



City of Belle Isle Job Site Card Building PERMIT 2018-04-018

PERMIT MUST BE POSTED ON SITE - A permit expires in 6 months if approved inspections are not recorded within that time that time frame. **You are responsible for scheduling and keeping track of all inspections.**

Permit Number: 2018-04-018

Issue Date: 4/06/2018

Site Address: 4011 Isle Vista Ave

Parcel Number: 20-23-30-0668-01-000

Subdivision:

Class: Residential

Description of Work: Erect Screen Enclosure around existing pool & rear of SFR 51'x24'

Issued To: MARK'S LAWN MAINTENANCE AND SCREENS INC

Business Phone: 407 748-2667

Name: LEE, MARK SCOTT

Contractor License SCC051708

Payment Date & Method: 4/11 / 2018

Visa Master Card Amex Discover Check / Money Order # 93010

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

BUILDING	INSPECTOR	DATE	COMMENTS
100 Demo Final			
110 Footing			
120 Stem Wall			
130 Slab			
140 Lintel/Tie Beam			
150 Down Pour			
160 Tilt Panel			
170 Window In-progress			
180 Sheathing (wall)			
190 Sheathing (roof)			
195 Dry-in (roof/walls)			
200 Framing			
205 Drywall Nail/Screw			
210 Fire Rated Assembly			
220 Above-Ceiling			
230 Insulation			
240 Lathe			
250 Final			
260 Other			

Inspection requests are to be emailed to BDscheduling@UniversalEngineering.com; a confirmation email will be sent back to you upon scheduling. **Next-Day Inspection requests must be made by 4pm.** Please include the following in your request: Permit #, project address, type of inspection, date of the requested inspection, a contact name & a contact phone number. AM or PM may be requested but cannot be guaranteed. Inspection results will be sent out the following business day. A permit expires in 6 months if approved inspections are not recorded /scheduled within that time frame. **You are responsible for scheduling and keeping track of all your inspections** –

Universal Engineering Sciences - 3532 Maggie Blvd., Orlando, FL 32811
Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com



City of Belle Isle
Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

RECEIVED APR 04 2018

Building / Land Use Permit Application

DATE: 4/4/18

PERMIT # 2018-04-018

PROJECT ADDRESS 4011 Isle Vista Avenue, Belle Isle, FL 32809 32812

PROPERTY OWNER Douglas & Jennifer Dorr PHONE 407-908-3010 VALUE OF WORK (labor & material) \$ 6,100.00

PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

Erect Screen Enclosure around existing pool @ rear of SFR 51' X 24'

Please provide information, if applicable.

- SINGLE FAMILY RESIDENCE: 8.5"x11" Plat Survey, Plot Plan of Home and Floor Plans of New Construction/Revision Required
BOAT DOCK: DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
SEPTIC SYSTEM (RESIDENTIAL): - Provide verification of OC Health Dept approval for on-site septic tank system, per FAC Chap. 64E-6
Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 20-23-30-0668-01-000

To obtain this information, please visit http://www.ocpaf.org/Searches/ParcelSearch.aspx

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCRoACH INTO ANY EASEMENT OR REQUIRED SETBACK. Survey specific foundation plan required to show compliance with zoning setbacks. Note: this Zoning Approval MAY or MAY NOT be In conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

Wind Exposure Category: B C D

PLANNING & ZONING APPROVAL: See signature on following page DATE 4-10-18

Table with columns: SPRINKLERS REQ'D, Y, N, REVIEW, Date: Sent, RCD. Rows include ZONING, CERT OF OCC, TRAFFIC, SCHOOL, FIRE, SWIMMING POOL, SCREEN ENCLOSURE, ROOFING, BOAT DOCK, BUILDING, WINDOW(S), DOOR(S), FENCE, SHED, DRIVEWAY, OTHER.

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)
CONSTRUCTION TYPE Aluminum Screen
OCCUPANCY GROUP Comm Res: Single Fam Multi Fam
#BLDG. #UNITS #STORIES 1 TOTAL SQ.FT. 1224
MAX. FLOOR LOAD MAX. OCCUPANCY
MIN. FLOOD ELEV. LOW FLOOR ELEV.
WATER SERVICE WELL SEPTIC

BUILDING REVIEWER [Signature] DATE 4-6-18

VERIFIED CONTRACTOR'S LICENSE & INSURANCE ARE ON FILE [Signature] DATE 3-6-18

Per FSS 105.3.3: An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC.

Handwritten calculations: 151K 6K4, 25, 24, 49=2, 24.50, 73.50

PAID 4-11-2018 AMEX 93010



City of Belle Isle
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
 Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

RECEIVED
 APR 04 2018

Building Permit (Land Use) Application
 To be completed as required by State Statute Section 713 and other applicable sections.

PERMIT # 2018-04-018

Owner's Name Douglas + Jennifer Dorr
 Owner's Address 4011 Isle Vista Ave

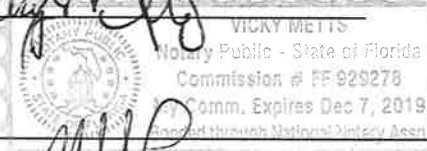
Contractor Name <u>Mark S Lee</u>	Company Name <u>Mark's Lawn Maint & Screens, Inc</u>
License # <u>SCC051708</u>	Company Address <u>575 Justamere Rd.</u>
Contact Phone/Cell <u>407-748-2667</u>	City, State, ZIP <u>Geneva, FL 32732</u>
Contact Email <u>Leemka@AOL.com</u>	Contact Fax <u>NA</u>

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

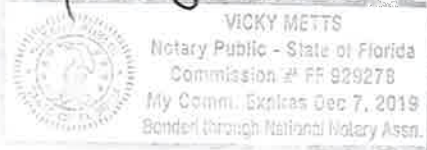
I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations (www.floridabuilding.org) and City Ordinances (www.municode.com) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ROOFING, ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, SCREEN ENCLOSURES, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner Signature [Signature]
 The foregoing instrument was acknowledged before me this 2/16/18
 by Douglas Dorr who is personally known to me
 and who produced _____
 as identification and who did not take an oath.
 Notary as to Owner _____
 State of Florida
 County of Orange



Contractor Signature [Signature]
 COMPANY NAME Mark's Lawn Maint & Screens, Inc
 The foregoing instrument was acknowledged before me this 2/16/18
 by Mark S Lee who is personally known to me
 and who produced _____
 as identification and who did not take an oath.
 Notary as to Owner _____
 State of Florida
 County of Orange



Impervious Surface Ratio Worksheet
 Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per City Code, Section 50-74: Impervious Surface Ratio

- Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).
 Total Lot Area 10,617 X 0.35 =
 Allowable Impervious Area (BASE) 3,715.95
- Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc.
 - House 3701
 - Driveway 586
 - Walkway _____
 - Accessory Buildings _____
 - Pool & Spa 1248
 - Deck & Patio _____
 - Other _____

Actual Impervious Area (AIA) 52.13

- If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.
- If AIA is greater than BASE, then onsite retention **must be provided**.

Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed



City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

Building / Land Use Permit Application

DATE: 4/4/18

PERMIT # 2018-04-018

PROJECT ADDRESS 4011 Isle Vista Avenue, Belle Isle, FL 32809 ✓ 32812

PROPERTY OWNER Douglas & Jennifer Dorr PHONE 407-968-3010 VALUE OF WORK (labor & material) \$ 6,100.00

PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

Erect Screen Enclosure around existing pool @ rear of SFR
51' X 24'

Please provide information, if applicable.

- **SINGLE FAMILY RESIDENCE:** 8.5"x11" Plat Survey, Plot Plan of Home and Floor Plans of New Construction/Revision Required
- **BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- **SEPTIC SYSTEM (RESIDENTIAL):** - Provide verification of OC Health Dept approval for on-site septic tank system, per FAC Chap. 64E-6
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 20-23-30-0668-01-000

To obtain this information, please visit <http://www.ocpafl.org/Searches/ParcelSearch.aspx>

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCR OACH INTO ANY EASEMENT OR REQUIRED SETBACK. Survey specific foundation plan required to show compliance with zoning setbacks. Note: this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

PLANNING & ZONING APPROVAL: 4/10/18

DATE 4/10/18

Wind Exposure Category: B C D

SPRINKLERS REQ'D Y N

If Required - SUBMIT COPY OF PLANS FOR FIRE

REVIEW Date: Sent _____ RCD _____

ZONING N \$ 165

CERT OF OCC Y N \$

TRAFFIC Y N \$

SCHOOL Y N \$

FIRE Y N \$

SWIMMING POOL Y N \$

SCREEN ENCLOSURE Y N \$

ROOFING Y N \$

BOAT DOCK Y N \$

BUILDING N \$ 7350

WINDOW(S) Y N \$

DOOR(S) Y N \$

FENCE Y N \$

SHED Y N \$

DRIVEWAY Y N \$

OTHER Y N \$

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)

CONSTRUCTION TYPE Aluminum Screen

OCCUPANCY GROUP Comm Res: Single Fam Multi Fam

#BLDG. _____ #UNITS _____ #STORIES 1 TOTAL SQ.FT. 1224

MAX. FLOOR LOAD _____ MAX. OCCUPANCY _____

MIN. FLOOD ELEV. _____ LOW FLOOR ELEV. _____

WATER SERVICE _____ WELL _____ SEPTIC _____

BUILDING REVIEWER _____ DATE _____

VERIFIED CONTRACTOR'S LICENSE & INSURANCE ARE ON FILE NCCV DATE 3-6-18

Per FSS 105.33:

An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC.

Page 1 of 7

1% BCAIB FEE 2.5 mm

1.5% DCA FEE 2.5 mm

TOTAL 242.50

OTHER PERMITS REQUIRED:

ELECTRICAL Y NA

PREPOWER Y NA

MECHANICAL Y NA

PLUMBING Y NA

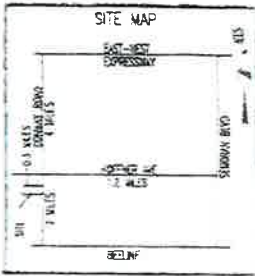
ROOFING Y NA

GAS Y NA

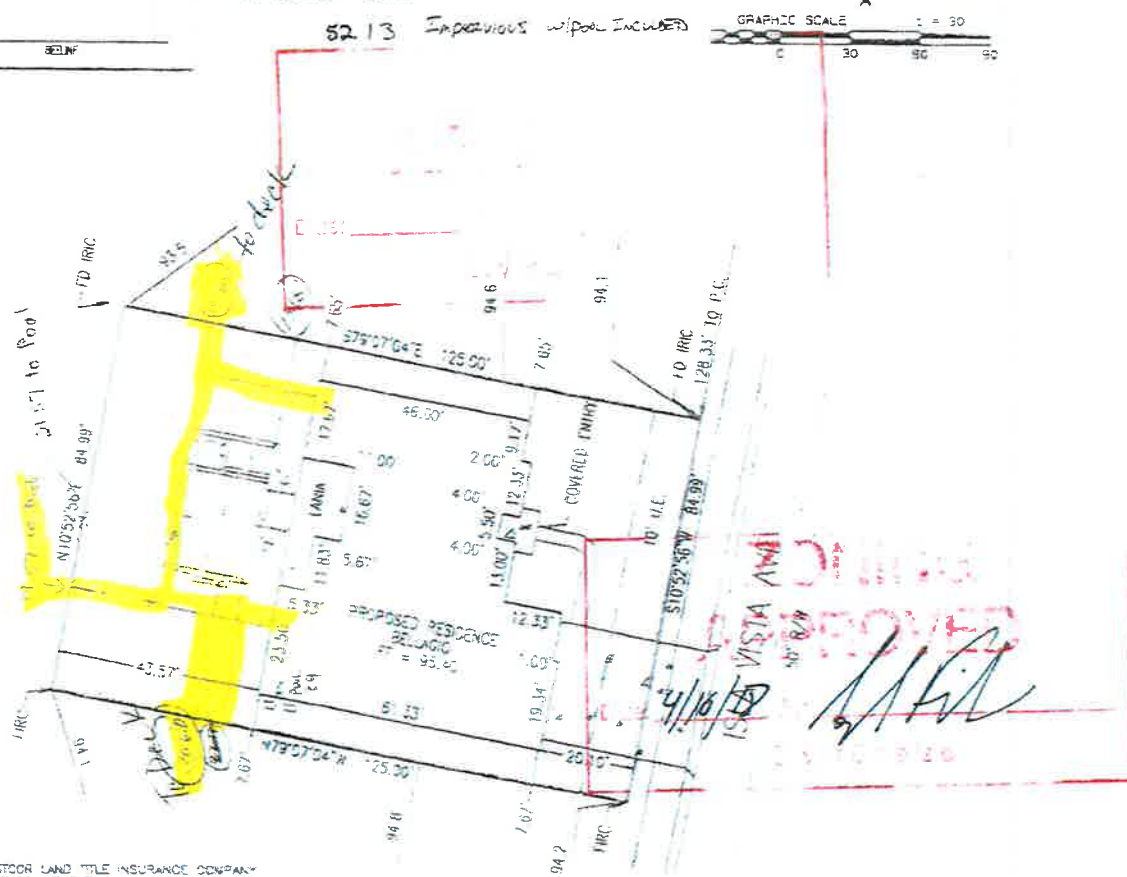
1211K
624
25
24
49.50
24.50
73.50

FINAL SURVEY

LOT 100, BELLE VISTA ON LAKE CONWAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 69, PAGES 12 THROUGH 15, INCLUSIVE, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



Lot 100 = 106,757 S.F.
 RES. COAGE = 3701 S.F.
 DRIVEWAY/SIDEWALK = 586 S.F.
 1st POOL/DECK = 1248 S.F.
 Total Area = 5535 S.F.



