



City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
 Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

PERMIT CARD – PLEASE POST AT JOB SITE

THIS DOCUMENT BECOMES YOUR PERMIT WHEN PROPERLY VALIDATED

Per FBC 105.3.3: An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies." The issuance of this permit does not grant permission to violate any applicable City, Orange County, State of Florida and/or Federal codes and/or ordinances. Separate permits are required for Signs, Roofing, Electrical, Gas, Plumbing and Mechanical services. This permit becomes VOID if the work authorized is not commenced within 6 months, or is suspended or abandoned for a period of 6 months after commencement. **WORK SHALL BE CONSIDERED SUSPENDED IF AN APPROVED INSPECTION HAS NOT BEEN MADE WITHIN A 6 MONTH PERIOD.** PERMISSION IS GRANTED TO DO THE FOLLOWING WORK ACCORDING TO THE CONDITIONS HEREON AND THE APPROVED PLANS AND SPECIFICATIONS, SUBJECT TO COMPLIANCE WITH THE ORDINANCES OF THE CITY OF BELLE ISLE, FLORIDA.

<p>Scope of Work: BUILDING: for swimming pool & spa</p> <p>Comments: NONE</p> <p>Project Information Address: 4323 Isle Vista Ave, Belle Isle, FL 32812 Parcel ID: 20-23-30-0668-00-840 Property Owner: Malagian, Zachary Phone Number: 407 341 9502 ***** Company Name: Signature Pools, Inc. Contractor Name: Malagian, John License Number: CPC039932 Address: 8818 Commodity Circle, Ste 43, Orlando, FL 32819 Phone Number: 407-851-9086</p>	<p style="text-align: right;">Permit Number: 2017-04-030</p> <p style="text-align: right;">Date of Application: 04/10/2017 Date Permit Issued: 04/13/2017</p> <p>WARNING TO OWNER: "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT." ON THE JOB INSPECTION(S) MUST BE MADE BEFORE PROCEEDING WITH SUBSEQUENT WORK. THIS CARD MUST BE DISPLAYED OUTSIDE AND BE PROTECTED FROM THE WEATHER WHILE BEING VISIBLE FROM THE STREET UNTIL THE FINAL INSPECTIONS HAVE BEEN APPROVED.</p>
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BUILDING FEATURES

<p>IMPACT FEES School \$</p> <p>ZONING FEES Zoning Fee \$165.00</p> <p>UNIVERSAL ENG - BUILDING FEES</p> <table style="width:100%;"> <tr><td>Demo</td><td>\$</td></tr> <tr><td>Building</td><td>\$</td></tr> <tr><td>Fence</td><td>\$</td></tr> <tr><td>Driveway</td><td>\$</td></tr> <tr><td>Shed</td><td>\$</td></tr> <tr><td>Window(s)</td><td>\$</td></tr> <tr><td>Door(s)</td><td>\$</td></tr> <tr><td>PrePower</td><td>\$</td></tr> <tr><td>Electrical</td><td>\$</td></tr> <tr><td>Temp Pole</td><td>\$</td></tr> <tr><td>Plumbing</td><td>\$</td></tr> <tr><td>Mechanical</td><td>\$</td></tr> <tr><td>Gas</td><td>\$</td></tr> <tr><td>Roofing</td><td>\$</td></tr> <tr><td>Boat Dock</td><td>\$</td></tr> <tr><td>Screen Encl</td><td>\$</td></tr> <tr><td>Swimming Pool</td><td>\$361.50</td></tr> </table> <p>SURCHARGE FEES</p> <table style="width:100%;"> <tr><td>Surcharge Fee</td><td>\$5.42</td></tr> <tr><td>Surcharge Fee</td><td>\$5.42</td></tr> </table> <p style="text-align: center;">TOTAL FEES \$537.34</p> <p>Date Paid 4-27-17</p> <p>CC or Check # 30067</p> <p>Amount Paid 537.34</p> <p>The person accepting this permit shall conform to the terms of the application on file and construction shall conform to the requirements of the Florida Building Code (FS 553).</p>	Demo	\$	Building	\$	Fence	\$	Driveway	\$	Shed	\$	Window(s)	\$	Door(s)	\$	PrePower	\$	Electrical	\$	Temp Pole	\$	Plumbing	\$	Mechanical	\$	Gas	\$	Roofing	\$	Boat Dock	\$	Screen Encl	\$	Swimming Pool	\$361.50	Surcharge Fee	\$5.42	Surcharge Fee	\$5.42	<p style="text-align: center;">BUILDING INSPECTOR USE ONLY</p> <p>IF APPLICABLE: Have Zoning Approval Conditions Been Met? YES NO Have Stormwater Approval Conditions Been Met? YES NO Silt fencing in place? YES NO Turbidity Barrier in place? YES NO</p> <p><input type="checkbox"/> BUILDING</p> <p>1st _____ (Footing/Foundation) Survey specific foundation plan must be onsite before slab pour. Approved Plan on Site? ____</p> <p>2nd _____ (Slab)</p> <p>3rd _____ (Lintel)(Wall Reinforcing on Masonry Building)</p> <p>4th _____ (Exterior Framing)(Roof/Wall Sheathing)</p> <p>5th _____ (Framing) (To be made after Plumbing/ Mechanical/ Electrical Rough-Ins & Windows/Doors Installed)</p> <p>6th _____ (Insulation to be Made After Roof Installed)</p> <p>7th _____ (Drywall)</p> <p>8th _____ (Sidewalk/Driveway)</p> <p>9th _____ (Other)</p> <p>10th _____ (Final – After MEP and Other Applicable Finals)</p> <p><input type="checkbox"/> ROOFING</p> <p>1ST ROOFING Deck Nailing/Dry-in/Flashing _____</p> <p>2nd ROOFING Covering In-Progress _____</p> <p>3rd ROOFING Covering Final _____</p> <p><input type="checkbox"/> PLUMBING (Pool-Piping, Solar, Irrigation, Water Treatment Equip, Etc...)</p> <p><input type="checkbox"/></p> <p>1ST _____ (Underground) 2nd _____ (Sewer)</p> <p>3rd _____ (Rough-In/Tub Set) 4th _____ (Final)</p> <p>CHECK APPROPRIATE BOX</p> <p><input type="checkbox"/> GAS ___ Natural ___ LP <input type="checkbox"/> MECHANICAL <input type="checkbox"/> ELECTRICAL <input type="checkbox"/> LOW VOLTAGE</p> <p>1st _____ (Rough-In) 2nd _____ (Final)</p>
Demo	\$																																						
Building	\$																																						
Fence	\$																																						
Driveway	\$																																						
Shed	\$																																						
Window(s)	\$																																						
Door(s)	\$																																						
PrePower	\$																																						
Electrical	\$																																						
Temp Pole	\$																																						
Plumbing	\$																																						
Mechanical	\$																																						
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Screen Encl	\$																																						
Swimming Pool	\$361.50																																						
Surcharge Fee	\$5.42																																						
Surcharge Fee	\$5.42																																						

Inspection requests are to be emailed to BDscheduling@UniversalEngineering.com; a confirmation email will be sent back to you upon scheduling. **Next-Day Inspection requests must be made by 4pm.** Please include the following in your request: Permit #, project address, type of inspection, date of the requested inspection, a contact name & a contact phone number. AM or PM may be requested but cannot be guaranteed.

For a copy of your permit, or to check inspection results, please visit <https://universalengineering.sharefile.com>

login ID = cobi@universalengineering.com

password = universal13



City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
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RECEIVED
APR 10 2017

Building Permit (Land Use) Application

DATE: 3/23/2017

PERMIT # 2017-04-030

PROJECT ADDRESS 4323 ISLE VISTA AVE

Belle Isle, FL 32809 32812

PROPERTY OWNER ZACHARY MALAGIAN

PHONE 407-341-9502

VALUE OF WORK (labor & material) \$ 35,000

PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

NEW SWIMMING POOL AND SPA

Please provide information, if applicable.

- **SINGLE FAMILY RESIDENCE:** 8.5"x11" Plat Survey, Plot Plan of Home and Floor Plans of New Construction/Revision Required
- **BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- **SEPTIC SYSTEM (RESIDENTIAL):** - Provide verification of OC Health Dept approval for on-site septic tank system, per FAC Chap. 64E-6
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 20-23-60-0668-00-840

To obtain this information, please visit <http://www.ocnaffl.org/Searches/ParcelSearch.aspx>

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENDOUR INTO ANY EASEMENT OR REQUIRED SETBACK. Survey specific foundation plan required to show compliance with zoning setbacks. Note: this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

ZONING APPROVED
DATE: 4/12/17 By: [Signature]
City of Belle Isle

PLANNING & ZONING APPROVAL: 4/12/17 By: [Signature]
DATE: 4/12/17 City of Belle Isle

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)

CONSTRUCTION TYPE SWIMMING POOL

OCCUPANCY GROUP Comm Res: Single Fam Multi Fam

#BLDG. #UNITS #STORIES TOTAL SQ.FT.

MAX. FLOOR LOAD MAX. OCCUPANCY

MIN. FLOOD ELEV. LOW FLOOR ELEV.

WATER SERVICE ORANGE CO. WELL WELL SEPTIC

BUILDING REVIEWER JR Gumm BUS40 DATE 4/14/2017

VERIFIED CONTRACTOR'S LICENSE & INSURANCE ARE ON FILE [Signature] DATE 4-13-17

Per FSS 105.3.3:
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Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES ETC.

