIRE BARRER RETWEEN FLOORS AND DETVIEN THE UPPER FLOOR AND THE
ROOF SPACE. WALLS AND STUD PARTITIONS SHALL SE FIRE BLOCKED AT TLOCKE, CELLINGS AND ROOFS.

CHINNEYS SHALL BE FIRE BLOCKED WITH NONCOMBUSTIBLE MATERIAL. THE FIRS BLOCKING OF SPACES BETWEEN CHINNEY AND WIGOU JOSTS, BEAMS, OR HEADERS SHALL BE TO A DEPTH OF 1" ONLY, PLACED ON STRIPS OF METAL OR MICRAL LATH LAID ACROSS THE SHACES BETWEEN COMBUSTIBLE MATERIAL AND THE CHINNEY.

FIRE BLOCKING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

CONCEALED SPINCES OF STUD WALLS AND PARTITION INCLUDING FURINED SPACES AT CELINO AND FLOOR LEVELS ALL INTERCONNECTIONS BETWEEN CONCEALED VEHICLE, AND MORE! INJURIES SUCH AS SOFTITS, ORDIT CORRESPONDED OF THE PACES AT CELINO AND FLOOR COME CORRESPONDED OF THE PACES AT CELINO AND FLOOR LEVELS AT ALL ALL INTERCONNECTIONS BETWEEN CONCEALED VERT. STUD WALLS ON PARTITION SPACES OFFICIAL DRIVEN ON AN ASSEMBLY OF TRUSSES OR FOO ON, JOSES FOR ENCHANDED SHALL BE PROVIDED FOR FULL BEPTH OF JOISTS OR TRUSSES AT THE ENDO AND OVER THE SUPPORTS

FRE BLOCKING SHALL CONSIST OF 2 INCH NOMINAL LUMBER, TWO THRICKESS OF 1. INCH HOMINAL LUMBER WITH BROKEN LAP JOINTS, JUY PARTICLE BOARD WITH WITH ASKITE BLOCKED BY 3Y PARTICLE BOARD, OYPOUN BOARDS, CEMENT FREE DOARD, BATTE, OR BLACKETS OF WHEREAL WOOL OR SHER OF OT SHIRAP APPROVED MATERIALS IN BUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. THE INTEGRITY OF FIRE BLOCKS SHALL BE WANTENED.

DOORS AND WINDOWS

I. ALL DOORS AND WINDOWS SHALL MEET WITH MANUFACTURER'S INSTALLATION REQUIREMENTS IN ACCORD WITH SBCCI COMPLIANCE REPORT.

SHE MANUFACTURERS SPECIFICATION FOR REQUIRED FASTENERS TO ATTACH ALL GARAGE DOOR, ENTRY DOORS, PATIO DOORS AND WINDOWS TO STRUCTURE. 3. GARAGE DOOR "BUCKS" SHALL BE ATTACHED TO STUDS WITH 1/4" X 4" BOLTS, SPACED EACH 24" O.C. WITH MINIMUM

A. DOOR AND WINDOW TYP, DETAILS

ALL SLEEPING ROOM BUILL HAVE AT LEAST ONE MIN. EXTERIOR EMERGENCY ENCAPE AND RESCUE OPENING MIN. NEIGHT 24" MIN. WIDTH 20" AND A MIN. NET CLEAR OPENING AREA 5.7 SQITT. FBG: 1005.4

UNLESS OTHERWISE SPECIFIED BY WINDOW OR DOOR MFG. LISE THE FOLLOWING FOR JAMES AND HEADERS. FOR EXTERIOR WINDOWS USE 1" x 4" P.T. BUCK ON JAMES AND HEAD. FOR EXTERIOR DOORS LISE 2x PT BUCK AND JAME.