APPROVED
 4/16/11
 [Signature]

WESTCOOR LAND TITLE INSURANCE COMPANY
 TITLE COMMITMENT
 PLANT FILE M-7448
 SCHEDULE B-2 EXCEPTIONS
 ITEMS 5, 6, 7, 8, 11 & 12 - NOT A SURVEY MATTER
 ITEMS 1, 2, 3 & 4 NONE APPARENT
 ITEM 10 SHOWN ON SURVEY

NOTES:
 - THIS SKETCH IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A LICENSED SURVEYOR AND MAPPER
 - LINES SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS RIGHTS-OF-WAY OR ADJOINERS
 - THIS SURVEY DOES NOT DEFINE THE LIMITS OR EXTENT OF POTENTIAL JURISDICTIONAL WETLAND BOUNDARIES
 - LINES SHOWN HEREON ARE WITHIN ZONE X, AS SHOWN ACCORDING TO THE "FIRM" MAP NUMBER 208500430 E AND COUNTY NUMBER 2085 SAID E. EFFECTIVE DECEMBER 8, 2000.
 - THE PARCEL ID NUMBER FOR THE PROPERTY SHOWN HEREON IS 20-23-10-0688-00-010
 - ELEVATIONS SHOW AS SUCH ARE "AS-BUILT" BASED ON SITE BENCHMARKS

CERTIFIED TO:
 DOUGLAS S. DORR AND JENNIFER ANN DORR
 SWANN HADLEY STUMP DIETRICH & SPEARS, P.A.
 WELLS FARGO BANK, N.A.
 WESTCOOR LAND TITLE INSURANCE COMPANY

CERTIFICATE
 I HEREBY CERTIFY THAT THE ATTACHED FINAL SURVEY OF THE HEREIN DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN NOVEMBER, 2011. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH IN CHAPTER 81G 7-6 OF FLORIDA ADMINISTRATIVE CODE, AS ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.001

FOR THE FIRM BY
 EDWARD J. WEEB, JR. P.E.
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NO. 3376

FCM - FOUND CONCRETE MONUMENT	C/M - CONCRETE MONUMENT	A - DELTA OR CENTRAL ANGLE	FEN - FENCE	A - ARC LENGTH
F.I.R.C. - FOUND IRON ROD AND CAP	P - POINT OF TANGENCY	P.I. - POINT OF INTERSECTION	CLR - CLEAR	S/W - SIDEWALK
F.I.R. - FOUND IRON ROD	A/C - POINT OF CURVATURE	A/C - AIR CONDITIONING UNIT	FND - FOUND	PR - PROPOSED
F.F.E. - FINISHED FLOOR ELEVATION	P.T. - POINT OF TANGENT	(P) - PLAT	EX - EXISTING	EX - EXISTING
S.I.R.C. - SET IRON ROD AND CAP	SFR - SINGLE FAMILY RESIDENCE	EL - ELEVATION	FL - FLOW LINE	FL - FLOW LINE
F.M. - FOUND MANHOLE AND BOX	N.T.S. - NOT TO SCALE	CONC - CONCRETE	UE - UTILITY EASEMENT	UE - UTILITY EASEMENT
(M) - FIELD MEASUREMENT	PR - PROPOSED	EASE - EASEMENT	DE - DRAINAGE EASEMENT	DE - DRAINAGE EASEMENT
(C) - CALCULATED MEASUREMENT	EX - EXISTING	GOR - CORNER	BLDC - BUILDING	BLDC - BUILDING

PREPARATION DATE	MID-STATE SURVEYING & MAPPING PROFESSIONAL LAND SURVEYORS 1011 W SMITH ST, ORLANDO, FL 32804 PHONE 321-436-9391 CERTIFICATE NO LB 7108	PROJECT INFORMATION
SHOT/PLOT PLAN 8/15/11		MODEL BELLAGO
FINAL SURVEY 11/28/11		DRAWN BY: OEM
		REVIEWED BY: EJM

Project

*** Plan Types:**

- Screen Room/Sun Room/Fill In
- Pool Screen/Cage (Non-Removable Screen – Designed to withstand actual Wind Speed)
- Car Port
- Patio Cover
- Other:

Using 4" Flat Bar - Beam to post Detail - 4' screw on Beam & 4 screws on post

* Standard Non Standard Revision Commercial \$75.00 Rush Fee

*Project Address: 4011 Isle Vista Ave

*City: Belle Isle

Date: 3-22-12

*Contractor Name: MARK'S LAWN MAINTENANCE & SCREENS, INC. *DORR job*

*Address: 575 Justamere Rd.

*City: Geneva

*Zip Code: 32732

*Phone/Fax: 407-748-2667

*Email: LEEMKA@AOL.COM

Choose One: Mail Pick Up E-File Fed Ex 3 No of Copies
 *(For FedEx option go to www.aluminumscreendesign.com and provide FedEx account #)

* Payment: Check Credit Card*

*(For Credit Card option go to www.aluminumscreendesign.com to pay by credit card)

Engineering prepared by:



Engineer: Michael Thompson, MSc, P.E. (P.E. # 47509)
 4401 Vineland Road- Suite A6 Orlando, FL 32811
 Office: 407-734-1470 Cell: 407-721-2292
 Project Manager Paul Thomas 386-479-9504 Fax: 888-923-8181
 Email: aluminumscreendesign@yahoo.com
 Website: www.aluminumscreendesign.com CA#30930

Handwritten signature

* Ultimate Wind Speed (mph): 130 Exposed Category: C Risk Category: 1

Screen Room/Sun Room/Fill In:

Insulated Pan Roof
 Gutter Fascia Block Wall Conventional Wall 4th Wall
 Uprights X Top Plate X Kick Plate _____

Pool Screen/Cage :

Dome Gable Mansard Shed/Slope
 Gutter Fascia Block Wall Conventional Wall
 Beams 2" X 5" Uprights 2" X 4" Purlin 2" X 2" Kick Plate _____

Car Port:

Insulated Pan Roof
 Gutter Fascia Block Wall Conventional Wall 4th Wall
 Beams X Post X

Patio Cover:

Insulated Pan Roof
 Gutter Fascia Block Wall Conventional Wall 4th Wall
 Beams X Post X



Concrete:

Existing New: 4" Slab Pier Ribbon Footer X
 Pavers 6" Thickened Edge

Other: Using 4" Flat Bar on Beam to post Detail 4 screens on each
the mark

Note: In the event that there is a conflict with the design plans and general notes and design standard, the contractor shall utilize the more stringent dimensions and member sizes prior to ordering materials, fabrication and/or construction between the plans and the general notes and design standard.

Engineer: Michael Thompson, MSc, P.E. (PE#47509)
 4401 Vineland Road Suite A6, Orlando, FL 32811
 (CA#30930)-Ph 407-734-1470/Fax 407-734-1790

Handwritten signature/initials

General Notes & Design Standards
(Non-Removable Pool Screen)

The following are general design standards. More stringent design standards may be noted on the plans. In the event of a conflict in plans and/or design standard dimensions and/or member sizes, the contractor must utilize the more stringent dimensions and/or member sizes prior to ordering materials, fabrication and/or construction.

Design Codes:

Florida Building Code 2017 (6th Edition)
Aluminum Design Manual 2015
ASCE 7-10

Design Loads:

Pursuant to FBC Chapters 16 & 20
Ultimate Wind: -130 MPH (FBC Table 2002.4)
Risk Category:-See attach site specific plan sheet (FBC Table 1604.5)
Exposure Category: -See attach site specific plan sheet (FBC 1609.4.3)

Additional Load requirements:

Structural members supporting screened enclosures are designed for wind in both of two orthogonal directions using the pressures given in Table 2002.4. Each primary member is also designed for a 300 pound load applied vertically downward along any 1 foot of any member, not occurring simultaneously with wind load. In addition to wind pressures, purlins is also be designed for a 200 pound load applied vertically downward along any 1 foot of any member, not occurring simultaneously with wind load.

Design Basis:

Allowable Stress Design (ASD) = Allowable Strength Design (ASD) divide by safety factor

General Requirements:

Reproductions of contract drawings by contractor in lieu of preparation of shop drawings signifies acceptance of information shown as correct and obligates himself to any expense, real or implied, arising from their use.

A change to the structural drawings due to the acceptance of alternates and/or substitutes is the responsibility of the contractor and must be submitted to the engineer for approval.

The general contractor and each subcontractor shall review the approve construction plans in its entirety and verify all existing conditions prior to the start of any work. All inconsistencies shall be reported to the designer and/or structural engineer, if needed. Should contractor construct the premises in a fashion not consistent with the plans prepared by the designer and/or structural engineer, or in any fashion, change the plans and drawing without the review and approval from the designer and/or structural engineer. Then designer and/or structural engineer shall bear no responsibility or liability for the construction of premises and accuracy of the drawings.

Foundation and Earthwork:

Applicable only when unsuitable soils are encountered.
When unsuitable soils are encountered as specified bearing strata, notify owner's representative/engineer.
Soil bearing capacity – 2,000 psf Minimum

Provide neat excavation for footing and place concrete immediately after excavation and inspection.

Pump water from footing excavation if greater than one inch.
Compact all fill to 95% ASTM D698 density.

Unit soil weight = 105 pcf
Internal angle of friction = 30 degrees

Coeff. Of friction between footing and soil = 0.5



Structural Aluminum:

Conform to latest edition of Florida Building Code and Aluminum Design Manual standard practice for aluminum design.

All aluminum shall be 6005-T5 (E= 10,000 ksi; Fy = 35 ksi) with a minimum wall thickness of 0.046"

Splicing prohibited without prior approval as to location and type.

Burning of holes in aluminum members is prohibited. Any member with burned holes must be replaced.

Aluminum Protection:

Shall be pursuant FBC 2003.8.4. Aluminum surfaces in contact with dissimilar materials, lime-mortar, concrete, or other masonry materials, shall be protected with powder coated or ESP paint or alkali-resistant coatings, such as heavy-bodied bituminous paint or water-white methacrylate lacquer.

Screws:

Aluminum self-tapping screws shall conform to ASME B18.6.4 specification.

Self-tapping screws shall meet the requirements of ADM J.5

Maximum fastener spacing shall not exceed (3+20t) where "t" is the member thickness in inches.

For roofing and siding connection, use minimum #12 screws for end and side laps spaced at 12" max for side lap and end lap fasteners shall be no more than 2" from the end of overlapping sheets.

For bottom plate and column base, secure with 1/4" tapcons a minimum embedment of 1 1/8" and 2 1/4" respectively into concrete footer.

Bolts:

Bolts and other fasteners shall be aluminum, stainless steel, hot-dip or electro-galvanized steel. Double cadmium plated steel bolts may also be used. Bolt holes diameter shall not exceed 1/16" larger than the bolt diameter and shall be spaced at a minimum of 2.5 times the bolt diameter with minimum edge distance of 1.5 times the bolt diameter.

Bolts shall meet the requirements of ADM J.3

Chair Rails, Purlins & Wind Brace:

Chair rails, purlins and wind brace shall conform with the below maximum span length. If the event contractor's specific site plan conflict with the below recommended length, the contractor shall utilize the more stringent dimensions and member sizes prior to ordering materials, fabrication and/or construction.

Wind Speed = 130 MPH

2 x 2 Chair Rail = 6'-0" 2 x 2 Purlins = 6'-6" 2 x 2 Wind Brace = 4'-3" 2 x 3 (0.125) Wind Brace = 9'-0"
2 x 3 Chair Rail = 8'-0" 2 x 3 Purlins = 8'-0" 2 x 3 Wind Brace = 8'-0" 2 x 4 Wind Brace = 9'-0"

Concrete

Conform to ACI 318, latest edition and ACI 301

Compressive Ultimate Strength (Minimum at 28 days) shall be 3000 psi

Exposed chamfer edges shall be 3/4"

Reinforcing Steel:

Conform to ACI 318 and 315, Latest edition

All reinforcement steel shall be ASTM A615 Grade 60.

Smooth dowels & ties shall be ASTM A185

Welded Wire Fabric shall be ASTM A185 or A82 (Flat sheet).

Deformed bar anchors shall be ASTM A496, Grade 70

Cover: Footing 3"

Washer:

Washers shall be used under bolt heads and under nuts.