Page 1 of 2

5.42
5.42
10.84

15'11" 25
4x54
216
241.2
100.50
361.50

80387

Wind Exposure Category: B C D

SPRINKLERS REQ'D	Y	N	
If Required - SUBMIT COPY OF PLANS FOR FIRE REVIEW			RCD
ZONING	<input checked="" type="checkbox"/>	<input type="checkbox"/>	\$ <u>165</u>
CERT OF OCC	<input type="checkbox"/>	<input type="checkbox"/>	\$
TRAFFIC	<input type="checkbox"/>	<input type="checkbox"/>	\$
SCHOOL	<input type="checkbox"/>	<input type="checkbox"/>	\$
FIRE	<input type="checkbox"/>	<input type="checkbox"/>	\$
SWIMMING POOL	<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$ <u>341.50</u>
SCREEN ENCLOSURE	<input type="checkbox"/>	<input type="checkbox"/>	\$
ROOFING	<input type="checkbox"/>	<input type="checkbox"/>	\$
BOAT DOCK	<input type="checkbox"/>	<input type="checkbox"/>	\$
BUILDING	<input type="checkbox"/>	<input type="checkbox"/>	\$
WINDOW(S)	<input type="checkbox"/>	<input type="checkbox"/>	\$
DOOR(S)	<input type="checkbox"/>	<input type="checkbox"/>	\$
FENCE	<input type="checkbox"/>	<input type="checkbox"/>	\$
SHED	<input type="checkbox"/>	<input type="checkbox"/>	\$
DRIVEWAY	<input type="checkbox"/>	<input type="checkbox"/>	\$
OTHER	<input type="checkbox"/>	<input type="checkbox"/>	\$
3% FL SURCHARGE			<u>10.84</u>
TOTAL			<u>537.34</u>
By Owner Form	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NA
Notice of Commencement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NA
Power of Attorney	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NA
Contractor Packet Included?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N
OTHER PERMITS REQUIRED:			
ELECTRICAL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NA
PREPOWER	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NA
MECHANICAL	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NA
PLUMBING	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NA
ROOFING	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NA
GAS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NA



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Building Permit (Land Use) Application

To be completed as required by State Statute Section 713 and other applicable sections.

PERMIT # 2017-04-030

Owner's Name ZACHARY MALAGIAN
 Owner's Address 4323 ISLE VISTA AVE. BELLE ISLE, FL 32812

Contractor Name <u>JOHN M. MALAGIAN</u>	Company Name <u>SIGNATURE POOLS INC.</u>
License # <u>CPC039932</u>	Company Address <u>8818 COMMODITY CIR. STE 43</u>
Contact Phone/Cell <u>407-851-9086</u>	City, State, ZIP <u>ORLANDO, FL 32812</u>
Contact Email <u>Michael@SignaturePools.com</u>	Contact Fax <u>407-351-5998</u>

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations (www.floridabuilding.org) and City Ordinances (www.municode.com) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ROOFING, ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, SCREEN ENCLOSURES, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner Signature [Signature]

The foregoing instrument was acknowledged before me this 3/30/17 by ZACHARY MALAGIAN who is personally known to me and who produced _____ as identification and who did not take an oath.

Notary as to Owner
 State of Florida
 County of Orange

[Signature]
 JENNIFER MALAGIAN
 MY COMMISSION # GG 036615
 EXPIRES: October 5, 2020
 Bonded thru Notary Public Underwriters

Contractor Signature [Signature]

COMPANY NAME SIGNATURE POOLS INC.

The foregoing instrument was acknowledged before me this 3/31/17 by JOHN M. MALAGIAN who is personally known to me and who produced _____ as identification and who did not take an oath.

Notary as to Contractor
 State of Florida
 County of Orange

[Signature]
 JENNIFER MALAGIAN
 MY COMMISSION # GG 036615
 EXPIRES: October 5, 2020
 Bonded thru Notary Public Underwriters

Impervious Surface Ratio Worksheet
 Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per City Code, Section 50-74: Impervious Surface Ratio

- Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).
 Total Lot Area 10,624 X 0.35 =
 Allowable Impervious Area (BASE) 3717.35
- Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc.
 - House 1641 / covered = 4074
 - Driveway 529 > 4105
 - Walkway 102
 - Accessory Buildings _____
 - Pool & Spa 709 + 87 = 796 > 1570
 - Deck & Patio 762 + 12 = 774
 - Other _____

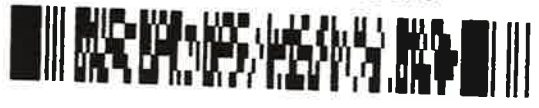
Actual Impervious Area (AIA) 6275

- If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention. ISR IS OVER
- If AIA is greater than BASE, then onsite retention must be provided.

Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall / 12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed

Permit Number: 2017-04-030
 Folio/Parcel ID #: 20-23-30-0668-00-840
 Prepared by: SIGNATURE POOLS INC / MICHAEL MALAGIAN
8818 COMMODITY CIR. STE 43
ORLANDO, FL 32819
 Return to: SIGNATURE POOLS INC
8818 COMMODITY CIR. STE 43
ORLANDO, FL 32819

DOC# 20170214655
 04/19/2017 02:15:41 PM Page 1 of 1
 Rec Fee: \$10.00
 Phil Diamond, Comptroller
 Orange County, FL
 MB - Ret To: SIGNATURE POOLS INC



NOTICE OF COMMENCEMENT

State of Florida, County of Orange
 The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. **Description of property** (legal description of the property, and street address if available)
BELLE VISTA ON LAKE CONWAY 69/12 LOT 84 4323 ISLE VISTA AVE.
2. **General description of improvement**
NEW SWIMMING POOL AND SPA
3. **Owner information or Lessee information if the Lessee contracted for the improvement**
 Name ZACHARY MALAGIAN
 Address 4323 ISLE VISTA AVE. BELLE ISLE, FL 32812
 Interest in Property OWNER FEE SIMPLE
Name and address of fee simple titleholder (if different from Owner listed above)
 Name SAME
 Address _____
4. **Contractor**
 Name SIGNATURE POOLS INC Telephone Number 407-851-9086
 Address 8818 COMMODITY CIR. STE 43 ORLANDO, FL 32819
5. **Surety** (if applicable, a copy of the payment bond is attached)
 Name N/A Telephone Number _____
 Address A Amount of Bond \$ _____
6. **Lender**
 Name _____ Telephone Number _____
 Address _____
7. **Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by §713.13(1)(a)7, Florida Statutes.**
 Name NONE Telephone Number _____
 Address _____
8. **In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in §713.13(1)(b), Florida Statutes.**
 Name NONE Telephone Number _____
 Address _____
9. **Expiration date of notice of commencement** (the expiration date will be 1 year from the date of recording unless a different date is specified) _____



State of Florida, County of Orange
 I hereby certify that this is a true copy of the document as reflected in the Official Records
 PHIL DIAMOND, COUNTY COMPTROLLER
 BY Phil Diamond, D.C.
 DATED: 4/19/17

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
 Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager

OWNER
 Signatory's Title/Office
ZACHARY MALAGIAN
 name of person

The foregoing instrument was acknowledged before me this 30th day of MARCH 2017 by _____
 as OWNER for _____
 Type of authority, e.g., officer, trustee, attorney in fact Name of party on behalf of whom instrument was executed

[Signature]
 Signature of Notary Public - State of Florida

Print, type, or stamp commissioned name of Notary Public

Personally Known OR Produced ID _____
 Type of ID Produced _____



LIMITED POWER OF ATTORNEY

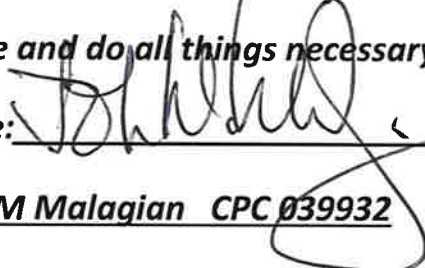
Date: 4/3/17

I hereby name and appoint LEIGH BEYER to be my lawful attorney in fact to act for me and apply for a swimming pool permit for work to be performed at the location described as:

Address: 4323 ISLE VISTA AVE BELLE ISLE FL

Owner: ZACHARY MALAGIAN

And to sign my name and do all things necessary to secure the permit

Contractor Signature: 

Printed Name: John M Malagian CPC 039932

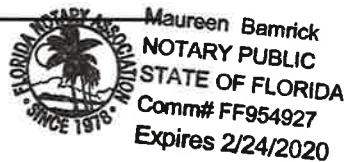
State of Florida

County of Orange

The foregoing instrument was acknowledged before me this 3 day of April 2017, by John M Malagian who is personally known to me