7. FOR GARAGE DOOR USE MINIMUM 2" x 8" P.T. BUCK FOR JAMBS AND SPRING PADS

316" TAPCON WITH 1 3/4" PENETRATION = 230 LB OF HOLDING POWE

14" TAPCON WITH 1 1/4" PENETRATION = 320 LB CF HOLDING POWER

12" ANCHOR BOLT WITH 4 1/4" EMBED = 2410 LB OF HOLDING POWER

PROVIDE ENOUGH FASTENERS OF TYPE USED TO EQUAL OR EXCEED STATED LOADS ON TABLE MINIORIUM FASTENERS FOR 10P BILLOK 18 3.

9. TAPCON FASTENERS ON WINDOWS AND DOORS ARE REQUIRED NO CLOSES THAN 2" OS MORE THAN 4" FROM ENDS AND SPACED EQUAL DISTANCE ALONG BRANCE OF BUCK. WHEN USING 15" MICHOR BOLTS ON GARAGE DOORS, THEY SHALL BE SAVED APPROX EQUAL DISTANCE (MAX SPACING OF 47" AND SHALL NOT RETERREDE WITH PLACEMENT OF ROLLER SHACKET).

11. USE (1) WE SCREW IN ALL FACTORY HOLES IN FRAME NOT USED FOR TAPCONS. SCREWS ARE TO BE OF SUFFICIENT LENGTH FOR MIN. 50° E MISCO INTO WOOD BLICK. 12. NOTE: FRAME CONSTRUCTION
EACH CARAGE DOOR BUCK BHALL BE ATTACHED TO STUDS WITH 10" x 4" LAG BOLTS, NO CLOSER THAN 2" OR MORE
THAN 8" FROM BIOS AND SPACEA PAPROX EQUIAL DISTANCE BALANCE OF BUCK, (MAX SPACING OF 42") HEADER BUCK
TO BE ATTACHED WITH 12" x 4" LAG BOLTS.

HVACE:

PLANS ARE SCHEMATIC, EXACT LAYOUT OF UNITS, DUCTS, RETURN ARE GRULES AND SHIPTLY GROLLES ETC, BYALL, BE
DETERMINED BY A FLORIDA AND CONTRACTOR AND THE ARDITECT ON SITE AFTER TRAMING IS COMPLETE.

REMORITERED BLORIDE AND SEASED BENERY CALCULATIONS SHALL BE SUPPLIED TO THE BUSING DEPARTMENT BY
THE HVAC CONTRACTOR OR APPROVED ENERGY ANALYST AT THE TIME OF PERMIT APPLICATION.

SMOKE DETECTORS: 411 SMOKE DETECTORS TO BE ULLISTED, HARD WIRED, AND HAVE AUXILIARY BATTERY BACKUP.

ELECTRICAL:

1. ARCH HALF PROTECTION PROVIDED FOR ALL BEDROOM OUTLETS 210-11 NEC.

2. GROUND FALLT CRICLITE INTERRUPTERS WILL BE PROVIDED IN ALL EXTERIOR OUTLETS, MATHROOM OUTLETS, AND STOCKED COLLECTS WITHIN 60° OF WARTE SUPPLY.

2. ELECTRICAL PLANAS SHOWN MAY VARY ACTUAL LAYOUT AND ELECTRICAL SERVICE TO BE DETERMINED BY A SHALL BE APPROVED ELECTRICAL PROVIDED SHALL BE AND ELECTRICAN AND SHALL BE APPROVED BY A SHALL BE APPROVED AND SHALL BE APPROVED BY SHALL B

PLUMBING:

1. Fran is schematic. Actual location and size of rise vents smull be determined by a licensed Florida plumber and approved by the Architect of the Vents Smull be determined by a licensed Florida plumber and approved by the Architect of the Vents Smull by the Architect of the Sulliding. COMBER AND APPROVED BY THE ARCHITECT.

NO PLUMBION REQUIREMENTS SHALL INTERRUPT THE STRUCTURAL INTESRITY OF THE BUILDING.