Hole Alignment:

Poor matching holes must be rejected. Contractor shall prevent holes from drifting and distort the metal. All chips and foreign matter between contacting surfaces shall be removed before assembly.

Cables:

Contractor shall provide a minimum 1/8" diameter stainless steel cable tie down at side and rear walls of pool screen enclosure. Contractor shall secure cable to top of column located at each corner and where there is a difference in column height locations. In addition, cables shall be spaced to provide wall support not exceeding 227.5 ft² with bottom each end of cables secure to concrete slab with a minimum 3"ASTM A-36 steel clip with 2-1 1/2" x 1/4" tapcons or equal.

Beams & Uprights:

In the event of a conflict with the values in this table and the site specific plan, the contractor must utilize the more stringent dimensions and/or member sizes between the site specific plan and the below applicable span limitations prior to ordering materials, fabrication and/or construction.

130 MPH			
PRIMARY ROOF MEMBERS-POOL CAGE ENCLOSURES			
SIZE	Roof Span *Maximum Beam Spacing = 6'-0"	Roof Span *Maximum Beam Spacing = 6'-8"	Roof Span *Maximum Beam Spacing = 7'-2"
2 X 4	17'-9"	16'-9"	15'-6"
2 X 5	23'-3"	22'-0"	19'-0"
2 X 6	26'-0"	25'-0"	22'-9"
2 X 7	28'-0"	27'-0"	26'-6"
2 X 8	34'-0"	33'-0"	32'-6"
2 X 9	36'-0"	35'-0"	34'-6"
2 X 10	40'-0"	39'-0"	38'-6"

Upright -Pool Cage Enclosures				
Upright	130 MPH			
SIZE	Height			
2 X 4	11'-6"			
2 X 5	13'-6"			
2 X 6	15'-0"			
2 X 7	16'-9"			
2 X 8	17'-9"			
2 X 9	18'-9"			
2 X 10	22'-0"			

Knee Bracing:

Contractor shall provide knee bracing on 45 degree angle pursuant the attach detail sheet that specified size and length requirements. Knee bracing on upright above super gutter intersection shall be connected to upright no more than 6" above the super gutter. Knee brace size shall be a minimum of 2 x 2 for beam span of 15' max; 2 x 3 for 30' max; 2 x 4 for beam span greater than 30'.

Purlin:

Contractor is required to install purlins spaced to align with column spacing; however, spacing between purlins shall not exceed 7'-2".

Header Beam:

Contractor is required to install a minimum 2 x 7 header beam supported with 3 x 3 column space at 10 feet (max) with a 2' x 2' x 1'-6" concrete footer with 3#5 each way when screen enclosed is required to be attached super gutter at the interface of the insulated roof panel. Contractor is required to install insulated roof covering pursuant to the Florida product approval specification (35 psf).

Intermediate Girts:

Contractor is required to install intermediate chair rails/girts spaced at mid-span between the chair rails and top rail or 6'-0" max on center when column height exceeds 11 feet. Contractor is also required to install one additional intermediate chair rail/girt to be located 3 feet below the top rail when column height exceeds 14 feet.

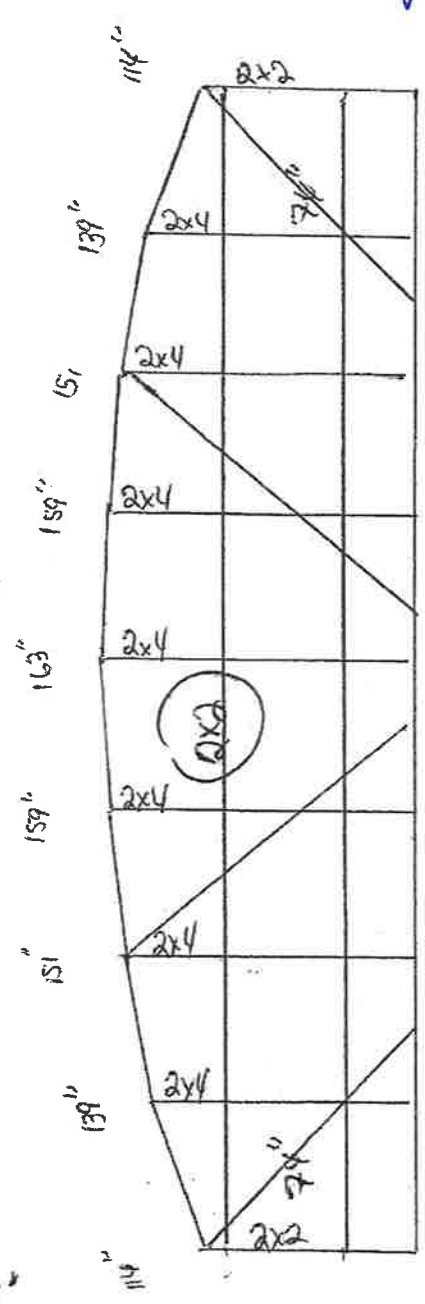
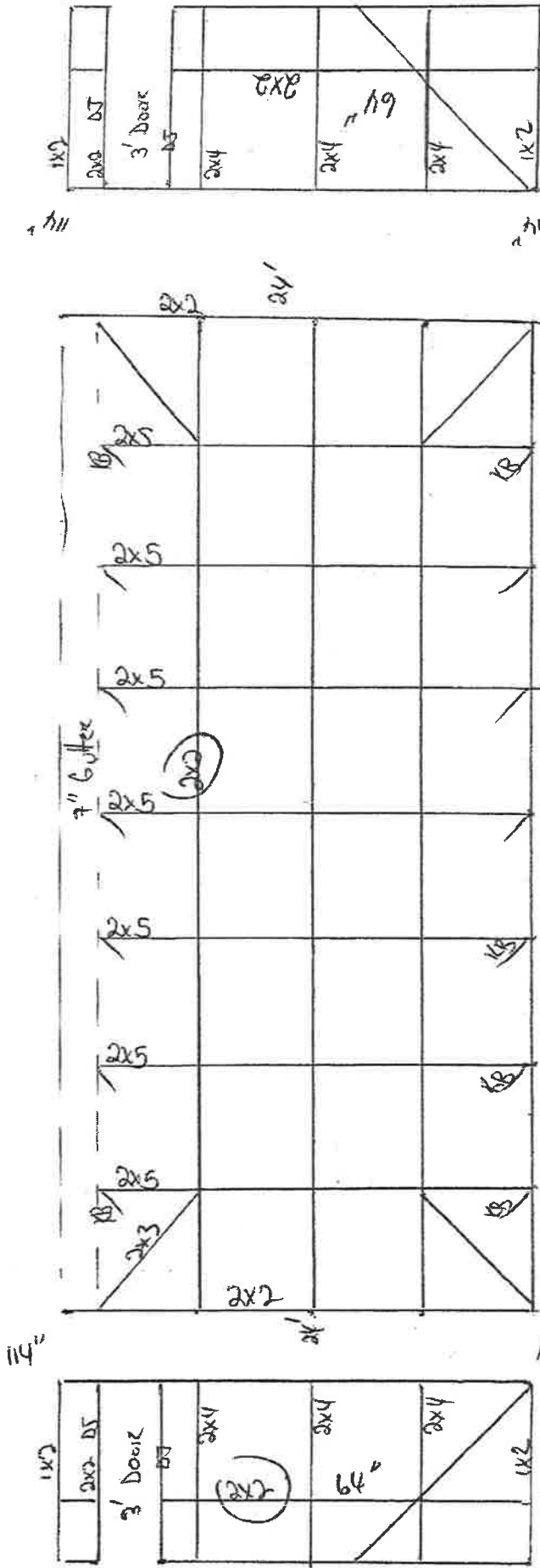
Edge Distance:

Contractor is required to install uprights to provide a 2" minimum clearance from edge of slab and/or footer.



Dore job

In the event of a conflict in member sizes shown on the plans and the general notes, the contractor must utilize the more stringent member size requirements



Reviewed for Code Compliance
 Universal Engineering Sciences

[Handwritten signature]

LIMITED POWER OF ATTORNEY

Date: 4/4/18

I hereby name and appoint Kelly Lee to be my lawful attorney in fact to act for me and apply for a screen enclosure permit for work to be performed at the location described as:

4011 Isle Vista Ave
(Address of Job)

Douglas + Jennifer Dorv
(Owner of Property)

And to sign my name and do all things necessary to this appointment.

[Signature]
(Signature of Certified Contractor)

Marks Lee
(Printed Name of Contractor and License Number)

STATE OF FLORIDA

COUNTY OF Seminole

The foregoing instrument was acknowledged before me this 4 day of April, 2018.

by Marks Lee, who is personally known to me or has produced _____ (type of identification) as identification and who did

take an oath.

Teresa Jean Selsor
Signature of Notary Public, State of Florida

(SEAL)

Print/Type/Stamp Name of Notary Public



HOA Approval

Keith Cooper

From: Tony & Vera Allo <allovera5@yahoo.com>
Sent: Friday, February 23, 2018 1:23 PM
To: Keith Cooper
Subject: Fw: Fwd: Approval for BELLE VISTA: 4011 Isle Vista Ave, Pool with Enclosure

Dorr how approval below....ty
Tony

Sent from Yahoo Mail on Android

----- Forwarded Message -----

From: "Doug Dorr" <dorrtopq@gmail.com>
To: "Tony & Vera Allo" <allovera5@yahoo.com>
Sent: Fri, Feb 23, 2018 at 12:03 PM
Subject: Fwd: Approval for BELLE VISTA: 4011 Isle Vista Ave, Pool with Enclosure
FYI in case you need it for any of the permit requests.

Regards
Doug Dorr
Sent from my iPhone

Begin forwarded message:

From: <pwisniewski@cfl.rr.com>
Date: February 23, 2018 at 10:41:28 AM EST
To: ARB Mailbox <ARB@lelandmanagement.com>
Subject: Re: BELLE VISTA: 4011 Isle Vista Ave, Pool with Enclosure

Nicole,

Subject application for pool with enclosure at 4011 Isle Vista Ave is hereby approved.

Three ARB committee members (Sue, Felix and myself) have indicated approval.

Regards,

Phil

----- ARB Mailbox <ARB@lelandmanagement.com> wrote:

Note: Please keep in mind that ARB Board member should not act in its own ARB decision. Thank you.

Dear ARC Chairperson:

Attached please find an Architectural Review Application for your review and approval.

Association Name: BELLE VISTA

Homeowner(s) address: 4011 ISLE VISTA AVE

Modification: POOL WITH ENCLOSURE

Received date: 2/19/2018

Should you have questions regarding this Architectural Review Application please feel free to contact me.

Thank you,

Nicole Hashimoto, Architectural Review Coordinator

6972 Lake Gloria Blvd, Orlando, FL 32809

Phone: (407) 781-5783

Email: arb@lelandmanagement.com

Website: www.LelandManagement.com

[<http://lelandmanagement.com/system/images/images/000/000/124/original/signaturelogo.png>]

Leland

Management

Closing or Estoppel requests -

www.communitydocsnow.com <<http://www.communitydocsnow.com/>>

Assessment or Billing questions -

assessments@lelandmanagement.com <<mailto:assessments@lelandmanagement.com>>

Gate questions or requests -

gates@lelandmanagement.com <<mailto:gates@lelandmanagement.com>>

Community Information - <http://www.lelandmanagement.com/contents/resident-portal>

Community Information - <http://www.lelandmanagement.com/contents/resident-portal>



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783**

(850) 487-1395

**LEE, MARK SCOTT
MARK'S LAWN MAINTENANCE AND SCREENS INC
575 JUSTAMERE ROAD
GENEVA FL 32732**

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbecue restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION**

SCC051708 ISSUED: 06/14/2016

**CERTIFIED SPECIALTY CONTRACTOR
LEE, MARK SCOTT
MARK'S LAWN MAINTENANCE AND SCREEN
SPECIALTY STRUCTURE CONTRACTOR**

IS CERTIFIED under the provisions of Ch. 489 FS.
Expiration date : AUG 31, 2018 L1606140001580

DETACH HERE

RICK SCOTT, GOVERNOR

KEN LAWSON, SECRETARY

**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD**

LICENSE NUMBER	
SCC051708	

The SPECIALTY STRUCTURE CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2018



**LEE, MARK SCOTT
MARK'S LAWN MAINTENANCE AND SCREENS INC
575 JUSTAMERE ROAD
GENEVA FL 32732-9633**





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

03/23/2018

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Mc Lain, Pierce & Associates, Inc. 720 S Park Ave Sanford FL 32771		CONTACT NAME: Amanda Meadows PHONE (A/C No, Ext): (407) 323-8142 E-MAIL ADDRESS: alm@insurefl.com		FAX (A/C, No): (407) 321-4292	
INSURED Mark's Lawn Maintenance & Screens, Inc. 575 Justamere Road Geneva FL 32732		INSURER(S) AFFORDING COVERAGE			NAIC #
		INSURER A : FUBA (FLORIDA CITRUS, BUSINESS & INDUSTRI			31259
		INSURER B :			
		INSURER C :			
		INSURER D :			
		INSURER E :			
		INSURER F :			


COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:					EACH OCCURRENCE	\$
						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$
						MED EXP (Any one person)	\$
						PERSONAL & ADV INJURY	\$
						GENERAL AGGREGATE	\$
						PRODUCTS - COMP/OP AGG	\$
							\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY					COMBINED SINGLE LIMIT (Ea accident)	\$
						BODILY INJURY (Per person)	\$
						BODILY INJURY (Per accident)	\$
						PROPERTY DAMAGE (Per accident)	\$
							\$
	UMBRELLA LIAB EXCESS LIAB DED <input type="checkbox"/> RETENTION \$					EACH OCCURRENCE	\$
						AGGREGATE	\$
							\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input checked="" type="checkbox"/> Y	N/A 10650030	06/30/2017	06/30/2018	PER STATUTE	OTH-ER
						E.L. EACH ACCIDENT	\$ 500,000
						E.L. DISEASE - EA EMPLOYEE	\$ 500,000
						E.L. DISEASE - POLICY LIMIT	\$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**

City of Belle Isle 1600 Nela Ave Belle Isle FL 32809	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
--	---

© 1988-2015 ACORD CORPORATION. All rights reserved.