Notary: Maureen Bamrick

Seal: _____



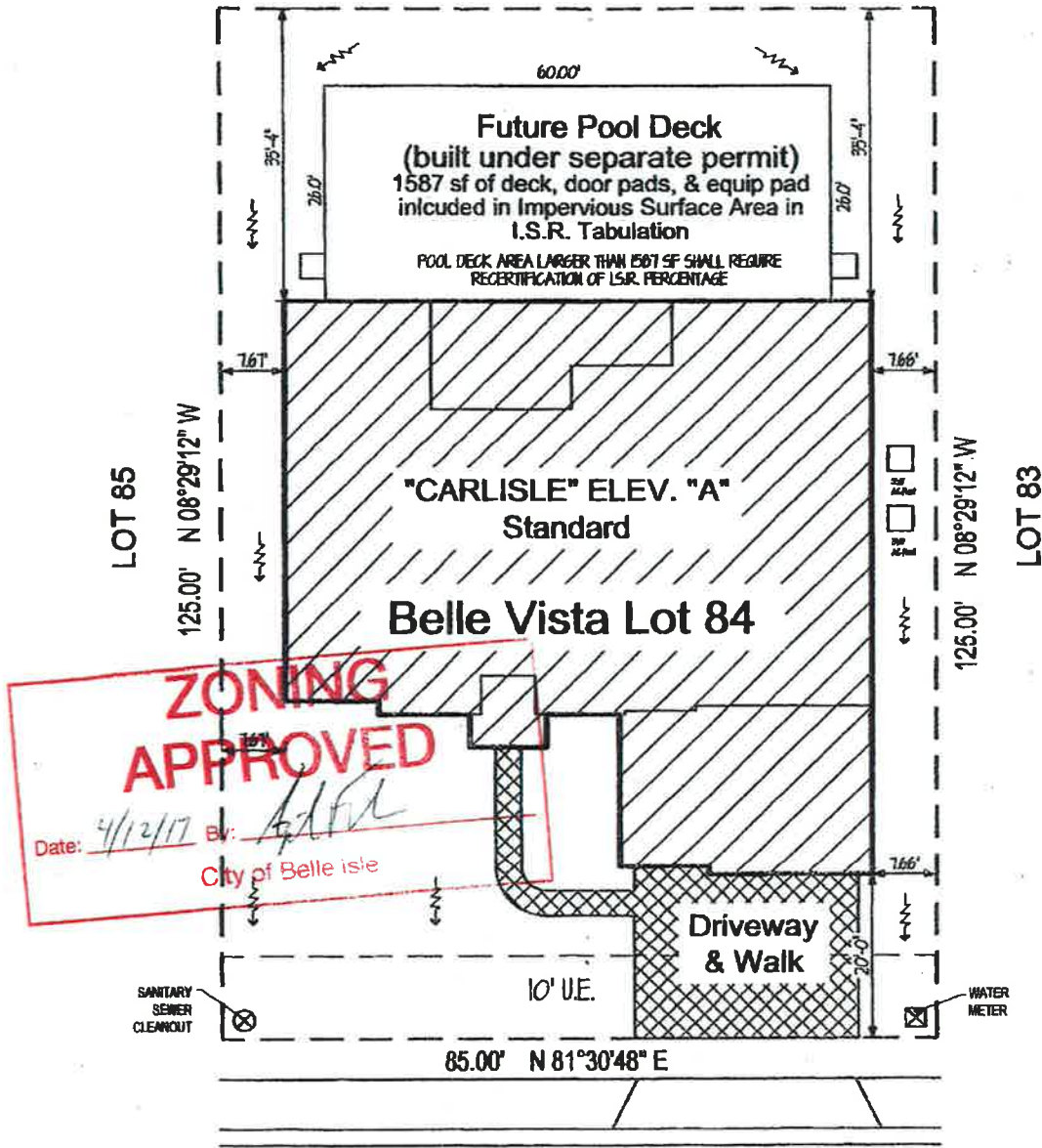
Impervious Surface Ratio / Drainage Flow / Water Meter & Sewer Locations Site Plan

See Survey / Plot Plan by others for additional information

Impervious Surface Ratio (I.S.R.)
 Lot Area = 10,625 sq ft
 Impervious Surface Area = 6,292 sq ft
 I.S.R. = 59.2 %

Impervious Surface Area Total Includes Future Pool Deck Area

85.00' S 81°30'47" W



ZONING APPROVED
 Date: 4/12/17 By: [Signature]
 City of Belle Isle

SANITARY SEWER CLEANOUT

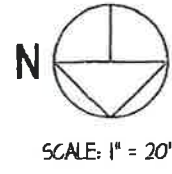
10' U.E.

WATER METER

85.00' N 81°30'48" E

Isle Vista Avenue

Legal Description:
 Lot 84, Belle Vista on Lake Conway, According to the Plat thereof, as recorded in Plat Book 69, Page 12 thru 15, inclusive of the Public Records of Orange County, Florida



FL. LICENSE NO. AR0014850
 12513 WESTFIELD LAKES CIRCLE
 WINTER GARDEN, FL. 34787
 407.467.3143

Brian Werling Architect

Lot 84 Belle Vista Subdivision

I hereby certify that the Attached Site Plan and Information is true and correct to the best of my knowledge.

[Signature]
 4.11.13
Brian S. Werling
 FL. License No. AR14850



CITY OF BELLE ISLE, FLORIDA

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

RESIDENTIAL SWIMMING POOL
SAFETY AFFIRMATION

Date: 3/23/2017

Permit #: _____

I, John M. Malagian ^{DBA SIGNATURE}
_(print contractor's name) POOLS INC., License # CPC039932

hereby affirm that the pool will be isolated from access from within the dwelling AND from adjacent properties by a barrier that meets the pool barrier requirements of Florida Statute 515.29 and the 2014 Florida Building Code Section 454.2.

Check the applicable barrier requirements from the following options and show on the site plan:

- The pool will be equipped with an approved safety pool cover that complies with ASTM F1346 (Standard Performance Specifications for Safety Covers for Swimming Pools, Spas and Hot Tubs) per FBC 454.2.17, Exception.
- The pool will be isolated from access by a mesh safety barrier that meets the requirements of FBC 454.17.1.15.
- The pool will be isolated from access by a screen enclosure that meets the requirements of FBC 454.2.17.1.11.
- The pool will be isolated from access by a fence and pedestrian gates that meet the requirements of FBC 454.2.17.1.1 through 454.2.17.1.8.

Does any part of the barrier consist of dwelling walls which contain doors or windows?

Yes No If yes, then check which of the two options below are applicable:

FLOATING ALARM

- All doors and windows providing direct access from the dwelling to the pool will be equipped with an exit alarm that meets the requirements of FBC 454.2.17.1.9(1) unless Exceptions a, b or c apply.
- All doors providing direct access from the dwelling to the pool will be equipped with self-closing, self-latching devices installed 54" above the threshold that meet the requirements of FBC 454.2.17.1.9, exception 2.

I understand that the final electrical and barrier code inspection shall be completed prior to filling the pool with water unless it's a vinyl liner or fiberglass FBC 454.2.19.

[Signature]
(contractor's signature)
AS PREP.
SIGNATURE
POOLS INC.

[Signature]
(property owner's signature)





TDH CALCULATOR

Pool Information

Flow Rate: 48 GPM
Suction Lift: 0 Ft

Total Piping Lengths:
Inlet Side: 74 Ft
Discharge Side: 70 Ft

Maximum Pipe Velocity Allowed:
(consult your local code)
Branch Piping: 6 Ft/Sec
Inlet Piping: 8 Ft/Sec
Discharge Piping: 10 Ft/Sec

Piping Sizes:
Inlet Piping: 2.052 In
Discharge Piping: 2.052 In

Piping Head Loss at 48.00 Gal/Min:
(not including fittings or valves)
Inlet Piping: 2.76 Ft
Discharge Piping: 2.61 Ft

For advanced pools that contain multiple suctions, this program may be inaccurate. Consult a hydraulics engineer. This program is for single pump systems with a single body of water.

Results: Your TDH Calculation

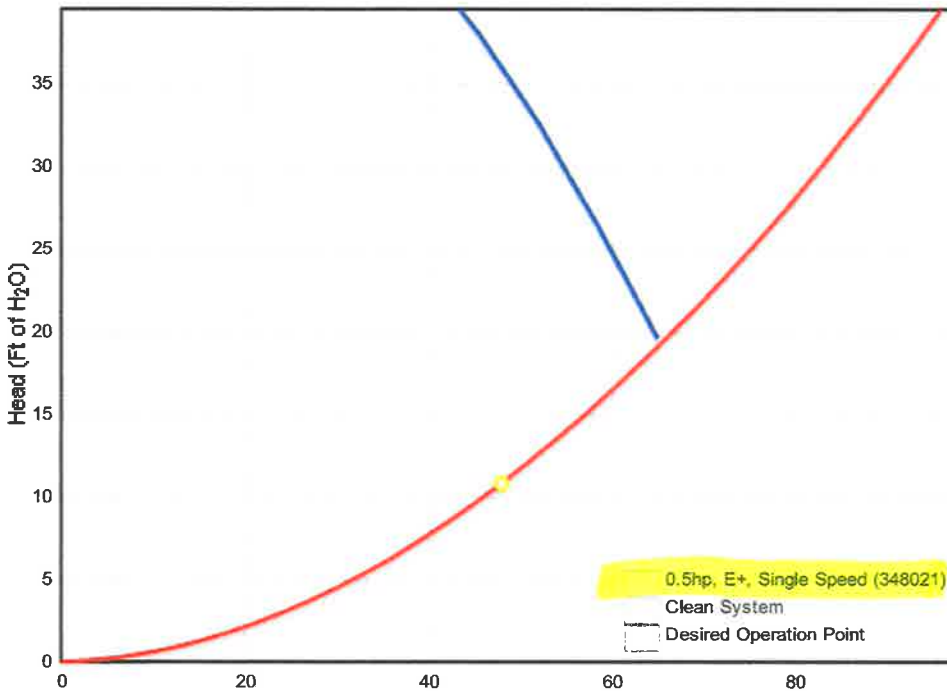
Flow Rate: 48.00 Gal/Min
Your Head Loss: 10.86 Ft

Suggested Minimum Pipe Sizes:
Branch Piping: 2.0 In
Inlet Piping: 1.5 In
Discharge Piping: 1.5 In

Maximum Flow Rate at Maximum RPM: 65.00 Gal/Min
Ensure the drain cover max flow rating is not exceeded.

Head Loss at Maximum Flow Rate: 19.09 Ft

System Head Pressure Curve



Selected Components

Components

Name	Quantity	Head Loss at 48.00 Gal/Min
2" x 2.5" 3 way valve	1	0.28
Main Drain	1	0.58

Piping

Name	Inlet Quantity	Discharge Quantity	Head Loss at 48.00 Gal/Min
90 degree elbow	9	10	4.04
Tee Through	0	1	0.15
Tee Branch	1	0	0.45

Pumps

Name	Quantity
0.5hp, E+, Single Speed (348021)	1

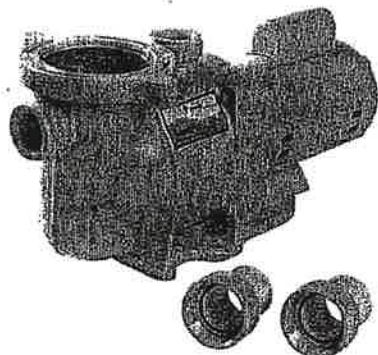
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SUPERFLO®

HIGH PERFORMANCE PUMPS



SuperFlo Pump



Featured Highlights

- SuperFlo pump by Pentair Aquatic Systems is a direct replacement for the Hayward® Super Pump® *
- Extremely quiet operation
- Unionized fittings included (1-1/2 in. internal slip and 2 in. external slip)
- Cam and Ramp™ Lid
- Heavy-duty, high service factor 56 square flange motor
- Integral volute and pot reduce hydraulic noise

The SuperFlo® pumps are specifically designed to be the best choice for a variety of inground pools. The SuperFlo pump features thick walled body parts, a heavy-duty 56 square flange motor, and highly engineered hydraulics. The SuperFlo pumps' silent running capability and small footprint allow it to easily drop into a compact equipment pad.