PLUMBER TO PROVIDE AFFICIANT PRIOR TO FINAL PURGE PER FPC 610. ROOF PENETRATIONS:

ROOF PENETRATIONS:
VERIFY ALL REQUIRED ROOF PENETRATIONS FROM HAVE, PLUMBING, ELECTRICAL, AND OTHER DRAWINGS,
PROVIDE ALL NECESSARY PENETRATIONS WITH RECUIRED ACCESSORIES TO PREVENT MOISTURE WITHUSON
AND RETAINS STRUCTURAL SYMBALITY, IN ADDITION TO THOSE INDICATED ON THE ROOF PLAN. CONSULT
ARCHITECT IF ROOF PLAN CONFLICTS WITH ANY REQUIRED ROOF PENETRATRATIONS. FIRE RATED UL FLOOR, WALL, & ROOF PENETRATIONS:

Contractor must use specific undernitters laboritories desor numbered systems for penetrating arted walls, Floors, and cellings, acciments documents may or may not indicate certain systems. Contractor to puriss in Lindhiess on defamio.

DEFERRED SUBMITTALS: (N/A) L. IN ACCORDANCE WITH THE FIG. SPECIALTY ITEMS, PRE-ENGINEERED COMPONENTS, AND DESIGNABULD ELEMENTS MAY BE SUBJUTTED FOR APPROVAL BY THE ENGINEER OF RECORD AND THE BUILDING OPPICAL BY OBFERRED SUBJUTTED FOR APPROVAL BY STREET OF RECORD AND THE BUILDING OPPICAL BY OBFERRED SUBJECT ON CONSTRUCTION DOCUMENTS BUT WHICH REQUIRE DESIGN BY THE MANUFACTURER, SUPPLER OR INSTALLER.

2. DEFERRED SUBMITTALS ARE REQUIRED FOR THE FOLLOWING

3. SUBMITTALS SHALL INCLUDE:

A) CALCULATIONS, PREPARED AND SEALED BY AN APPROPRIATELY REGISTERED ENGINEER (THE "SPECIALTY

SUBMIT TWO (2) REPRODUCIBLE COPIES, TWO (2) WET SCALED COPIES FOR THE ARCHITECT AND ENGINEER OF RECORD'S FILE, AND ADDITIONAL COPIES AS ARE NECESSARY FOR THE BUILDING DEPARTMENT.

8. THE STRUCTURAL ENGINEER OF RECORD'S REVIEW IS STRICTLY LIMITED TO THE FOLLOWING

A) THE DRAWINGS AND CALCULATIONS ARE PROPERLY SEALED.
B) THE LOAD CRITERIA IS CONSISTENT WITH THE CONTRACT DOCUMENTS AND UNIFORM BUILDING CODE O) THE CONNECTIONS TO THE PRIMARY STRUCTURE ARE CONSISTENT WITH THE PRIMARY DESIGN.

D) THE BASE STRUCTURE IS CANALIE OF SUPPORTING THE IMPOSED LOADS.

6. IF THE LOADS IMPOSED ON THE STRUCTURE EXCEED THE LOAD ALLOWANCE PROPRIED. THE STRUCTURAL ENGINEER OF RECORD WILL RELECT THE SUBMITTAL CHAYAT THE COMMENTS WINTTEN DIRECTION WILL MODIFICATIONS TO THE BASE STRUCTURE TO ACCOMMODATE THE EXCELLITY TIESM(5) BE MADE BY THE ENGINEER OF RECORD, DEFERRED GUIBRITTAL ITEMS BHALL NOT BE RISTALLED UNTER THE ENGINEER OF RECORD AT MACHINET THE PROPRIED BY THE ENGINEER OF ARCHITECT HAVE APPROVED SUBMITAL DOCUMENTS.