CERTIFICATE OF INSURANCE

ISSUE DATE

3/23/2018

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUDER, AND THE CERTIFICATE HOLDER.

IMPORTANT: IF THE CERTIFICATE HOLDER IS AN ADDITIONAL INSURED, THE POLICY(IES) MUST BE ENDORSED. IF SUBROGATION IS WAIVED, SUBJECT TO THE TERMS AND CONDITIONS OF THE POLICY, CERTAIN POLICIES MAY REQUIRE AN ENDORSEMENT. A STATEMENT ON THIS CERTIFICATE DOES NOT CONFER RIGHTS TO THE CERTIFICATE HOLDER IN LIEU OF SUCH ENDORSEMENT(S).

PRODUCER McLain, Pierce & Associates, Inc. PO Box 1419 Sanford, FL 32772	INSURER(S) AFFORDING COVERAGE	
	INSURER A:	Lloyd's of London
INSURED Mark's Lawn Maintenance & Screens, Inc. 575 Justamere Road Geneva, FL 32732	INSURER B:	N/A
	INSURER C:	N/A
	INSURER D:	N/A
	INSURER E:	N/A

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE	POLICY EXPIRATION DATE	LIMITS	
A	General Liability	AMTE038020	1/30/2018	1/30/2019	General Aggregate	\$1,000,000
					Products-Corn/Op Agg.	\$500,000
					Personal & Adv. Injury	\$500,000
					Each Occurrence	\$500,000
					Damage Prem Rented To You	\$100,000
					Med Expense (Any one person)	\$5,000
B	Personal Liability				Combined Single Limit	
					Medical Payments To Others	
C	Excess Liability				Each Occurrence	
					Aggregate	
D						
E	Property				Building	
					Contents	
					Loss Of Use	

THIS INSURANCE IS ISSUED PURSUANT TO THE FLORIDA SURPLUS LINES LAW. PERSONS INSURED BY SURPLUS LINES CARRIERS DO NOT HAVE THE PROTECTION OF THE FLORIDA GUARANTY ACT TO THE EXTENT OF ANY RIGHT OF RECOVERY FOR THE OBLIGATION OF AN INSOLVENT UNLICENSED INSURER. SURPLUS LINES INSURERS' POLICY RATES AND FORMS ARE NOT APPROVED BY ANY FLORIDA REGULATORY AGENCY.

Description of Operations / Specialty Items

Contractors subcontracted work - building construction, repair of one or two family dwellings, Landscape Gardening, Sheet Metal Work outside

Certificate Holder

City of Belle Isle
 1600 Nela Ave
 Belle Isle, FL 32809

Should any of the above described policies be cancelled before the expiration date thereof, notice will be delivered in accordance with the policy provisions.

Authorized Signature





SEMINOLE COUNTY BUSINESS TAX RECEIPT

JOEL M. GREENBERG, SEMINOLE COUNTY TAX COLLECTOR
PO BOX 630 | SANFORD, FL 32772 | 407-665-1000
WWW.SEMINOLECOUNTY.TAX

VALID THROUGH 09/30/18

MARK'S LAWN MAINTENANCE &
SCREENS, INC
575 JUSTAMERE RD
GENEVA, FL 32732
MARK S LEE (OFFICER)

Account #:040420

REGULATED
License # - SCC051708
Qualifier- LEE MARK SCOTT

Receipt #: WEB#2017081815206

Amount Paid: \$ 45.00

Date Paid: 08/18/2017

BUSINESS OWNER, PLEASE NOTE THE FOLLOWING:

• **DISPLAY THE ABOVE RECEIPT PROMINENTLY:** This Business Tax Receipt shall be displayed conspicuously at the place of business in such a manner that it can be open to the view of the public and subject to inspection by all duly authorized officers of the County. Upon failure to do so the business shall be subject to the payment of another business tax for the same business or profession.

• **RENEW THIS TAX BEFORE IT EXPIRES:** Pursuant to Florida Statutes, all Business Tax Receipts shall be issued by the Tax Collector beginning July 1st of each year, and it shall expire on September 30th of the succeeding year. Those Business Tax Receipts issued as renewal accounts beginning October 1st shall be delinquent and subject to a delinquency penalty of 10% for the month of October, plus an additional 5% penalty for each month of delinquency thereafter until paid; provided that the total penalty shall not exceed 25% of the business tax for the delinquent establishment (Florida Statute [FS] 205.053 [1]).

A 25% penalty shall be imposed on any individual engaged in any new business or profession without first obtaining a Seminole County Business Tax receipt ([FS] 205.053 [2]).

This Business Tax Receipt is only a receipt for business taxes paid. It does not permit the taxpayer to violate any existing regulatory or zoning laws of the state, county, or municipality, nor does it exempt the taxpayer from any other required licenses, registrations, certifications, or permits. Business Tax requirements are subject to legislative change.

• **REPORT ALL CHANGES:** The holder of this Business Tax Receipt is required to report a change in the following: Ownership, Business Location, Mailing Address, or any other information that would alter the status of the current year's information. This includes, but is not limited to, the loss of or a change in a State or Regulatory License which was used to qualify for the business identified on the current County Business Tax Receipt. If you have any changes to report, contact the Business Tax Department at 407-665-7636.

MARK'S LAWN MAINTENANCE &
SCREENS, INC
575 JUSTAMERE RD
GENEVA, FL 32732

 **RICK SINGH, CFA - ORANGE COUNTY PROPERTY APPRAISER**

- [Searches](#)
- [Sales Search](#)
- [Results](#)
- [Property Record Card](#)
- [My Favorites](#)

[Sign up for e-Notify...](#)

4011 Isle Vista Ave < 20-23-30-0668-01-000 >

Name(s)	Physical Street Address
Dorr Douglas S	4011 Isle Vista Ave
Dorr Jennifer A	Postal City and Zipcode
Mailing Address On File	Orlando, FL 32812
4011 Isle Vista Ave	Property Use
Belle Isle, FL 32812-2219	0103 - Single Fam Class III
Incorrect Mailing Address?	Municipality
	Belle Isle



View 2017 Property Record Card

- [Property Features](#)
- [Values, Exemptions and Taxes](#)
- [Sales Analysis](#)
- [Location Info](#)
- [Market Stats](#)
- [Update Information](#)

2018 values will be available in August of 2018.

Property Description

[View Plat](#)

BELLE VISTA ON LAKE CONWAY 69/12 LOT 100


Total Land Area 10,617 sqft (+/-) | 0.24 acres (+/-) GIS Calculated Notice

Land

Land Use Code	Zoning	Land Units	Unit Price	Land Value	Class Unit Price	Class Value
0100 - Single Family	R-1-AA	1 LOT(S)	working...	working...	working...	working...

Page 1 of 1 (1 total records)

Buildings

Important Information		Structure				
	Model Code:	01 - Single Fam Residence	Actual Year Built:	2011	Gross Area:	3701 sqft
	Type Code:	0103 - Single Fam Class III	Beds:	3	Living Area:	2819 sqft
	Building Value:	working...	Baths:	3.0	Exterior Wall:	Concrete Block Stucco
	Estimated New Cost:	working...	Floors:	1	Interior Wall:	Drywall

Page 1 of 1 (1 total records)

Extra Features

Description	Date Built	Units	XFOB Value
There are no extra features associated with this parcel			

This Data Printed on 03/22/2018 and System Data Last Refreshed on 03/21/2018

Handwritten signature

*** Plan Types:**

- Screen Room/Sun Room/Fill In
- Pool Screen/Cage (Non-Removable Screen – Designed to withstand actual Wind Speed)
- Car Port
- Patio Cover
- Other:

Using 4" Flat Bar - Beam to post Detail - 4" screw on Beam & 4 screws on post

* <input checked="" type="checkbox"/> Standard <input type="checkbox"/> Non Standard <input type="checkbox"/> Revision <input type="checkbox"/> Commercial <input type="checkbox"/> \$75.00 Rush Fee
* Project Address: 4011 Isle Vista Ave
* City: Belle Isle Date: 3-22-18

* Contractor Name: MARK'S LAWN MAINTENANCE & SCREENS, INC. DORR job

* Address: 575 Justamere Rd.

* City: Geneva

* Zip Code: 32732

* Phone/Fax: 407-748-2667

* Email: LEEMKA@AOL.COM

* Choose One: Mail
 Pick Up
 E-File
 Fed Ex* 3 No of Copies
 *(For FedEx option go to www.aluminumscreendesign.com and provide FedEx account #)

* Payment: Check
 Credit Card*
 *(For Credit Card option go to www.aluminumscreendesign.com to pay by credit card)

Engineering prepared by:



Engineer: Michael Thompson, MSc, P.E. (P.E. # 47509)
 4401 Vineland Road- Suite A6 Orlando, FL 32811
 Office: 407-734-1470 Cell: 407-721-2292
 Project Manager Paul Thomas 386-479-9504 Fax: 888-923-8181
 Email: aluminumscreendesign@yahoo.com
 Website: www.aluminumscreendesign.com CA#30930

Handwritten signature

* Ultimate Wind Speed (mph): 130 Exposed Category: C Risk Category: 1

Screen Room/Sun Room/Fill In:

Insulated Pan Roof
 Gutter Fascia Block Wall Conventional Wall 4th Wall
 Uprights X Top Plate X Kick Plate _____

Pool Screen/Cage :

Dome Gable Mansard Shed/Slope
 Gutter Fascia Block Wall Conventional Wall
 Beams 2" x 5" Uprights 2" x 4" Purlin 2" x 2" Kick Plate _____

Car Port:

Insulated Pan Roof
 Gutter Fascia Block Wall Conventional Wall 4th Wall
 Beams X Post X

Patio Cover:

Insulated Pan Roof
 Gutter Fascia Block Wall Conventional Wall 4th Wall
 Beams X Post X

Concrete:

Existing New: 4" Slab Pier Ribbon Footer X
 Pavers 6" Thickened Edge

Other: Using 4" Flat Bar on Beam to post Detail 4 screens on each
the mark

Note: In the event that there is a conflict with the design plans and general notes and design standard, the contractor shall utilize the more stringent dimensions and member sizes prior to ordering materials, fabrication and/or construction between the plans and the general notes and design standard.



Engineer: Michael Thompson, MSc, P.E. (PE#47509)
 4401 Vineland Road Suite A6, Orlando, FL 32811
 (CA#30930)-Ph 407-734-1470/Fax 407-734-1790

Handwritten signature

General Notes & Design Standards

(Non-Removable Pool Screen)

The following are general design standards. More stringent design standards may be noted on the plans. In the event of a conflict in plans and/or design standard dimensions and/or member sizes, the contractor must utilize the more stringent dimensions and/or member sizes prior to ordering materials, fabrication and/or construction.

Design Codes:

Florida Building Code 2017 (6th Edition)

Aluminum Design Manual 2015

ASCE 7-10

Design Loads:

Pursuant to FBC Chapters 16 & 20

Ultimate Wind: -130 MPH (FBC Table 2002.4)

Risk Category: -See attach site specific plan sheet (FBC Table 1604.5)

Exposure Category: -See attach site specific plan sheet (FBC 1609.4.3)

Additional Load requirements:

Structural members supporting screened enclosures are designed for wind in both of two orthogonal directions using the pressures given in Table 2002.4. Each primary member is also designed for a 300 pound load applied vertically downward along any 1 foot of any member, not occurring simultaneously with wind load. In addition to wind pressures, purlins is also be designed for a 200 pound load applied vertically downward along any 1 foot of any member, not occurring simultaneously with wind load.

Design Basis:

Allowable Stress Design (ASD) = Allowable Strength Design (ASD) divide by safety factor

General Requirements:

Reproductions of contract drawings by contractor in lieu of preparation of shop drawings signifies acceptance of information shown as correct and obligates himself to any expense, real or implied, arising from their use.