Ordering Information

Product	Model	Voltage	Full Load Amps	HP	SF	SFHP	Primary Listings and Certifications ⁴	Port Size (NPT)	Carton Wt. (Lbs.)	Curve Key
ENERGY EFFICIENT SINGLE SPEED										
348021	SF-N1-1/2FE	115/208-230	8.8/4.5-4.4	1/2	1.90	0.95	UL ¹ , NSF ² , APSP ³	1.5 in. x 1.5 in.	38	E
348022	SF-N1-3/4FE	115/208-230	8.8/4.5-4.4	3/4	1.25	.93	UL ¹ , NSF ²	1.5 in. x 1.5 in.	38	F
348023	SF-N1-1AE	115/208-230	11.2/6.0-5.6	1	1.25	1.25	UL ¹ , NSF ²	1.5 in. x 1.5 in.	38	G
348024	SF-N1-1-1/2AE	115/208-230	14.8/7.8-7.4	1-1/2	1.10	1.65	UL ¹ , NSF ²	1.5 in. x 1.5 in.	40	H
348025	SF-N1-2AE	208-230	9.6-8.8	2	1.10	2.20	UL ¹ , NSF ²	1.5 in. x 1.5 in.	48	I
348026	SF-N1-2-1/2AE	208-230	11.0-10.2	2-1/2	1.04	2.60	UL ¹ , NSF ²	1.5 in. x 1.5 in.	54	J
STANDARD EFFICIENCY SINGLE SPEED										
340036	SF-N1-1/2F	115/230	10.8/5.4	1/2	1.95	0.95	UL ¹ , NSF ² , APSP ³	1.5 in. x 1.5 in.	38	E
340037	SF-N1-3/4A	115/230	10.8/5.4	3/4	1.25	0.93	UL ¹ , NSF ²	1.5 in. x 1.5 in.	38	F
340038	SF-N1-1A	115/230	14.2/7.1	1	1.25	1.25	UL ¹ , NSF ²	1.5 in. x 1.5 in.	38	G
340039	SF-N1-1-1/2A	115/230	16.0/8.0	1.5	1.10	1.65	UL ¹ , NSF ²	1.5 in. x 1.5 in.	40	H
340040	SF-N1-2A	115/230	22.4/11.2	2	1.10	2.20	UL ¹ , NSF ²	1.5 in. x 1.5 in.	48	I
340041	SF-N1-2-1/2A	230	11.5	2-1/2	1.04	2.60	UL ¹ , NSF ²	1.5 in. x 1.5 in.	54	J
ENERGY EFFICIENT TWO SPEED 3450 RPM, LOW SPEED 1725 RPM										
341111	SF-N2-3/4A	115	14.6/4.7	3/4	1.67	1.25	UL ¹ , NSF ² , APSP ³	1.5 in. x 1.5 in.	39	A, F
340042	SF-N2-1A	230	6.0/2.3	1	1.25	1.25	UL ¹ , NSF ² , APSP ³	1.5 in. x 1.5 in.	39	B, G
340043	SF-N2-1-1/2A	230	7.8/3.0	1-1/2	1.10	1.65	UL ¹ , NSF ² , APSP ³	1.5 in. x 1.5 in.	41	C, H
340044	SF-N2-2A	230	10.0/3.5	2	1.10	2.20	UL ¹ , NSF ² , APSP ³	1.5 in. x 1.5 in.	49	D, I
ENERGY EFFICIENT SINGLE PHASE - 50HZ INPUT POWER FREQUENCY										
340098	SF-N1-1/2	240/120	7.5/15.0	1/2	1.1	0.55	UL ¹	1.5 in. x 1.5 in.	38	
340094	SF-N1-1-3/4	240/120	7.5/15.0	3/4	1.1	0.82	UL ¹	1.5 in. x 1.5 in.	40	
340095	SF-N1-1	240/120	6.9/13.8	1	1.1	1.10	UL ¹	1.5 in. x 1.5 in.	38	
340096	SF-N1-1-1/2	240	7.2	1-1/2	1.1	1.65	UL ¹	1.5 in. x 1.5 in.	40	
340097	SF-N1-2	240	9.4	2	1.1	2.20	UL ¹	1.5 in. x 1.5 in.	48	

ACCESSORIES

350157 Union Kit - 1-1/2 in. Internal Slip x 2 in. External Slip (includes 2 unions as pictured above)

¹ 'UL' indicates that pump bears a UL mark signifying evaluation to U.S. Standards UL1081 for Permanently Connected Swimming Pool and Spa Pumps and to Canadian Standards CAN/CSA C22.2 No. 108-01 Liquid Pumps For Swimming Pools Only (Enclosure 3).

² 'NSF' indicates that pump bears a NSF mark signifying evaluation to NSF Standard 50 For Self-Priming Centrifugal Pumps For Swimming Pools Only.

³ 'APSP' Pump has been evaluated to ANSI/APSP/ICC-15 and California Title 20 and is certified to use on Residential Swimming Pool Filtration Systems.

⁴ Product may have been evaluated to other state and local regulatory standards. Listing status may change. Always confirm status with appropriate agency if in doubt.

* Hayward® and Super Pump® are registered trademarks of Hayward Industries, Inc.



CERTIFICATION OF COMPLIANCE

32" DIAMOND STRIP DRAIN - CONCRETE: P/N 640-136x V

Contents: 1

Part Number: **640-136x V**

Description: **Diamond Strip Drain - Concrete**

Size: **32"**

Open Area: **24 in²**

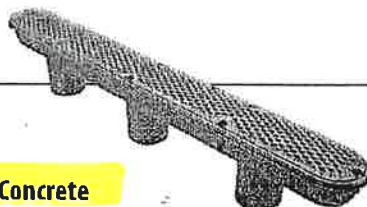
GPM @ 1.5 fps: **111**

Floor Flow Rate: **280 GPM @ 3.75 fps (one port center)**

Floor Flow Rate: **320 GPM @ 4.29 fps (two ports)**

Wall Flow Rate: **216 GPM @ 2.89 fps (one port center)**

Wall Flow Rate: **240 GPM @ 3.22 fps (two ports)**



Date of Manufacture:

This product has been tested to ANSI/ASME 112.19.8-2007 (addendum 8a-2008) per §1404 of the Virginia Graham Baker (VGB 2008) Pool and Spa Safety Act. Certified by: Underwriters Laboratories, Inc., 2929 E. Imperial Highway, Suite 100, Brea, CA 92821-6729

This product is certified to comply with §1404 of the Virginia Graham Baker (VGB 2008) Pool and Spa Safety Act. A copy of the test results for the above may be found at www.waterwayplastics.com or go to www.ul.com. This product is manufactured by Waterway Plastics, Oxnard, CA 93030



2200 East Sturgis Road, Oxnard, CA 93030 • Ph. (805) 981-0262 • Fax (805) 981-9403
www.waterwayplastics.com • waterway@waterwayplastics.com

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810-1502.0410





**engineering &
environmental
design inc.**

Civil Engineering, Planning and Environmental Consultants

Date: September 13, 2013

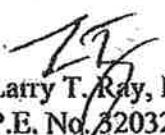
To: City of Belle Isle
1600 Nela Avenue
Orlando, Florida 32809

Re: Belle Vista
Lot 84
Impervious Surface Ratio

To Whom It May Concern,

This letter is to certify that the proposed impervious surface area associated with construction of the home and future pool area on the above referenced lot is consistent with the approved Environmental Resource Permit (ERP) modified by St. Johns Water Management District (SJRWMD) on February 8, 2012.

Very Truly Yours

 9/13/13
Larry T. Ray, P.E.
P.E. No. 32032

803 South Orlando Avenue, Suite F, Winter Park, FL 32789
407-650-0006/407-648-8338 fax

Swimming Pool Energy Efficiency Compliance Information

Note: These Requirements apply ONLY to the Filtration Pump

ANSI / ASPC / ICC-15 2011

Flow Calculations:

Pool water volume $\frac{26,710 \times 480}{1,388} = 56$ gpm - this is the calculated flow rate

Note: for pools under 13,000 gals. the calculated flow rate or 36 gpm whichever is greater = the filtration flow rate

Note: Is there an Auxiliary load on the filtration pump? Yes No

If so, what is the calculated auxiliary flow rate 72 gpm

Flow rate (low speed) 56 gpm @ 2000 rpm

Minimum suction side pipe size @ 6 fps 2" in. Minimum suction side branch pipe size @ 6 fps 2" in.

Minimum return side pipe size @ 8 fps 2" in. Minimum return side branch pipe size @ 8 fps 2" in.