GENERAL NOTES (APPLIES TO ALL TRADES):

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK FOR ALL TRADES

AL BIBLOGATION IN GENERAL CONTINUED BY CORPORATION OF WORK FOR ALL TRADES

ALL BIBLOGATIONS AND ORDERUL CONTINUED BY MUST REVIEW COMPLETE SETS OF DRAWNINGS, SPECIFICATIONS, ADDEBIA, AND ALL OTHER PORTIONS, OF THE COMPLETE CONSTRUCTION DOCUMENTS. YOUR SECTIONS WORK MAY BE SUPPLEMENTED BY OTHER SECTIONS IN THE COMPLETE OF THE DOCUMENTS MAY CONTINUE THAT ARE PART OF YOUR BIO, OR, MAY CONTINUE WITH YOUR BEGING. IN THE WORK OF THE MOST STREMMENT OF THE ADDEBINED OF THE ADDEBNIED OF TH

ABBREVIATIONS: SEE ABBREVIATION LIST FOR DEFINITIONS WHICH ARE USED IN THESE DRAWINGS AND SPECIFICATIONS.

CONDITIONS NOT DETAILED:

CONSTRUCTION DOCUMENTS CHINOT DETAIL EVERY CONDITION OR INSTRUCT THE CONTRACTOR ON HOW TO PERFORM
THE WORK EVERY CONNECTION, CORNER, FLASHING, ETC. MUST BE RESCUED. THESE AND OTHER CONDITIONS SHALL
BE HAVIOLED BY A MANIER COMPATIBLE WITH THE REST OF THE WORK, NOTHY ARCHITECT BY A CONDITIONS SHALL
ACCORDINGLY DEED THOSE OF HE WORK.

VERIFY SITE INFORMATION:

CONTRACTOR IS TO VERIFY ALL SITE INFORMATION AND ASSUMPTIONS, ESPECIALLY SUSTERNAMEAN CONCEALED CONSTITUTIONS SYNCLAYING HEDGEN UTILITIES AND SOL CONDITIONS. SHOULD ANY CONDITIONS AFFECTING THE WORK BE DESCOVERED BY THE CONTRACTOR, HE IS TO MOTREY THE ARCHITECT IMMEDIATELY CONTRACTOR SHALL VERIFY THAT EXISTING SOLD MEET THE MINIMUM CAPACITY PER THE STRUCTURAL DESIGN.

2010 FLORIDA BUILDING CODE - RESIDENTIAL and all current amendments 2008 NATIONAL ELECTRIC CODE and all current amendments

SITE SAFETY:

SHE SAFELY:

ALL CONTRACTORS AND OTHERS WORKING ON THIS PROJECT AGREE TO COMPLY WITH ALL BAFETY AND OTHER CODES
AND REDULATIONS, STATE, LOCAL AND INTORNAL, AND TO CONDUCT THEMSELYES AT ALL TIMES HA MANNER SO AS TO
PROSERVE AND CONDITIONS AT ALL TIMES FOR EXPERTIONE AND EXPERTISHED ON AND SURROUNDINGS THE PROJECT.

ARCHITECT'S INTENT:

WORKMANSHIP & WARRANTY:

IT SHALL BE THE DUTY OF EACH SUBCONTRACTOR WHO REQUIRES CHASES OR OPENINGS OF ANY KIND FOR HIS WORK, WHETHER SHOWN ON THE DRAWNINGS OR NOT, TO SEE THAT THEY ARE PROPERLY CONSTRUCTED AND IN THE CASE OF PRILINEE, IT SHALL BE THE DUTY OF SAME SUBCONTRACTOR TO COT, SUCH CHASED CONNIGS AS SAW BE INCCESSARY AND PROPER FOR HIS OWN WORK AT HIS OWN EXPENSE, BUT NOT WITHOUT OBTAINED THE APPRIAN. OF THE OBSERVAL.

IBCONTRACTOR BHALL WHERE WARRANTIES AND GUARANTIES ARE REQUIRED, SECURE AND DELIVER COPIES PERSON CONTRACTOR UPON COUNCETON OF THE WORK THE OPNERAL CONTRACTOR WILL COMPILE THE "IT AND GUARANTIE WORKING AND DELIVER TO THE COMPILET THE DATE OF SESURACE OF CERTIFICATE OF