A change to the structural drawings due to the acceptance of alternates and/or substitutes is the responsibility of the contractor and must be submitted to the engineer for approval.

The general contractor and each subcontractor shall review the approve construction plans in its entirety and verify all existing conditions prior to the start of any work. All inconsistencies shall be reported to the designer and/or structural engineer, if needed. Should contractor construct the premises in a fashion not consistent with the plans prepared by the designer and/or structural engineer, or in any fashion, change the plans and drawing without the review and approval from the designer and/or structural engineer. Then designer and/or structural engineer shall bear no responsibility or liability for the construction of premises and accuracy of the drawings.

Foundation and Earthwork:

Applicable only when unsuitable soils are encountered.

When unsuitable soils are encountered as specified bearing strata, notify owner's representative/engineer.

Soil bearing capacity – 2,000 psf Minimum

Provide neat excavation for footing and place concrete immediately after excavation and inspection.

Pump water from footing excavation if greater than one inch.

Compact all fill to 95% ASTM D698 density.

Unit soil weight = 105 pcf

Internal angle of friction = 30 degrees

Coeff. Of friction between footing and soil = 0.5





Structural Aluminum:

Conform to latest edition of Florida Building Code and Aluminum Design Manual standard practice for aluminum design.

All aluminum shall be 6005-T5 (E= 10,000 ksi; Fy = 35 ksi) with a minimum wall thickness of 0.046"

Splicing prohibited without prior approval as to location and type.

Burning of holes in aluminum members is prohibited. Any member with burned holes must be replaced.

Aluminum Protection:

Shall be pursuant FBC 2003.8.4. Aluminum surfaces in contact with dissimilar materials, lime-mortar, concrete, or other masonry materials, shall be protected with powder coated or ESP paint or alkali-resistant coatings, such as heavy-bodied bituminous paint or water-white methacrylate lacquer.

Screws:

Aluminum self-tapping screws shall conform to ASME B18.6.4 specification.

Self-tapping screws shall meet the requirements of ADM J.5

Maximum fastener spacing shall not exceed (3+20t) where "t" is the member thickness in inches.

For roofing and siding connection, use minimum #12 screws for end and side laps spaced at 12" max for side lap and end lap fasteners shall be no more than 2" from the end of overlapping sheets.

For bottom plate and column base, secure with 1/4" tapcons a minimum embedment of 1 1/8" and 2 1/4" respectively into concrete footer.

Bolts:

Bolts and other fasteners shall be aluminum, stainless steel, hot-dip or electro-galvanized steel. Double cadmium plated steel bolts may also be used. Bolt holes diameter shall not exceed 1/16" larger than the bolt diameter and shall be spaced at a minimum of 2.5 times the bolt diameter with minimum edge distance of 1.5 times the bolt diameter.

Bolts shall meet the requirements of ADM J.3

Chair Rails, Purlins & Wind Brace:

Chair rails, purlins and wind brace shall conform with the below maximum span length. If the event contractor's specific site plan conflict with the below recommended length, the contractor shall utilize the more stringent dimensions and member sizes prior to ordering materials, fabrication and/or construction.

Wind Speed = 130 MPH

2 x 2 Chair Rail = 6'-0" 2 x 2 Purlins = 6'-6" 2 x 2 Wind Brace = 4'-3" 2 x 3 (0.125) Wind Brace = 9'-0"
2 x 3 Chair Rail = 8'-0" 2 x 3 Purlins = 8'-0" 2 x 3 Wind Brace = 8'-0" 2 x 4 Wind Brace = 9'-0"

Concrete

Conform to ACI 318, latest edition and ACI 301

Compressive Ultimate Strength (Minimum at 28 days) shall be 3000 psi

Exposed chamfer edges shall be 3/4"

Reinforcing Steel:

Conform to ACI 318 and 315, Latest edition

All reinforcement steel shall be ASTM A615 Grade 60.

Smooth dowels & ties shall be ASTM A185

Welded Wire Fabric shall be ASTM A185 or A82 (Flat sheet).

Deformed bar anchors shall be ASTM A496, Grade 70

Cover: Footing 3"



Washer:

Washers shall be used under bolt heads and under nuts.



Hole Alignment:

Poor matching holes must be rejected. Contractor shall prevent holes from drifting and distort the metal. All chips and foreign matter between contacting surfaces shall be removed before assembly.

Cables:

Contractor shall provide a minimum 1/8" diameter stainless steel cable tie down at side and rear walls of pool screen enclosure. Contractor shall secure cable to top of column located at each corner and where there is a difference in column height locations. In addition, cables shall be spaced to provide wall support not exceeding 227.5 ft² with bottom each end of cables secure to concrete slab with a minimum 3" ASTM A-36 steel clip with 2-1 1/2" x 1/4" tapcons or equal.

Beams & Uprights:

In the event of a conflict with the values in this table and the site specific plan, the contractor must utilize the more stringent dimensions and/or member sizes between the site specific plan and the below applicable span limitations prior to ordering materials, fabrication and/or construction.

130 MPH			
PRIMARY ROOF MEMBERS-POOL CAGE ENCLOSURES			
SIZE	Roof Span *Maximum Beam Spacing = 6'-0"	Roof Span *Maximum Beam Spacing = 6'-8"	Roof Span *Maximum Beam Spacing = 7'-2"
2 X 4	17'-9"	16'-9"	15'-6"
2 X 5	23'-3"	22'-0"	19'-0"
2 X 6	26'-0"	25'-0"	22'-9"
2 X 7	28'-0"	27'-0"	26'-6"
2 X 8	34'-0"	33'-0"	32'-6"
2 X 9	36'-0"	35'-0"	34'-6"
2 X 10	40'-0"	39'-0"	38'-6"

Upright -Pool Cage Enclosures				
Upright	130 MPH			
SIZE	Height			
2 X 4	11'-6"			
2 X 5	13'-6"			
2 X 6	15'-0"			
2 X 7	16'-9"			
2 X 8	17'-9"			
2 X 9	18'-9"			
2 X 10	22'-0"			

Knee Bracing:

Contractor shall provide knee bracing on 45 degree angle pursuant the attach detail sheet that specified size and length requirements. Knee bracing on upright above super gutter intersection shall be connected to upright no more than 6" above the super gutter. Knee brace size shall be a minimum of 2 x 2 for beam span of 15' max; 2 x 3 for 30' max; 2 x 4 for beam span greater than 30'.

Purlin:

Contractor is required to install purlins spaced to align with column spacing; however, spacing between purlins shall not exceed 7'-2".

Header Beam:

Contractor is required to install a minimum 2 x 7 header beam supported with 3 x 3 column space at 10 feet (max) with a 2' x 2' x 1'-6" concrete footer with 3#5 each way when screen enclosed is required to be attached super gutter at the interface of the insulated roof panel. Contractor is required to install insulated roof covering pursuant to the Florida product approval specification (35 psf).



Intermediate Girts:

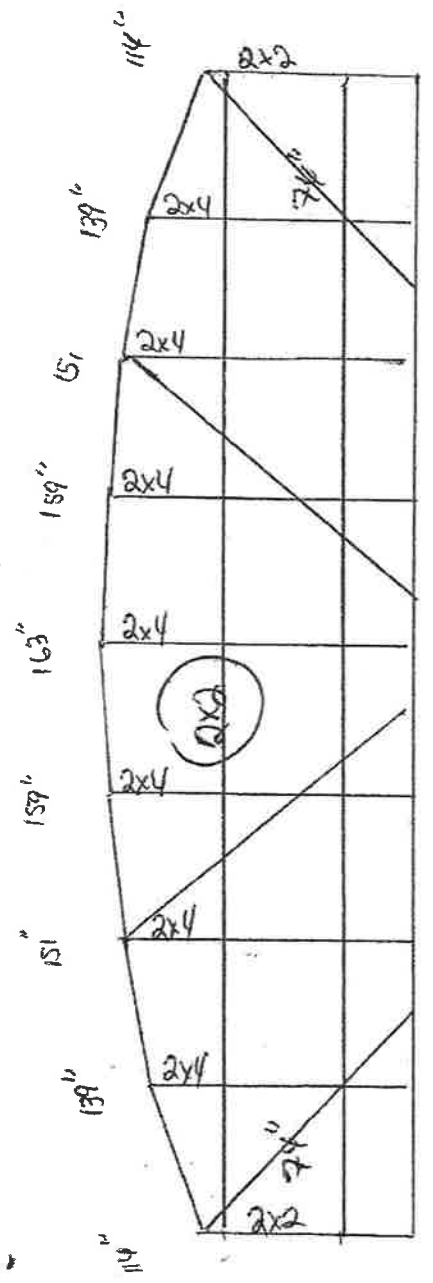
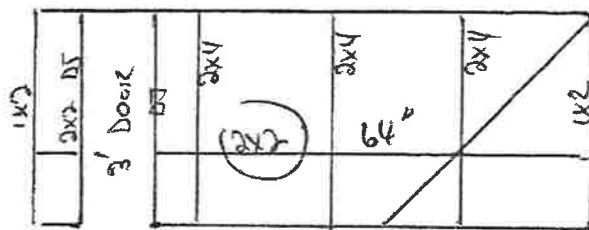
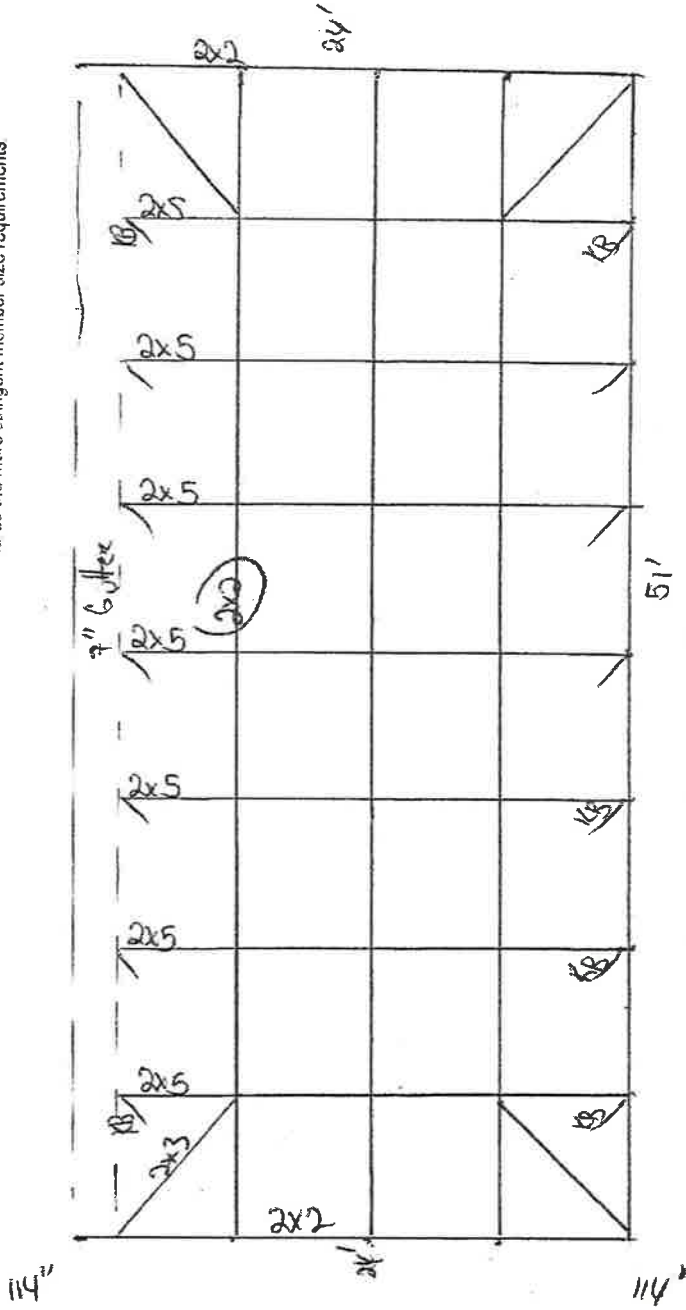
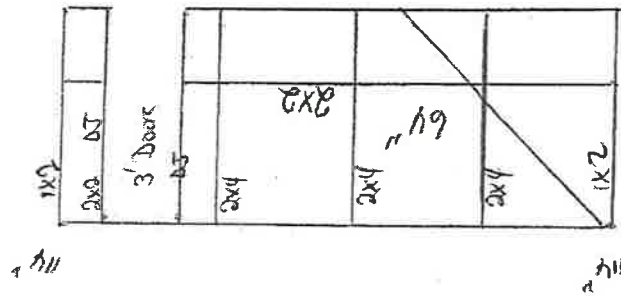
Contractor is required to install intermediate chair rails/girts spaced at mid-span between the chair rails and top rail or 6'-0" max on center when column height exceeds 11 feet. Contractor is also required to install one additional intermediate chair rail/girt to be located 3 feet below the top rail when column height exceeds 14 feet.

Edge Distance:

Contractor is required to install uprights to provide a 2" minimum clearance from edge of slab and/or footer.