Determine Filter Size:

Filter Factors (GPM/SF): Cartridge (0.375) DE (2.0) Sand (15)

Filter Size: $\frac{72 \text{ gpm}}{0.375} = 192 \text{ sq. ft.}$

**PENTAIR CLEAN+CLEAR
200 SQ.FT. FILTER.**
(Filter Make and Model)

Pump Controls:

Filtration pump has no auxiliary load- standard time clock N/A

Filtration pump with auxiliary load-Control model for low speed default within 24 hrs

**PENTAIR INTELLIFLO
VARIABLE SPEED PUMP
WITH INTERNAL TIME
CLOCK, 8 SPEED SETTINGS**

Heater Model: **PENTAIR MASTERTEMP
400,000 BTU L.P.**
(Make, Model and Size)

Gas Heater Efficiency Rating: 84% (No Pilot Light)

Heater Pump Efficiency C.O.P. N/A

ANSI 5 & ANSI 7 Compliance Work Sheet

Determine Simplified TDH:

USING TOTAL DYNAMIC HEAD METHOD

- Distance from pool to pump in feet: 5
- Friction loss (in suction pipe) in 0 inch pipe per 1 ft. @ 0 gpm = 0 (from pipe flow/friction loss chart)
- Friction loss (in return pipe) in 0 inch pipe per 1 ft. @ 0 gpm = 0 (from pipe flow/friction loss chart)

Determine Simplified TDH (CONTINUED):

$$4. \frac{A}{(Length \text{ of Suct. Pipe})} \times \frac{B}{(F \text{ of head/ft of Pipe})} = \frac{C}{(TDH \text{ Suct. Pipe})}$$

$$5. \frac{D}{(Length \text{ of Return Pipe})} \times \frac{E}{(F \text{ of head/ft of Pipe})} = \frac{F}{(TDH \text{ Return Pipe})}$$

TDH in Piping: SEE ATTACHED SHEET

Filter / Heater loss in TDH: 0

All other losses: 0

Total Dynamic Head (TDH): 37.03

Determine Pipe Sizes:

Branch Piping to be 3" inch to keep velocity @ 6 fps max. at 111.61 gpm System Flow Rate.
 Trunk, Skimmer & Suction Piping to be 3" inch to keep velocity @ 8 fps max. at 111.61 gpm System Flow Rate.
 Return Piping to be 2 1/2" inch to keep velocity @ 10 fps max. at 111.61 gpm System Flow Rate.

Pump Selection: as Listed on Curve A or C (circle one)

Filtration Pump **PENTAIR INTELLIFLO
V.S. PUMP**

Maximum Flow Rate 111.61 gpm

Main Drain Cover **WATERWAY
CHANNEL DRAIN**
(Make and Model)

Determine the Number and Type of Required In-Floor Suction Outlets:

Check all that apply.

- suction outlets @ 2 3-0" suction outlets @ gpm max. flow
- suction outlets @ 3 suction outlets @ gpm max. flow
- channel drain @ WATERWAY 640-136xV channel drain @ 320 gpm w/ 2 ports

Total Head In Feet Conversion Chart

Inches Mercury (Vacuum Gauge)	PSI (Pressure Gauge)															
	0	2	4	6	8	10	12	14	16	18	20	22	24	26	28	30
0	0.0	2.3	4.6	6.9	9.2	11.5	13.8	16.1	18.4	20.7	23.0	25.3	27.6	29.9	32.2	34.5
1	2.3	4.6	6.9	9.2	11.5	13.8	16.1	18.4	20.7	23.0	25.3	27.6	29.9	32.2	34.5	36.8
2	4.6	6.9	9.2	11.5	13.8	16.1	18.4	20.7	23.0	25.3	27.6	29.9	32.2	34.5	36.8	39.1
3	6.9	9.2	11.5	13.8	16.1	18.4	20.7	23.0	25.3	27.6	29.9	32.2	34.5	36.8	39.1	41.4
4	9.2	11.5	13.8	16.1	18.4	20.7	23.0	25.3	27.6	29.9	32.2	34.5	36.8	39.1	41.4	43.7
5	11.5	13.8	16.1	18.4	20.7	23.0	25.3	27.6	29.9	32.2	34.5	36.8	39.1	41.4	43.7	46.0
6	13.8	16.1	18.4	20.7	23.0	25.3	27.6	29.9	32.2	34.5	36.8	39.1	41.4	43.7	46.0	48.3
7	16.1	18.4	20.7	23.0	25.3	27.6	29.9	32.2	34.5	36.8	39.1	41.4	43.7	46.0	48.3	50.6
8	18.4	20.7	23.0	25.3	27.6	29.9	32.2	34.5	36.8	39.1	41.4	43.7	46.0	48.3	50.6	52.9
9	20.7	23.0	25.3	27.6	29.9	32.2	34.5	36.8	39.1	41.4	43.7	46.0	48.3	50.6	52.9	55.2
10	23.0	25.3	27.6	29.9	32.2	34.5	36.8	39.1	41.4	43.7	46.0	48.3	50.6	52.9	55.2	57.5
11	25.3	27.6	29.9	32.2	34.5	36.8	39.1	41.4	43.7	46.0	48.3	50.6	52.9	55.2	57.5	59.8
12	27.6	29.9	32.2	34.5	36.8	39.1	41.4	43.7	46.0	48.3	50.6	52.9	55.2	57.5	59.8	62.1
13	29.9	32.2	34.5	36.8	39.1	41.4	43.7	46.0	48.3	50.6	52.9	55.2	57.5	59.8	62.1	64.4
14	32.2	34.5	36.8	39.1	41.4	43.7	46.0	48.3	50.6	52.9	55.2	57.5	59.8	62.1	64.4	66.7
15	34.5	36.8	39.1	41.4	43.7	46.0	48.3	50.6	52.9	55.2	57.5	59.8	62.1	64.4	66.7	69.0
16	36.8	39.1	41.4	43.7	46.0	48.3	50.6	52.9	55.2	57.5	59.8	62.1	64.4	66.7	69.0	71.3
17	39.1	41.4	43.7	46.0	48.3	50.6	52.9	55.2	57.5	59.8	62.1	64.4	66.7	69.0	71.3	73.6
18	41.4	43.7	46.0	48.3	50.6	52.9	55.2	57.5	59.8	62.1	64.4	66.7	69.0	71.3	73.6	75.9
19	43.7	46.0	48.3	50.6	52.9	55.2	57.5	59.8	62.1	64.4	66.7	69.0	71.3	73.6	75.9	78.2
20	46.0	48.3	50.6	52.9	55.2	57.5	59.8	62.1	64.4	66.7	69.0	71.3	73.6	75.9	78.2	80.5
21	48.3	50.6	52.9	55.2	57.5	59.8	62.1	64.4	66.7	69.0	71.3	73.6	75.9	78.2	80.5	82.8
22	50.6	52.9	55.2	57.5	59.8	62.1	64.4	66.7	69.0	71.3	73.6	75.9	78.2	80.5	82.8	85.1
23	52.9	55.2	57.5	59.8	62.1	64.4	66.7	69.0	71.3	73.6	75.9	78.2	80.5	82.8	85.1	87.4
24	55.2	57.5	59.8	62.1	64.4	66.7	69.0	71.3	73.6	75.9	78.2	80.5	82.8	85.1	87.4	89.7
25	57.5	59.8	62.1	64.4	66.7	69.0	71.3	73.6	75.9	78.2	80.5	82.8	85.1	87.4	89.7	92.0
26	59.8	62.1	64.4	66.7	69.0	71.3	73.6	75.9	78.2	80.5	82.8	85.1	87.4	89.7	92.0	94.3
27	62.1	64.4	66.7	69.0	71.3	73.6	75.9	78.2	80.5	82.8	85.1	87.4	89.7	92.0	94.3	96.6
28	64.4	66.7	69.0	71.3	73.6	75.9	78.2	80.5	82.8	85.1	87.4	89.7	92.0	94.3	96.6	98.9
29	66.7	69.0	71.3	73.6	75.9	78.2	80.5	82.8	85.1	87.4	89.7	92.0	94.3	96.6	98.9	101.2
30	69.0	71.3	73.6	75.9	78.2	80.5	82.8	85.1	87.4	89.7	92.0	94.3	96.6	98.9	101.2	103.5
31	71.3	73.6	75.9	78.2	80.5	82.8	85.1	87.4	89.7	92.0	94.3	96.6	98.9	101.2	103.5	105.8
32	73.6	75.9	78.2	80.5	82.8	85.1	87.4	89.7	92.0	94.3	96.6	98.9	101.2	103.5	105.8	108.1
33	75.9	78.2	80.5	82.8	85.1	87.4	89.7	92.0	94.3	96.6	98.9	101.2	103.5	105.8	108.1	110.4
34	78.2	80.5	82.8	85.1	87.4	89.7	92.0	94.3	96.6	98.9	101.2	103.5	105.8	108.1	110.4	112.7
35	80.5	82.8	85.1	87.4	89.7	92.0	94.3	96.6	98.9	101.2	103.5	105.8	108.1	110.4	112.7	115.0

Flow and Friction Loss Per Foot Schedule 40 PVC Pipe

Pipe Size	Velocity - Feet Per Second					
	6 fps		8 fps		10 fps	
1"	18 gpm	0.14'	21 gpm	0.23'	25 gpm	0.35'
1.5"	37 gpm	0.08'	50 gpm	0.14'	62 gpm	0.21'
2"	62 gpm	0.08'	82 gpm	0.10'	103 gpm	0.16'
2.5"	98 gpm	0.05'	117 gpm	0.05'	148 gpm	0.13'
3"	136 gpm	0.04'	181 gpm	0.07'	227 gpm	0.10'
4"	234 gpm	0.02'	313 gpm	0.05'	392 gpm	0.07'
6"	534 gpm	0.02'	712 gpm	0.03'		

TDH Calculation Options
For each pump

- Simplified Total Dynamic Head (STDH)
Complete STDH Worksheet - Fill in all blanks.
- Total Dynamic Head (TDH)
Complete Program or other calcs. Fill in required blanks on worksheet & attach calculations.
- Maximum Flow Capacity
of the new or replacement pump.

4/3/17
owner **ZACH MACAGIAN**
4323 ISLE VISTA AVE, BLUE ISLE, FL. 32812
Scale: None

NOTE: FIELD TDH MUST BE EQUAL TO OR HIGHER THAN THE CALCULATED TDH.