ALL MOVEABLE OR ADJUSTABLE WORK SHALL REMAIN IN PEMPECT WORKING CROPE FROM ONE YEAR OF THE DATE OF CHRIPTICATE OF COUNTRY, INCLUDING HANDWARE, WEATHER, STEPPING, DODRIE, WINDOWS, DRAWERS, APPARATUR, MOCIONIEM, ESCHORCA, ESCENDER, AND ALL OTHER COUNTRY OF WORK THIS PLAND IS APPLICABLE. WHISEM WAS DISCUSSED OF WORK ALLOWS A QUIRANTEE OR WARRANTY FOR A PERSOL LONGER THAN ONE YEAR, SUCH WARRANTY OR CURANATEE AND LET THE PROPERTY OR COUNTRY OF THE PROPERTY OR CURANATEE AND LET THE PROPERTY OR CURANATEE AND THE PROPERTY OR CURANAT

COORDINATION:

CONTRACTORS SHALL REVIEW ALL DRAWNIGS AND SPECIFICATIONS PRIOR TO MAKING BIDS. BY MAXING BIDS.

TO ANY PROPERTY OF THE PROPERTY OF THEY MAKE DONE THESE A DRAWNIG MAY HADVERTENTLY OMIT SOME
IN SO FAM AS IT AFFECTS HE DRAWNIG. THIS DOSE NOT MEAN THAT THE SECONDARY CONTROL HE IS NOT RESULT.

SO FAM AS IT AFFECTS HE AS THE PROPERTY OF THE PROPERTY FUNCTIONING CODE: ACCEPTAGE OF THE PROPERTY FUNCTIONING CODE: ACCEPTAGE CITY. CITY OF THE PROPERTY FUNCTIONING CODE: ACCEPTAGE CITY. CITY OF THE PROPERTY FUNCTIONING CODE: ACCEPTAGE CITY. CITY OF THE PROPERTY FUNCTION OF COMPLETE AS HERO

PROVIDED BY OTHER AS YICL FOR THE CONTROL OF THE PROPERTY OF THE PROP

PRIOR TO ANY EXCAVATION WORK:

THE CONTRACTOR IS REQUIRED TO LOCATE MY AND ALL UTILITIES IN OR UNDER NEW CONSTRUCTION, AND MAKE
THE CONTRACTOR IS REQUIRED TO LOCATE MY AND ALL UTILITIES IN OR UNDER NEW CONTRACTOR IN THE THE PROPERTY OF THE THE PROPERTY OF THE MYSTER AND OWNER, CONTRACT ALL AFFORDS UTILITY COMMINES AND OWNER OF THE IMPERIOR CONSTRUCTION, AND OBTAIN
THER ASSISTANCE ALL COLTING PHER UTILITIES.

CODES COMPLIANCE:

THIS PROJECT WAS DESIGNED UNDER THE FOLLOWING CODES. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUPPLIERS, BY WORKING ON, OR PROVIDING MATERIALS FOR THIS PROJECT RESIDENT ASREE TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIRATIONS HAVING JURISDICTION OVER THIS FIRST, NO TO COMPLY WITH ALL COVERING CODES, INCLUDING BUT NOT LIMITED TO, THE MOST CURRENT GETTIONS AS ADDITED BY THE STATE OF

HEIGHT ELEVATIONS:

BELDRON FEIGHT ELEVATIONS TYPICALLY LISE THE MAIN FLOOR SLAB AS ELEVATION O'O' (BULDING ELEVATIONS MAY BE BUSED ON THE SUBJECT, "IN SEESTE PLAN AND FLOOR FLAMB), SITE ELEVATIONS MAY BE BASED ON THE SUBJECT, WHICH MAY USE MEAN SEALEVEL, NOV, OR OTHER SUBJECT, WHICH ELEVATIONS MAY BE BASED ON THE SUBJECT, WHICH ELEVATIONS MAY BE BASED ON THE MORE PLAN OF FLOOR FLAMB, THE SUBJECT AND RECEIVED MAY BE BASED ON THE THE PLAN OF FLOOR FLAMB, THE SUBJECT AND RECEIVED MAY BE BASED ON THE THE AND AND AND THE SUBJECT AND RECEIVED MAY BE BASED ON THE THE SUBJECT AND STREET UNDER SUBJECT OF THE CORNINGS, THY MAY BE BASED ON THE THE SUBJECT OF THE CORNINGS, THY MAY BE BASED ON THE THE SUBJECT OF T

NTHE EVENT OF ANY AMERICATY OR QUESTION WITH REGARD TO THE INTENT OF THE DOCUMENTS, THE ARCHITECT HALL INTERPRET THE CONSTRUCTION DOCUMENTS.