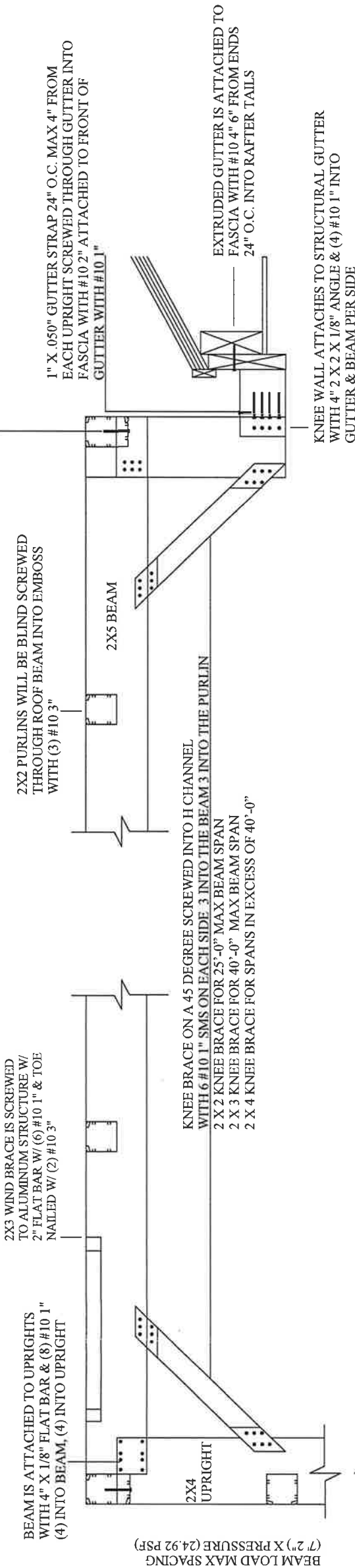
Dore job

In the event of a conflict in member sizes shown on the plans and the general notes, the contractor must utilize the more stringent member size requirements



[Handwritten signature]

ALUMINUM SCREEN DESIGN



MICHAEL THOMPSON
 4401 VINELAND ROAD
 SUITE A6
 ORLANDO, FL 32811
 P.E. # 47509
 CA#30930

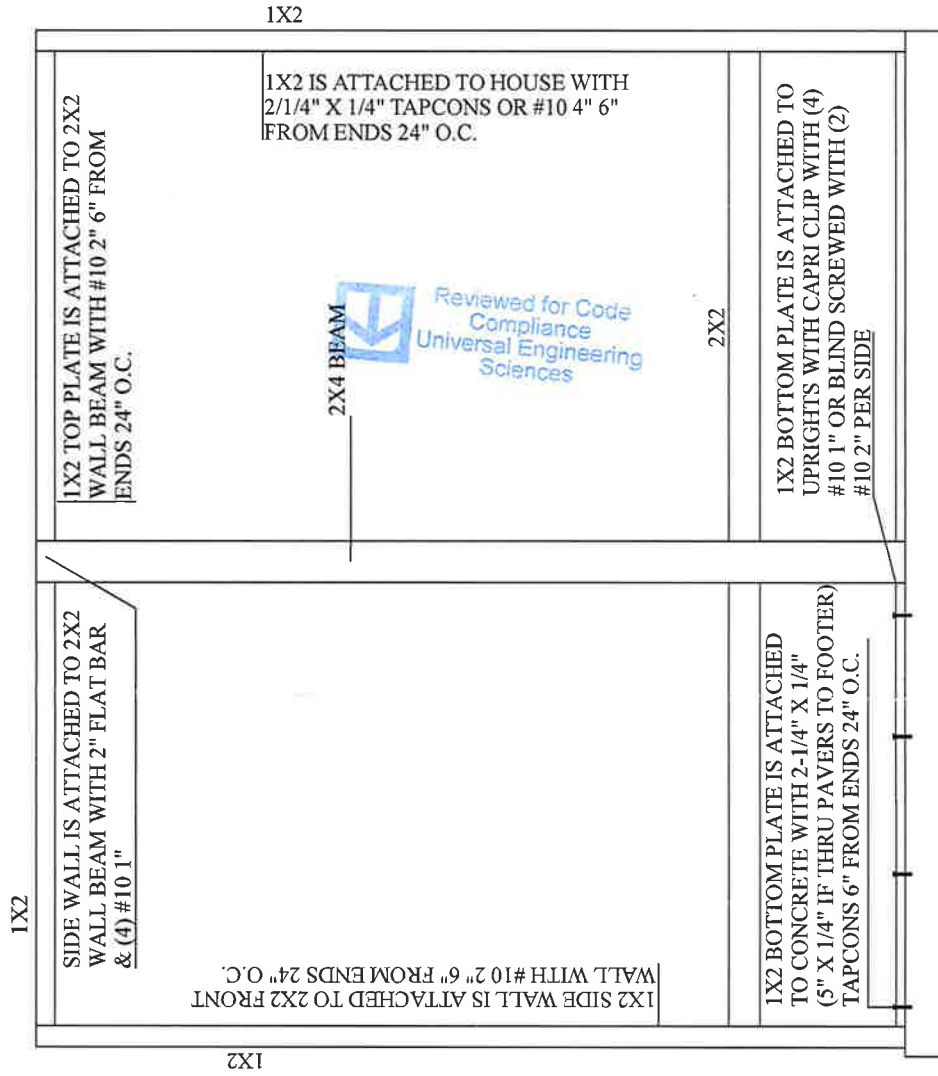
DESIGN STATEMENT
 METAL IS .046 THICKNESS OR GREATER, ALLOY IS 6005-T5
 ALL TAPCONS SHALL PROVIDE MINIMUM OF 1 1/8" CONCRETE EMBEDMENT DEPTH

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE TO MEET THE REQUIREMENTS OF THE 2017 (6TH EDITION) FLORIDA BUILDING CODE FOR OPEN AND SEMI-OPEN STRUCTURES AND SHALL WITH STAND ULTIMATE WIND SPEEDS OF 130 MPH (FOR 3 SECOND GUSTS) NOMINAL SPEED 101.4 MPH UP TO A 15FT ROOF HEIGHT, FACTOR OF 1.0, AND EXPOSURE C, RISK CATEGORY 1. CONTRACTOR SHALL FIELD VERIFY ALL PLANS DIMENSIONS PRIOR TO MATERIAL PURCHASE, FABRICATION AND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD SITE CONDITIONS DIFFER FROM CONSTRUCTION PLANS

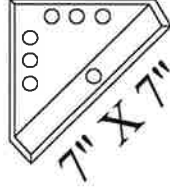
ALUMINUMSCREENDESIGN.COM
 ALUMINUMSCREENDESIGN
 @YAHOO.COM
 PHONE: 407-734-1470
 FAX: 407-734-1790

ALUMINUM SCREEN DESIGN

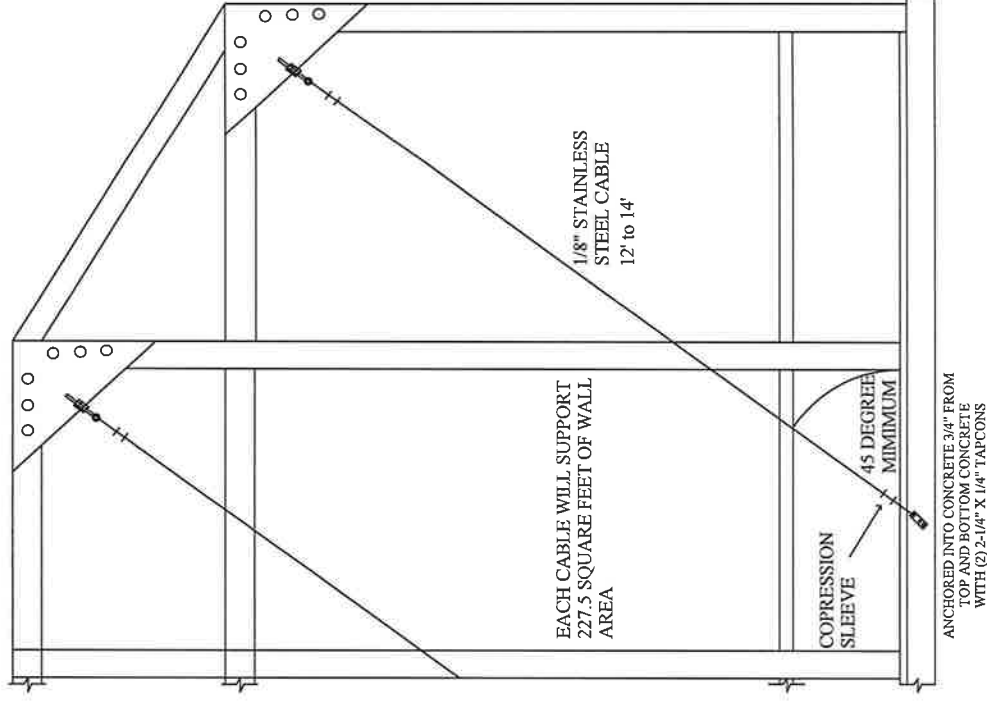
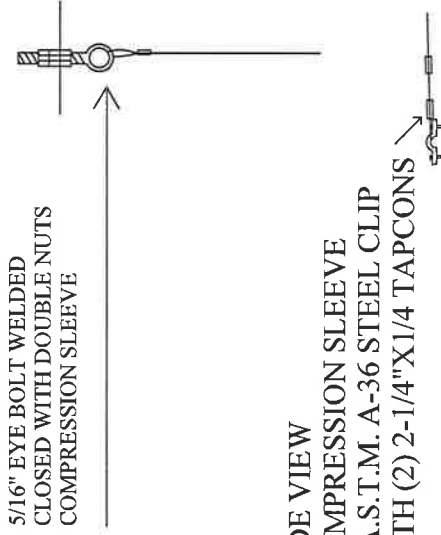
SIDE WALL DETAIL



CABLE DETAIL



1/8" THICK ANGLE BRACKET ATTACHED TO UPRITE AND GIRT WITH (6) #10 1"



IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE HOMEOWNER THAT THE CABLES AND CABLE ATTACHMENT MUST BE INSPECTED BY THE HOMEOWNER AT LEAST TWICE A YEAR TO ELIMINATE ANY DEFICIENCIES ASSOCIATED WITH TENSION SLACK AND/OR CORROSION AND IF NECESSARY TO MAKE CORRECTIVE REPAIRS TO MAINTAIN THE CABLE FULL TENSION (NO SLACK) DESIGNED FOR STRUCTURAL LATERAL STABILITY

DESIGN STATEMENT

METAL IS .046 THICKNESS OR GREATER, ALLOY IS 6005-T5
ALL TAPCONS SHALL PROVIDE MINIMUM OF 1 1/8" CONCRETE EMBEDMENT DEPTH

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE TO MEET THE REQUIREMENTS OF THE 2017 (6TH EDITION) FLORIDA BUILDING CODE FOR OPEN AND SEMI-OPEN STRUCTURES AND SHALL WITH STAND ULTIMATE WIND SPEEDS OF 130 MPH (FOR 3 SECOND GUSTS) NOMINAL SPEED 101.4 MPH UP TO A 15FT ROOF HEIGHT, FACTOR OF 1.0, AND EXPOSURE C, RISK CATEGORY 1. CONTRACTOR SHALL FIELD VERIFY ALL PLANS DIMENSIONS PRIOR TO MATERIAL PURCHASE, FABRICATION AND CONSTRUCTION CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD SITE CONDITIONS DIFFER FROM CONSTRUCTION PLANS

ALUMINUMSCREENDESIGN.COM
ALUMINUMSCREENDESIGN

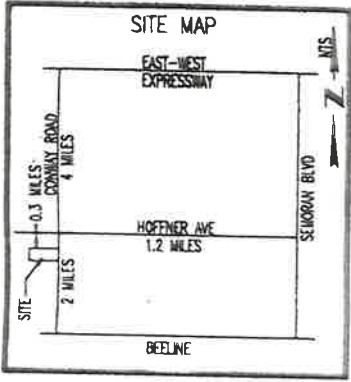
@YAHOO.COM
PHONE: 407-734-1470
FAX: 407-734-1790