Zachary & Mariah Malagian

407-341-9502 Zach@SignaturePools.com

4323 Isle Vista Ave.
Belle Isle, FL 32812

SPECIFICATIONS JOB# 3193

POOL

47' x 19' 741 sq 147 lin Depth: 3.5' - 7' Gal: 27,750
Beam: 8" wide Returns: 5 Skimmers: 2
Safety: Floating Alarm

SPA

13' x 7' 85 sq 40 lin Depth: 3.5' Elevation: +12"
Walls: 12" thick PrePlumb: Yes
Therapy Jets: (2) single (1) Jet Pak Cluster
Spillway: Knife Edge Overflow

DECK / COPING / DRAINAGE

Total Deck: 876 sq (569 pool / 307 lanai)
Pool Coping: 78 lin ft Glass Tile: 158 sq ft
Planter Wall Tile: 120 sq Feature Wall Tile: 131 sq
Raised Deck Tile: 87 sq
Drainage: Area Drains w/ 4" hard pipe

EQUIPMENT

Pool Pump: Intelliflow VS
Feature Pump: Whisperflow 1 hp
Filter: Clean & Clear 200
Automation: Easy 8 w/ IC40
Controller: Screenlogic Bundle
Heater: *PENTAIR MASTERTEMP 400,000 BTU L.P.*
Blower: 1 hp 240 v
Pool Lights: (4) Glowbrite Color
Spa Light: (1) Intellibrite Color 12v
Autofill: Intellilevel

RAISED WALLS

Planter Wall: +24" Feature Wall: +48"
Raised Deck: +6" Spa: +12"

ALUMINUM SLAT WALL

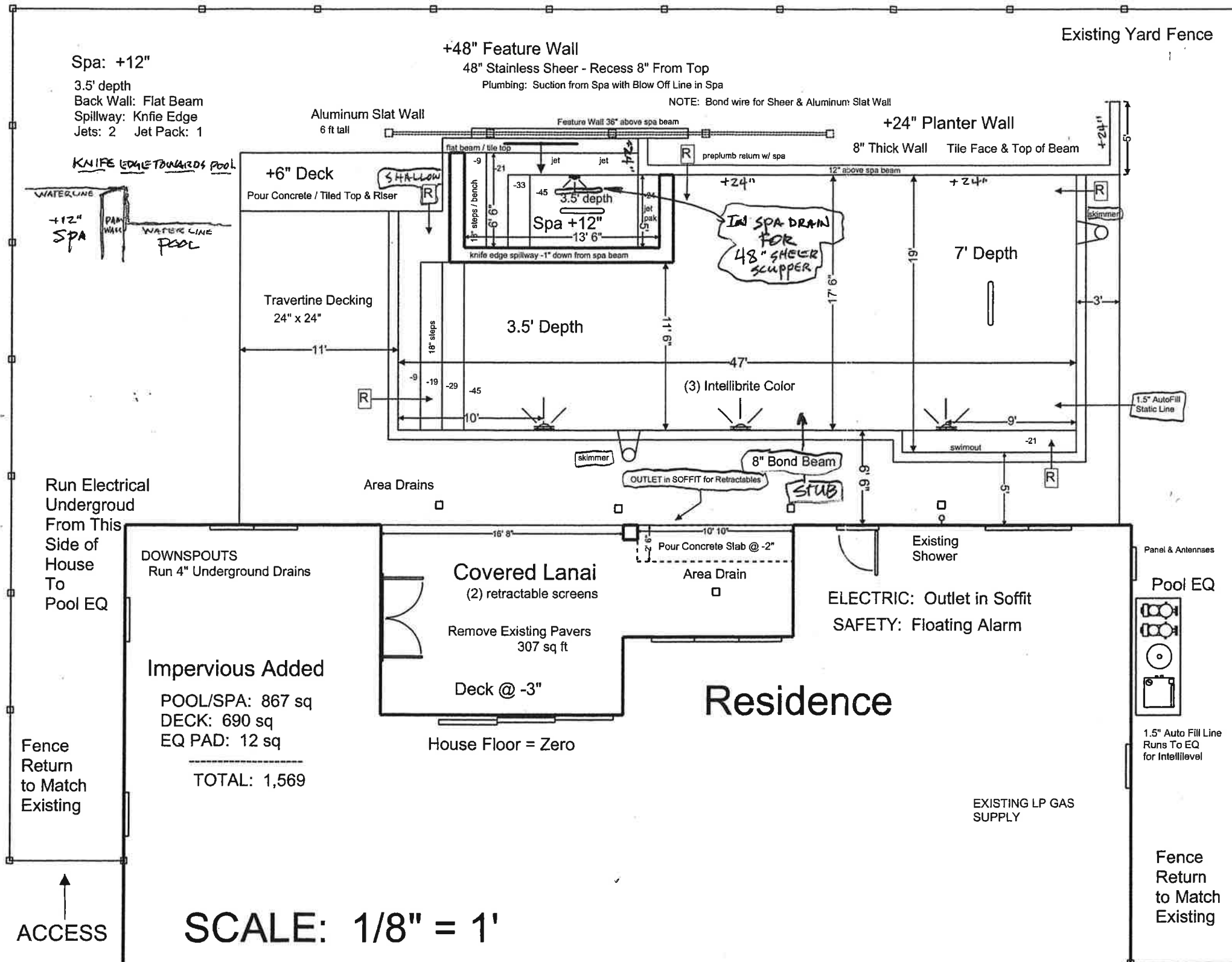
Length: 31 ft Height: 6 ft

YARD FENCE

Existing: 6' tall Vinyl Fence
New: (2) Returns & Gates

RETRACTABLE SCREENS

Retractables: (2) on Lanai Openings



Impervious Added
POOL/SPA: 867 sq
DECK: 690 sq
EQ PAD: 12 sq
TOTAL: 1,569

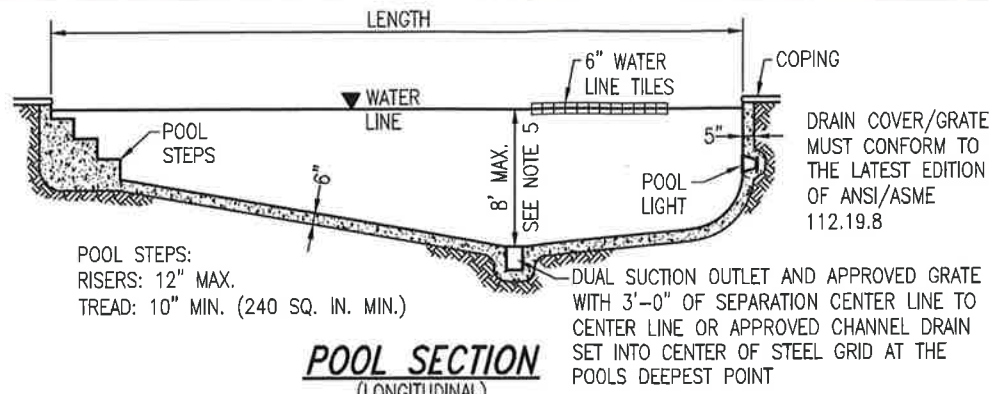


Signature Pools Inc

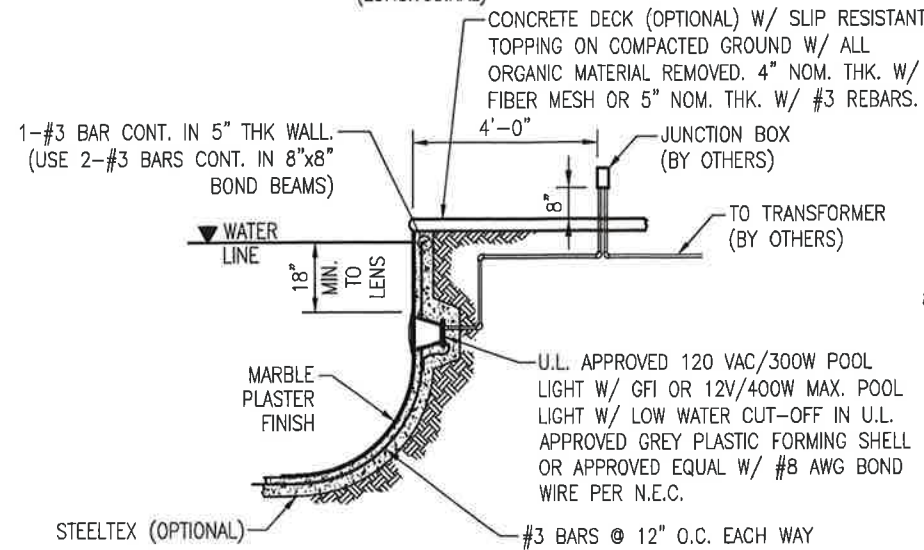
CPC039932 407.851.9086
8818 Commodity Cir - Orlando, FL 32819