THE FOXLOWING GENERAL & SPECIFIC NOTES SHALL APPLY EQUALLY TO ALL CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS ENGAGED IN EXECUTION OF WORK ON THESE PLANS.

ABBREVIATIONS: ARCHITECTURAL ANCHOR BOLT AIR CONDITIONER AIR HANDLING UN ASSESTOS ACOUSTICAL TILE

BOARD BACK FLOW PREVENTOR BEAM BENCH MARK BY OWNER BUILT UP

CIVIL CONCRETE BEAM CEILING

CEILING CHAIK BOARD CONCRETE MAS COLUMN CONCRETE CONTINUOUS CLAY PIPE CHAIR RAIL CERAMIC TILE COLD WATER CONTROL (CON

ELECTRICAL

FIELD (FLOOR) DRAIN FIRE EXTINGUISHER FINISH FLOOR FIXED GLASS FIRE HOSE

FIBERGLASS REIN FOOTING FOOT (OR FEET)

GALLON

M MECHANICAL
MAX MAXIMUM
MANUF MANUFACTURER
MO MASONRY OPENING
MR MAP RARL
MSNRY MASONRY

OC ON CENTER OAB OR APPROVED SIMILAR

PLF PLASTIC LAMINATE FINISH PL PLATE

PL PLATE
PLYWO PLYWOOD
PT PRESSURE TREATED
PVC POLY VINYL CHLORIDE
PIB POLYSIS BOARD
PC POURED CONCRETE

RADIUS
RETURN AIR
ROOF DRAIN
JO REFRIGERATOR
REMODRAIN
REMODRAIN
REMODRAIN
RETAINING WALL
RIGHT-OF-WAY
ROOF TOP UNIT

STYRENE BUTADIENE STYRENE SOLID CORE SQUARE FOOT (OR FEET) STAINLESS STEEL SOLID SURPACING MATERIAL SHEET

TIE BEAM
TO BE DETERMINED
TO MATCH EXISTING
TOP OF EXISTING
TOP OF MASONRY
TOP OF SLAB
TOP OF WALL
THERMO PLASTIC OLEFIN
TYPICAL

UNLESS NOTED OTHERWISE

WASHER
WALL CAP
WATER PROOF
WOOD
WELDED WIRE FABRIC

XEPS EXPANDED POLYSTYRENE

VB VAPOR BARRIER
VTR VENT THRU ROOM

QT QUARRY TILE

NIC NOT IN CONTRACT
NTS NOT TO SCALE
NOT NOT SQUARE FEET (OR FOOT)

GAL GFI GI GSF

JST JT JOIST

PROTECTION RGLASS REINFORCED CONCRETE

UND FAULT INDICATOR

GALVANIZED IRON GROSS SQUARE FEET (OR FOOT) GAS WATER HEATER

KEVIN SCHWEIZER CORAL DEDGN & FLANNING INC.

ALL IDEAS, DESIGNS, PLANS AND ARRANGEMENTS INDICATED ON THIS SHEET RETHE PROPERTY OF KE SCHWEIZER ARCHITECT AND WERE CREATED. EVOLVED AND DEVELOPED FOR THIS SPECIFIC PROJECT.

Ш REMODI - 1965 CHWEIZER ORIGINAL - 18 HOMEWOOD DRIVE, EISLE , FLORIDA 32809 CE

SIDEN Ш ~ S ШĘ NOS

GENERAL NOTES

SEPTEMBER 10, 2019

SHEET NUMBER

A.0.2 CHARLES KEVIN SCHWEIZER

a 9/10/19