MICHAEL THOMPSON
4401 VINELAND ROAD
SUITE A6

ORLANDO, FL 32811
P.E. # 47509
CA#30930

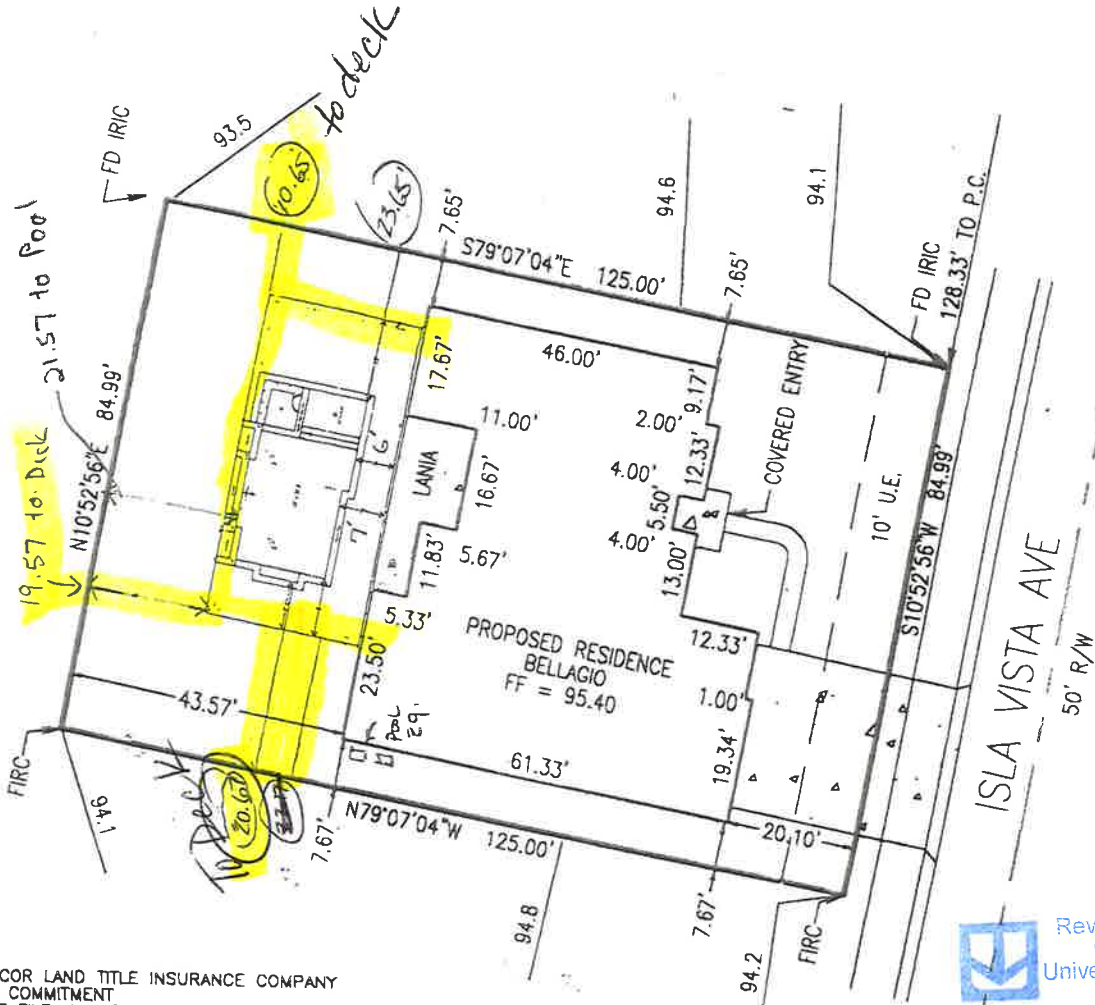
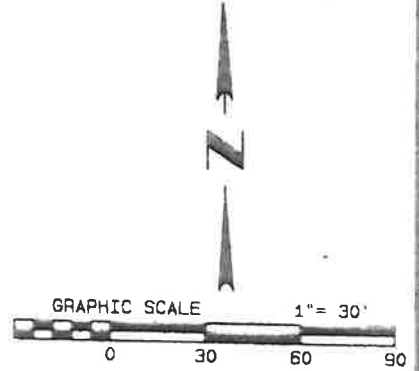
FINAL SURVEY

LOT 100, BELLE VISTA ON LAKE CONWAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 69, PAGES 12 THROUGH 15, INCLUSIVE, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



Lot 100 - 106175 S.F.
 Residence - 3701 S.F.
 Driveway/Sidewalk - 586 S.F.
 New Pool/Deck - 1248 S.F.
 Total Area - 5535 S.F.

52.13 IMPERVIOUS w/POOL INCLUDED



Reviewed for Code Compliance
 Universal Engineering Sciences

WESTCOR LAND TITLE INSURANCE COMPANY
 TITLE COMMITMENT
 PLANT FILE M11-7448
 SCHEDULE B-2 EXCEPTIONS

ITEMS 5, 6, 7, 8, 9, 11, & 12 - NOT A SURVEY MATTER
 ITEMS 1, 2, 3 & 4 NONE APPARENT
 ITEM 10 SHOWN ON SURVEY

NOTES:

- THIS SKETCH IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A LICENSED SURVEYOR AND MAPPER.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS, RIGHTS-OF-WAY, OR ADJOINERS.
- THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENT OF POTENTIAL JURISDICTIONAL WETLAND BOUNDARIES.
- LANDS SHOWN HEREON LIE WITHIN ZONE X, AS SHOWN ACCORDING TO THE "FIRM" MAP NUMBER 12095C0430 E AND COMMUNITY NUMBER 12095 0430 E, EFFECTIVE DECEMBER 6, 2000.
- THE PARCEL ID NUMBER FOR THE PROPERTY SHOWN HERON IS 20-23-30-0668-00-010
- ELEVATIONS SHOW AS SUCH: _____ 97.8 _____ ARE "AS-BUILT", BASED ON SITE BENCHMARKS.

CERTIFIED TO:
 DOUGLAS S. DORR AND JENNIFER ANN DORR
 SWANN HADLEY STUMP DIETRICH & SPEARS, P.A.
 WELLS FARGO BANK, N.A.
 WESTCOR LAND TITLE INSURANCE COMPANY

CERTIFICATE:
 I HEREBY CERTIFY THAT THE ATTACHED FINAL SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN NOVEMBER, 2011. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH IN CHAPTER 61G17-6 OF FLORIDA ADMINISTRATIVE CODE, AS ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.007.

FOR THE FIRM BY *Edward J. Mize, Jr.* 11/29/11
 EDWARD J. MIZE, JR., P.L.S.
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NO. 3376

- FCM - FOUND CONCRETE MONUMENT
- F.I.R.C. - FOUND IRON ROD AND CAP
- F.I.R. - FOUND IRON ROD
- FF= - FINISHED FLOOR ELEVATION
- S.I.R.C. - SET IRON ROD AND CAP
- F.N&D - FOUND NAIL AND DISK
- (M) - FIELD MEASUREMENT
- (C) - CALCULATED MEASUREMENT

- C.M. - CONCRETE MONUMENT
- P.T. - POINT OF TANGENCY
- P.C. - POINT OF CURVATURE
- U.E. - UTILITY EASEMENT
- D.E. - DRAINAGE EASEMENT
- C & G - CURB & GUTTER
- R/W - RIGHT OF WAY
- CENTERLINE

- Δ - DELTA OR CENTRAL ANGLE
- P.I. - POINT OF INTERSECTION
- A/C - AIR CONDITIONING UNIT
- P.T. - POINT OF TANGENT
- SFR - SINGLE FAMILY RESIDENCE
- N.T.S. - NOT TO SCALE
- PR - PROPOSED
- EX - EXISTING

- FEN - FENCE
- CLR - CLEAR
- FND - FOUND
- (P) - PLAT
- EL - ELEVATION
- CONC. - CONCRETE
- EASE. - EASEMENT
- COR - CORNER

- A - ARC LENGTH
- S/W - SIDEWALK
- PR - PROPOSED
- EX - EXISTING
- FL - FLOW LINE
- UE - UTILITY EASEMENT
- DE - DRAINAGE EASEMENT
- BLDG - BUILDING

PREPARATION DATE

BNDY/PLOT PLAN: 6/16/11

FINAL SURVEY: 11/28/11

MID-STATE SURVEYING & MAPPING
 PROFESSIONAL LAND SURVEYORS

1011 W. SMITH ST, ORLANDO, FL 32804
 PHONE 321-436-9391
 CERTIFICATE NO. LB 7108

PROJECT INFORMATION

MODEL: BELLAGIO

DRAWN BY: CEM

REVIEWED BY: EJM

Permit Number: _____
Folio/Parcel Identification Number: 20-23-30-0668-01-000
Prepared by: Kelly Lee
575 Justamere Rd
GENOVA, FL 32732
Return to: Dorr
4011 Isle Vista Ave
Belle Isle, FL 32812-2219



NOTICE OF COMMENCEMENT

State of Florida, County of Orange

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

- Description of property** (legal description of the property, and street address if available)
Belle Vista on Lake Conway 69/12 LOT 100, 4011 Isle Vista Ave
- General description of improvement**
Screen enclosure for swimming pool
- Owner information or Lessee information if the Lessee contracted for the improvement**
Name Douglas & Jennifer Dorr
Address 4011 Isle Vista Ave, Belle Isle, FL 32812-2219
Interest in Property Fee Simple
Name and address of fee simple titleholder (if different from Owner listed above)
Name _____
Address _____
- Contractor**
Name Mark's Lawn Maint & Screens, Inc. Telephone Number 407-748-2667
Address 575 Justamere Rd, Genova, FL 32732
- Surety** (if applicable, a copy of the payment bond is attached)
Name NA Telephone Number _____
Address _____ Amount of Bond \$ _____
- Lender**
Name NA Telephone Number _____
Address _____
- Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by §713.13(1)(a)7, Florida Statutes.**
Name _____ Telephone Number _____
Address _____
- In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in §713.13(1)(b), Florida Statutes.**
Name _____ Telephone Number _____
Address _____
- Expiration date of notice of commencement** (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified)

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager _____
Douglas Dorr
Signatory's Title/Office

The foregoing instrument was acknowledged before me this 16 day of Feb 2018 by Douglas Dorr
as self for _____
Type of authority, e.g., officer, trustee, attorney in fact Name of party on behalf of whom instrument was executed

Signature of Notary Public - State of Florida _____
Print, type, or stamp commissioned name of Notary Public

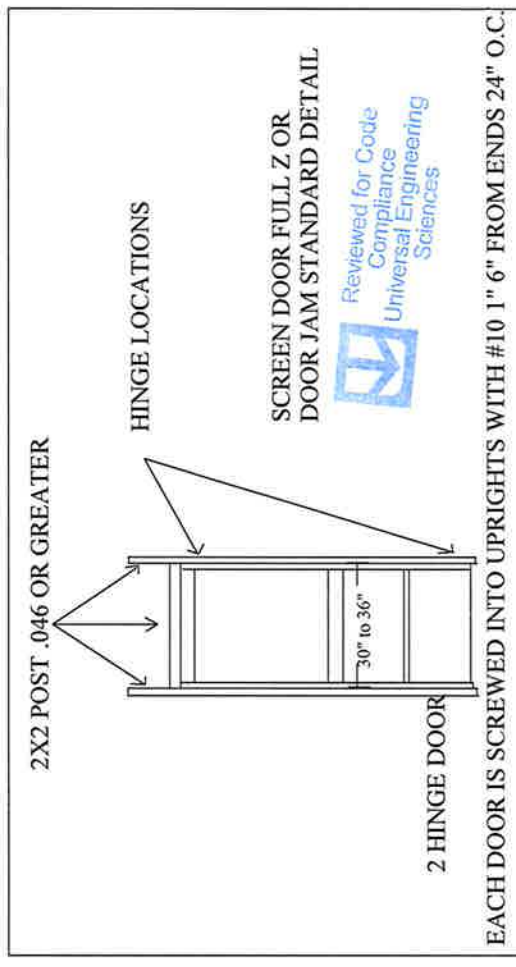
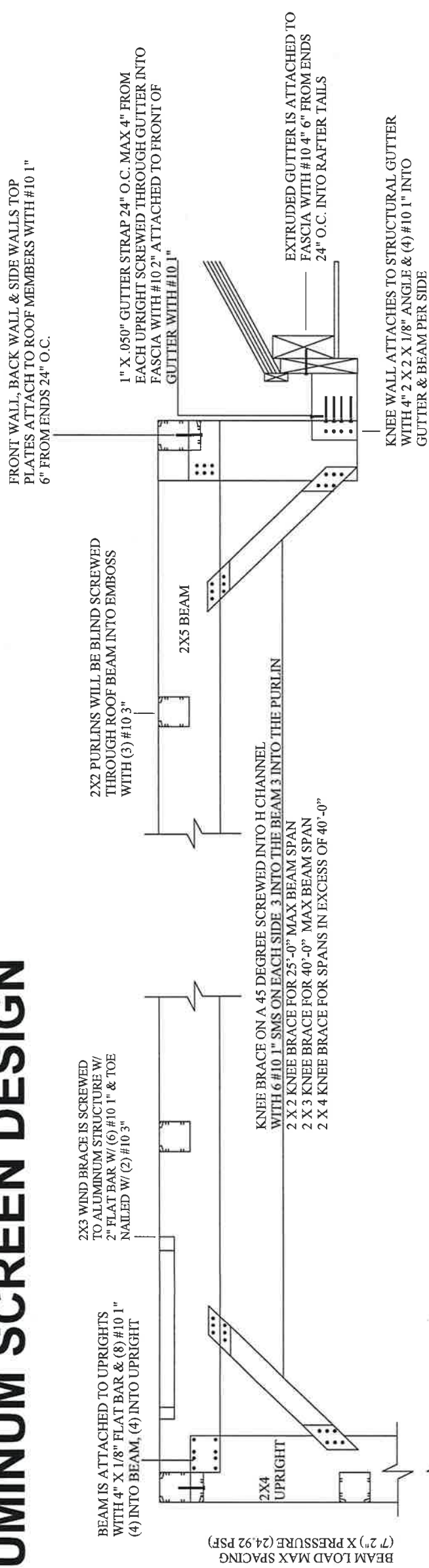
Personally Known OR Produced ID _____
Type of ID Produced _____