GENERAL NOTES

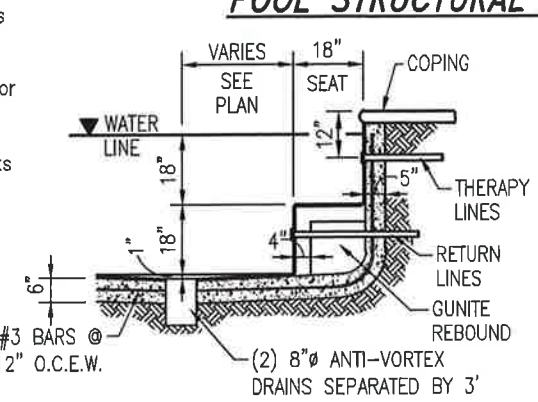
- For pool plan, size, deck, and special details, see Contractor's Pool Plan.
- Pool Walls shall be 5" thick and Floors shall be 6" thick and shall be pneumatically applied Concrete with a Compressive Strength of 3,000 psi in 28 days. Concrete Decks shall be 2,500 psi. Concrete construction will conform to ACI Standard 318.
- All Pool design, construction and workmanship shall be in conformity with the requirements of Florida Building Code, 5th Edition, 2014 (FBC) Accessibility; FBC Building; FBC Residential, and; ANSI/NSPI-3, ANSI/APSP/ICC-4, ANSI/APSP/ICC-5; ANSI/APSP/ICC-6 and ANSI/APSP-7; ANSI/APSP-15 and the Adopted National Electric Code 2011 (NEC) and Chapter 42 and Chapter 45 of the 5th Edition of the FBC, Residential.
- All Pool Piping to be Schedule 40 PVC, bearing the mark of NSF Approval unless otherwise noted.
- All Reinforcing Steel to conform to ASTM 615, Grade 40. Reinforcing shall be #3 bars at 12" on center in each direction, w/ 15" lap joints in walls and floors up to 6'. Where the pool depth is over 6ft (measured vertically down from the Waterline), use #3 bars at 6" on center in each direction in the areas that exceed 6ft in depth. If Concrete is cast against Bare Earth without a Separation Barrier, the minimum cover shall be 3". With a Barrier (SteelTex) between Concrete and Earth, the minimum cover shall be 1 1/2".
- All Metallic Pool Fittings within 5' of the inside wall and deck reinforcing steel to be bonded to the Pool Reinforcing Steel with #8 AWG Copper Wire. The #8 Copper Wire to be run internally and externally with the NEC approved PVC Light Conduit from the Light Niche to the Junction Box. Completion of the pool grounding to the Electrical Panel Ground to be by Electrician.
- Bond all Sheathed Cables, Raceways, Metal Piping and all Fixed Metal Parts not separated by a permanent barrier, if within 5'-0" horizontally from Water and 12'-0" vertically of Maximum Water Level.
- Equipotential Bonding to be accomplished in accordance with Article 680 of the Adopted National Electrical Code 2011 (NEC).
- Pool or Patio shall bear only on Rock or Clean Sand, which shall be compacted to provide a Structurally Safe Bearing Capacity. Any Unsuitable Material encountered in excavation shall be removed in its entirety and the area shall be backfilled with acceptable material and properly compacted. Where unsuitable Material cannot be removed, the pool must be redesigned.
- The Contractor must protect Existing Structures from failure by acceptable methods if required. The Engineer accepts no responsibility for the safety of Existing Structures.
- The Design Engineer assumes no responsibility for pool construction in Easements or Required Setback areas. Pool Contractor and/or Owner shall verify the layout and all dimensions shown prior to construction.
- Contractor shall determine the location of all Utilities in relation to the Pool and its Equipment and ensure minimum clearances in accordance with Local Regulations and Ordinances.
- Contractor shall provide adequate Temporary Fencing around the construction area to prevent unauthorized entry into the Pool Area.
- If a water supply is provided, a minimum 3" Atmospheric Break will be provided.
- All Structural, Filtration and Electrical details outlined in these drawings also relate to Spa Construction.
- All Pool and Spa Heaters shall be equipped with an On/Off Switch mounted for easy access to allow the Heater to be Shut Off without adjusting the Thermostat settings and to allow restarting without relighting the Pilot Light.
- WARNING!** To empty the Pool for any reason, the Hydrostatic Uplift Pressure must be eliminated. The Owner must consult a Contractor experienced in eliminating Uplift Pressure.



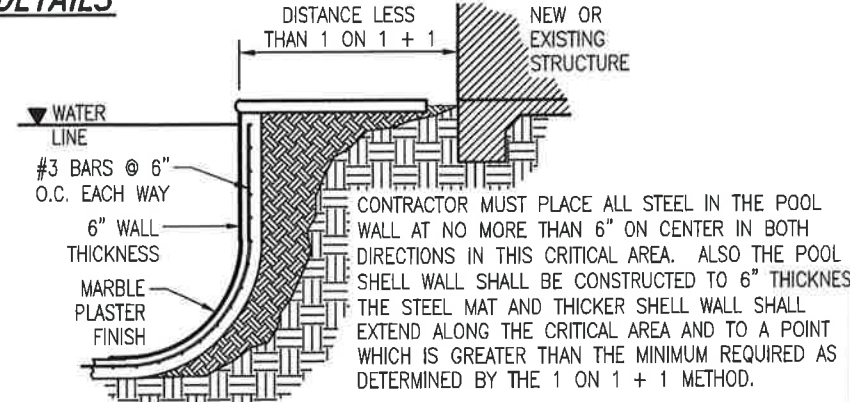
POOL SECTION
(LONGITUDINAL)



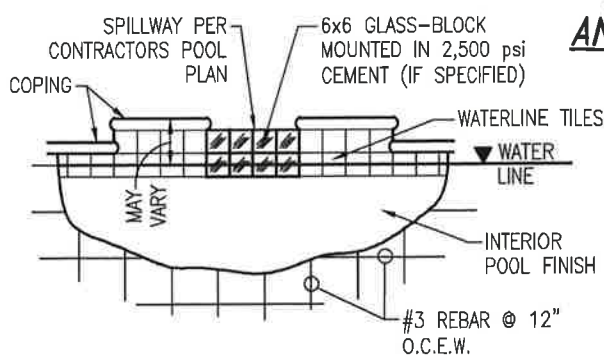
POOL STRUCTURAL DETAILS



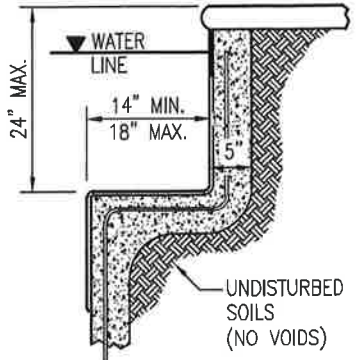
SPA STRUCTURAL DETAILS



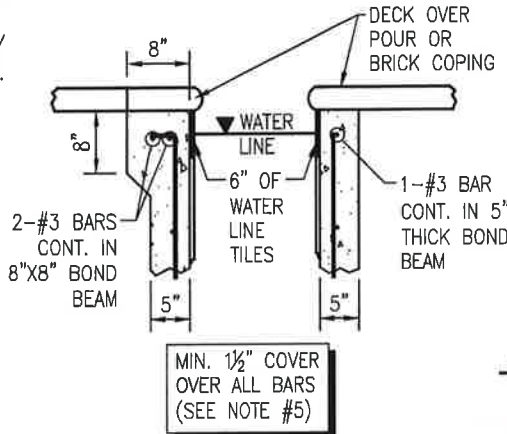
TYPICAL WALL AND FLOOR WITHIN ANGLE OF REPOSE



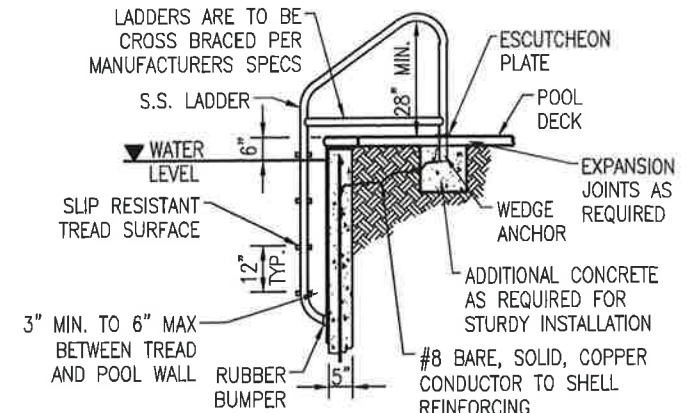
RAISED SPA DETAIL



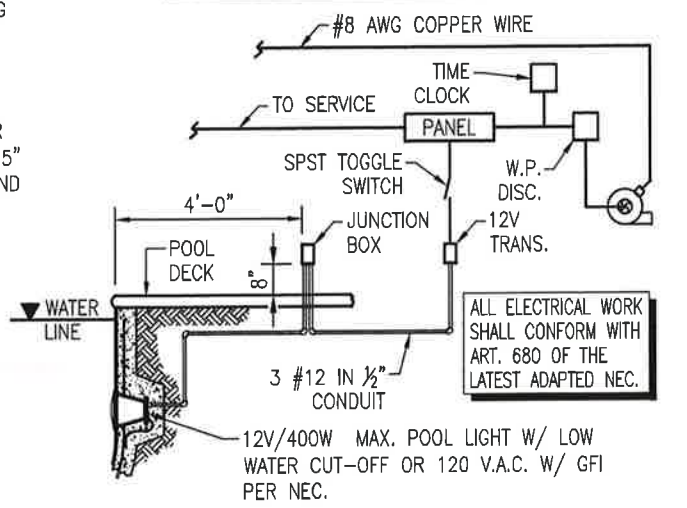
SWIM-OUT DETAIL



ALTERNATE BEAM FINISH DETAIL

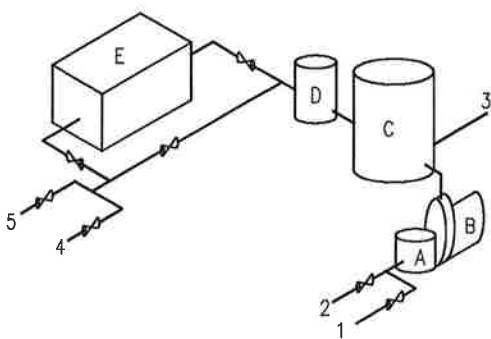


TYPICAL LADDER DETAIL



ELECTRICAL DIAGRAM

Reviewed for Code Compliance
Universal Engineering Sciences



FILTER SYSTEM

PLAN EXPIRES 1 YEAR FROM THE SIGNATURE DATE OR THE EFFECTIVE DATE OF A MAJOR FLORIDA BUILDING CODE CHANGE WHICHEVER IS SOONER

APRIL 4 2017
Date

[Signature]