Form Revised: September 26, 2011

State of FLORIDA County of ORANGE
I hereby certify that this is a true copy of
the document as reflected in the Official Records
PHIL DIAMOND, COUNTY COMPTROLLER
B. M. [Signature], D.C.
DATED: 3/28/18



ALUMINUM SCREEN DESIGN



FRONT WALL, BACK WALL & SIDE WALLS TOP PLATES ATTACH TO ROOF MEMBERS WITH #10 1\"/>

2X3 WIND BRACE IS SCREWED TO ALUMINUM STRUCTURE W/ 2\"/>

2X2 PURLINS WILL BE BLIND SCREWED THROUGH ROOF BEAM INTO EMBOSS WITH (3) #10 3\"/>

BEAM IS ATTACHED TO UPRIGHTS WITH 4\"/>

1\"/>

(7 2\"/>

KNEE BRACE ON A 45 DEGREE SCREWED INTO H CHANNEL WITH 6 #10 1\"/>

EXTRUDED GUTTER IS ATTACHED TO FASCIA WITH #10 4\"/>

KNEE WALL ATTACHES TO STRUCTURAL GUTTER WITH 4\"/>

2X2 CHAIR RAILS & GIRTS ARE ATTACHED WITH INTERNAL CLIPS WITH (4) #10 1\"/>

2X4 OR GREATER BEAMS UP TO 15' ARE STITCHED TOGETHER WITH #10 1\"/>

1X2 BOTTOM PLATE IS ATTACHED TO CONCRETE WITH 2-1/4\"/>

2 X 2 X 1/8\"/>

HINGE LOCATIONS

SCREEN DOOR FULL Z OR DOOR JAM STANDARD DETAIL



EACH DOOR IS SCREWED INTO UPRIGHTS WITH #10 1\"/>

ALUMINUMSCREENDSIGN.COM
 ALUMINUMSCREENDSIGN
 @YAHOO.COM
 PHONE: 407-734-1470
 FAX: 407-734-1790

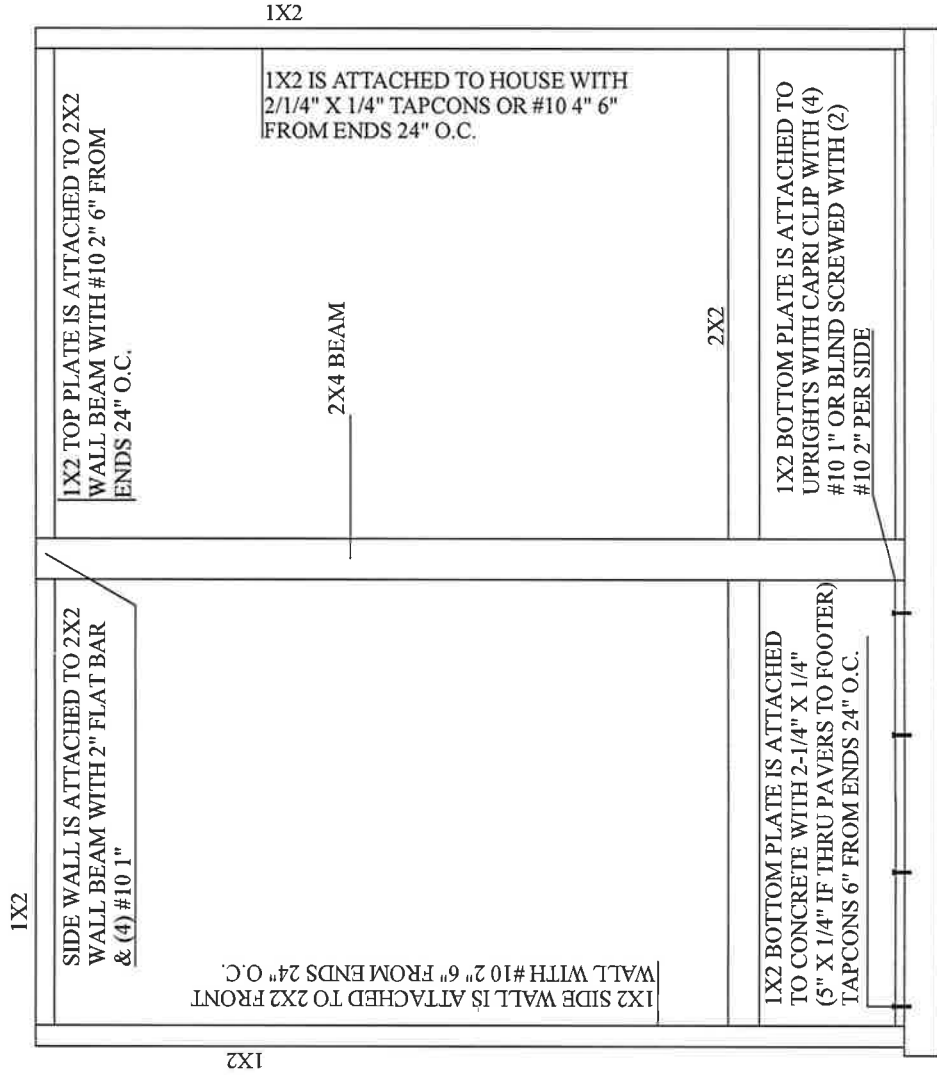
DESIGN STATEMENT
 METAL IS .046 THICKNESS OR GREATER, ALLOY IS 6005-T5
 ALL TAPCONS SHALL PROVIDE MINIMUM OF 1 1/8\"/>

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE TO MEET THE REQUIREMENTS OF THE 2017 (6TH EDITION) FLORIDA BUILDING CODE FOR OPEN AND SEMI-OPEN STRUCTURES AND SHALL WITH STAND ULTIMATE WIND SPEEDS OF 130 MPH (FOR 3 SECOND GUSTS) NOMINAL SPEED 101.4 MPH UP TO A 15FT ROOF HEIGHT, FACTOR OF 1.0, AND EXPOSURE C, RISK CATEGORY 1. CONTRACTOR SHALL FIELD VERIFY ALL PLANS DIMENSIONS PRIOR TO MATERIAL PURCHASE, FABRICATION AND CONSTRUCTION CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD SITE CONDITIONS DIFFER FROM CONSTRUCTION PLANS

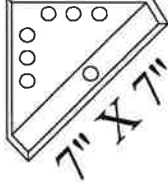
MICHAEL THOMPSON
 4401 VINELAND ROAD
 SUITE A6
 ORLANDO, FL 32811
 P.E. # 47509
 CA#30930

ALUMINUM SCREEN DESIGN

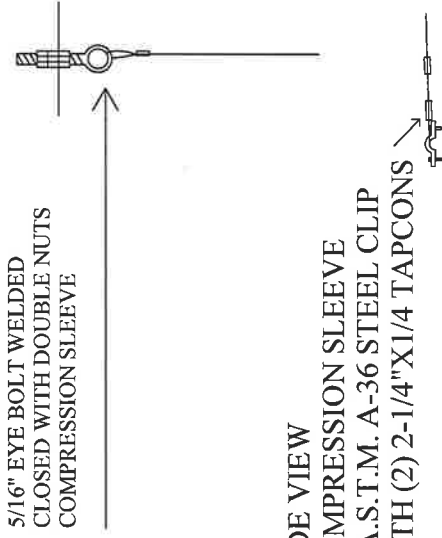
SIDE WALL DETAIL



CABLE DETAIL

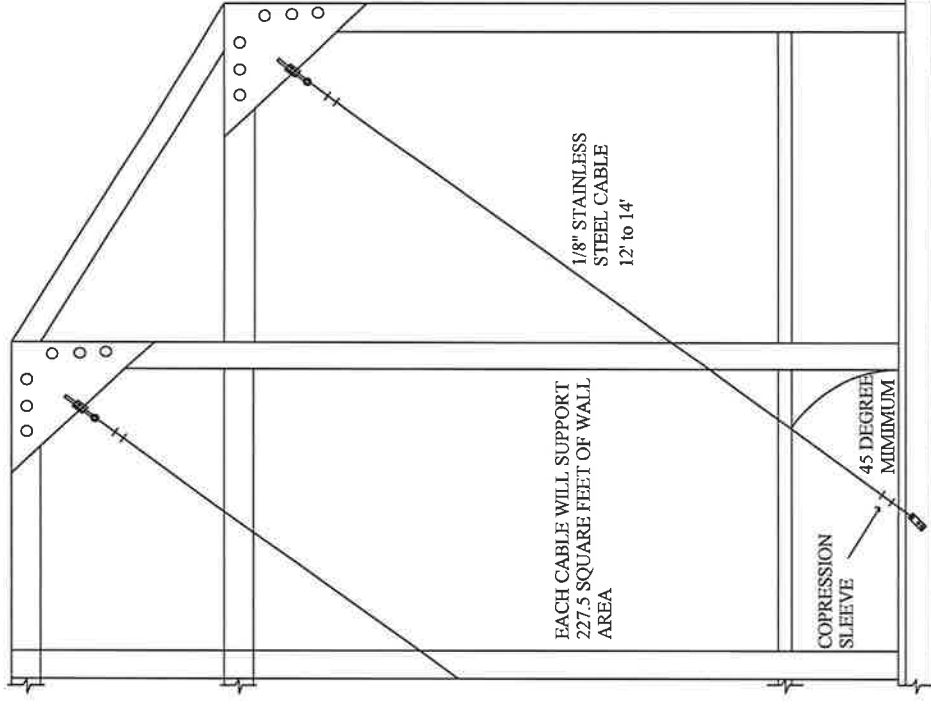


1/8" THICK ANGLE BRACKET ATTACHED TO UPRITE AND GIRT WITH (6) #10 1"



5/16" EYE BOLT WELDED CLOSED WITH DOUBLE NUTS COMPRESSION SLEEVE

SIDE VIEW
COMPRESSION SLEEVE
3"A.S.T.M. A-36 STEEL CLIP
WITH (2) 2-1/4"X1/4 TAPCONS



EACH CABLE WILL SUPPORT 227.5 SQUARE FEET OF WALL AREA

1/8" STAINLESS STEEL CABLE 12' to 14'

45 DEGREE MINIMUM
COMPRESSION SLEEVE

ANCHORED INTO CONCRETE 3/4" FROM TOP AND BOTTOM CONCRETE WITH (2) 2-1/4" X 1/4" TAPCONS

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE HOMEOWNER THAT THE CABLES AND CABLE ATTACHMENT MUST BE INSPECTED BY THE HOMEOWNER AT LEAST TWICE A YEAR TO ELIMINATE ANY DEFICIENCIES ASSOCIATED WITH TENSION SLACK AND/OR CORROSION AND IF NECESSARY TO MAKE CORRECTIVE REPAIRS TO MAINTAIN THE CABLE FULL TENSION (NO SLACK) DESIGNED FOR STRUCTURAL LATERAL STABILITY

DESIGN STATEMENT

METAL IS .046 THICKNESS OR GREATER, ALLOY IS 6005-T5

ALL TAPCONS SHALL PROVIDE MINIMUM OF 1 1/8" CONCRETE EMBEDMENT DEPTH

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE TO MEET THE REQUIREMENTS OF THE 2017 (6TH EDITION) FLORIDA BUILDING CODE FOR OPEN AND SEMI-OPEN STRUCTURES AND SHALL WITH STAND ULTIMATE WIND SPEEDS OF 130 MPH (FOR 3 SECOND GUSTS) NOMINAL SPEED 101.4 MPH UP TO A 15FT ROOF HEIGHT, FACTOR OF 1.0, AND EXPOSURE C, RISK CATEGORY 1. CONTRACTOR SHALL FIELD VERIFY ALL PLANS DIMENSIONS PRIOR TO MATERIAL PURCHASE, FABRICATION AND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD SITE CONDITIONS DIFFER FROM CONSTRUCTION PLANS



Universal Engineering Sciences
Compliance Engineering

Reviewed for Code

Michael Thompson

4401 VINELAND ROAD

SUITE A6

ORLANDO, FL 32811

P.E. # 47509

CA#30930

ALUMINUMSCREENDESIGN.COM

ALUMINUMSCREENDESIGN

@YAHOO.COM

PHONE: 407-734-1470

FAX: 407-734-1790

MICHAEL THOMPSON
4401 VINELAND ROAD
SUITE A6
ORLANDO, FL 32811
P.E. # 47509
CA#30930