Skilo Engineering Services, Inc.
Larry B. Schnaper, P.E.
FL PE NO. 32046
2431 Aloma Ave., Ste. 124
Winter Park, FL 32792
(407) 275-1099

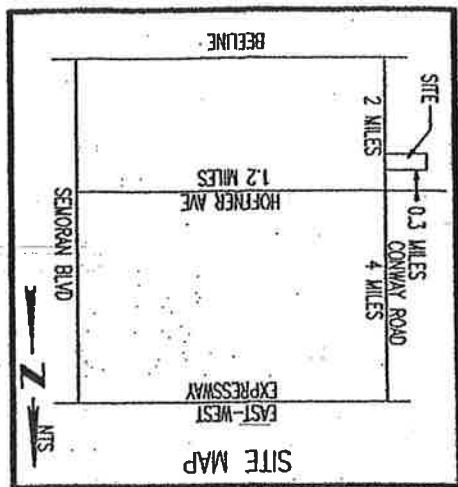
SIGNATURE POOLS
Serving Central Florida since 1967

8818 Commodity Circle
Suite 43
Orlando FL 32819
(407) 851-9086
CPC039932

Swimming Pool Specification For:

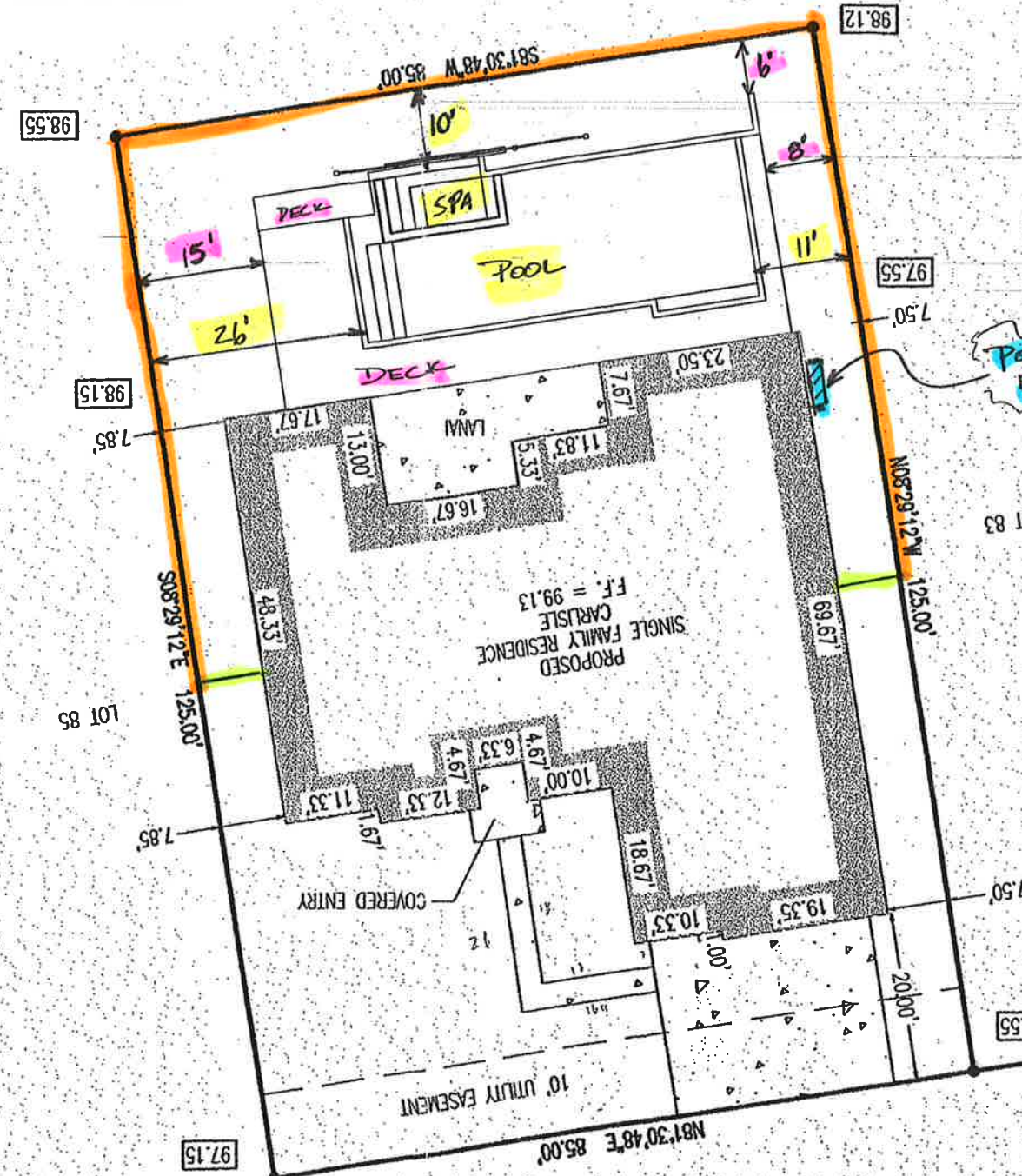
ZACHARY MALAGIAN
4323 ISLE VISTA AVE
BELLE ISLE FL 32812

Scale: None Rev 10 - 06/30/15 T



Reviewed for Code Compliance
 Universal Engineering Sciences

ADDITIONAL SETBACKS NOT SHOWN:
 POOL DECK=5' REAR SB
 POOL WATERS EDGE=10' REAR SB



EXISTING FENCE
 6' TAN TAN VINYL

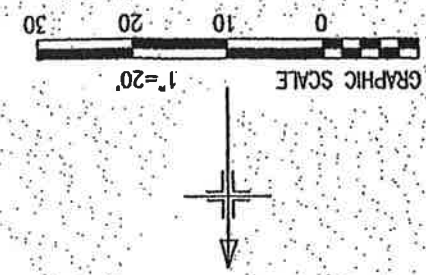
NEW FENCE
 6' TAN TAN VINYL
 (MATCH EXISTING)

CITY OF BELLE ISLE
 THE PLANS AND SPECIFICATIONS
 HAVE BEEN REVIEWED. FULL
 COMPLIANCE WITH CODES AND
 REGULATIONS ARE REQUIRED BY
 THE PERMIT HOLDER

APPROVED *J. Cannon* 4/14/2013
 BU540

LEGAL DESCRIPTION:
 LOT 84, BELLE VISTA ON LAKE CONWAY, ACCORDING TO THE PLAT
 THEREOF, AS RECORDED IN PLAT BOOK 69 PAGES 12 THRU 15,
 INCLUSIVE, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

ISLE VISTA AVENUE TRACT "H" PER
 BELLE VISTA ON LAKE CONWAY
 PB 69 PGS 12-15
 ORANGE CO



- LEGEND:
- (M) = MEASURED
 - (P) = PLAT
 - (C) = CALCULATED
 - IR = IRON ROD
 - CM = CONCRETE MONUMENT
 - IRC = IRON ROD AND CAP
 - IPC = IRON PIPE AND CAP
 - COR = CORNER
 - FF = FINISHED FLOOR
 - LGP = LOT GRADING PLAN
 - R = RADIUS
 - WLE = WALL/LANDSCAPE EASEMENT
 - SFR = SINGLE FAMILY RESIDENCE
 - PR = PROPOSED
 - POC = POINT ON CURVE
 - PC = POINT OF CURVATURE
 - PI = POINT OF INTERSECTION
 - ND = NOT TO SCALE
 - ND = NAIL AND DISC
 - = SET IRC LB7974
 - (M) = MEASURED BUSINESS
 - (P) = PLAT
 - (C) = CALCULATED BUSINESS
 - IR = IRON ROD
 - CM = CONCRETE BUSINESS MONUMENT
 - IRC = IRON ROD AND CAP
 - IPC = IRON PIPE AND CAP
 - COR = CORNER
 - FF = FINISHED FLOOR
 - LGP = LOT GRADING PLAN
 - R = RADIUS
 - WLE = WALL/LANDSCAPE EASEMENT
 - SFR = SINGLE FAMILY RESIDENCE
 - PR = PROPOSED
 - POC = POINT ON CURVE
 - PC = POINT OF CURVATURE
 - PI = POINT OF INTERSECTION
 - ND = NOT TO SCALE
 - ND = NAIL AND DISC
 - = SET IRC LB7974

SURVEYORS NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON THE EAST LINE OF LOT 50 HAVING AN ASSUMED BEARING OF SOUTH 00°10'15" EAST.
2. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL 12095C0430F, HAVING AN EFFECTIVE DATE OF SEPTEMBER 25, 2009, THE SUBJECT PROPERTY LIES IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD).
3. LEGAL DESCRIPTION SHOWN HEREON WAS PROVIDED BY CLIENT.
4. ALL DISTANCES SHOWN ARE PLAT AND MEASURED UNLESS NOTED.
5. THE MEASUREMENTS SHOWN HEREON ARE IN U.S. SURVEY FEET. THE ACCURACY OF THIS SURVEY EXCEEDS THE REQUIREMENTS OF FLORIDA ADMINISTRATIVE CODE 5J-17.

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PREPARED UNDER MY DIRECTION AND THAT THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE ADOPTED "MINIMUM TECHNICAL STANDARDS" AS REQUIRED BY CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATE STATUTES.

EDWARD J MIZO
 PROFESSIONAL SURVEYOR AND MAPPER NO. 3376
 RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

CHARLIE MIZO SURVEYING, INC
 PROFESSIONAL LAND SURVEYORS
 3015 ARDSLEY DRIVE
 ORLANDO, FL 32804
 (321) 200-4904

BOUNDARY/PLOT PLAN SURVEY
 LOT 84 BELLE VISTA ON LAKE CONWAY
 LYING IN
 SECTION 20, TOWNSHIP 23 S RANGE 30 E

BOUNDARY/PLOT PLAN SURVEY

SEPT 9, 2013