



# City of Belle Isle Job Site Card Swimming Pool PERMIT 2018-08-035

**PERMIT MUST BE POSTED ON SITE** - A permit expires in 6 months if approved inspections are not recorded /schedule within that time frame. **You are responsible for scheduling and keeping track of all inspections.**

Permit Number: 2018-08-035

Issue Date: 08 / 22 /2018

Site Address: 3007 Trentwood Blvd 32812

Parcel Number: 29-23-30-1876-04-130

Class: Residential

Subdivision:

Description of Work: 15'x48' INGROUND INSULATED SWIMMING POOL.

Issued To: Nilsson Joakim (Homeowner)

Business Phone: 407 766-5450

Name: Nilsson Joakim

Contractor License: N/A

Payment Date & Method: 11 / 15 / 2018

Picked up by Joakim Nilsson

Visa  Master Card  Amex  Discover  Check / Money Order # Amex 18000

Schedule Inspections via Email at: [BIDScheduling@universalengineering.com](mailto:BIDScheduling@universalengineering.com)

**SCHEDULE INSPECTIONS BY 3:00 PM CUT OFF TIME**

**Inspection Results Will Be Sent Out the Following Business Day**

**"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**

BUILDING	INSPECTOR	DATE	COMMENTS
800 Pool Steel & Ground			
810 Pool Deck			
820 Pool Safety			
830 Final			

ELECTRICAL	INSPECTOR	DATE	COMMENTS
840 Rough/underground			
850 Pool Light (optional)			
860 Final			

PLUMBING	INSPECTOR	DATE	COMMENTS
870 Rough/underground			
880 Final			

Inspection requests are to be emailed to [BIDScheduling@UniversalEngineering.com](mailto:BIDScheduling@UniversalEngineering.com); a confirmation email will be sent back to you upon scheduling. **Next-Day Inspection requests must be made by 3:00 pm.** Please include the following in your request: Permit #, project address, type of inspection, date of the requested inspection, a contact name & a contact phone number. AM or PM may be requested but cannot be guaranteed.



# City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811  
Tel 407-581-8161 \* Fax 407-581-0313 \* [www.universalengineering.com](http://www.universalengineering.com)

RECEIVED  
AUG 13 2018

## Swimming Pool Permit Application

DATE: 8-13-2018

PERMIT # 2018-08-035

PROJECT ADDRESS 3007 Trentwood Blvd, Belle Isle, FL 32809 X 32812

PROPERTY OWNER NAME Joakim Nilsson PHONE NUMBER 407-766-5450

Parcel Id Number: 29-23-30-1876-04-130 To obtain this Information, please visit <http://www.ocpaf1.org/Searches/ParcelSearch.aspx>

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCROACH INTO ANY EASEMENT OR REQUIRED SETBACK. Survey specific plan required to show compliance with zoning setbacks. Impervious Surface Ratio Worksheet required; see Page 2 of this application.

PLANNING & ZONING APPROVAL: **ZONING APPROVED**

Date: 8/15/18 By: [Signature]

DATE \_\_\_\_\_

Note: this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions.

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)

Pool Dimensions: 15' x 48' Deck Square Footage: 2,737 Deck Type: travertine / paver

Job Valuation: \$ 75,000 WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

15'x48' INGROUND INSULATED SWIMMING POOL

• REQUIRED! Residential Swimming Pool Safety Affirmation form

Building Official: [Signature] Date 8-21-18  
Verified Contractor's Licenses & Insurance are on file N/A Date 8-2-18

O/B disclosure ✓

Zoning Fee	\$ <u>165.-</u>
Building Fee	\$ <u>321.-</u>
Review Fee	\$ <u>160.50</u>
1% BCAIB Fee	\$ <u>4.82</u>
1.5% DCA Fee	\$ <u>7.22</u>
Total Permit Fee	\$ <u>658.54</u>

An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, GAS, ENCLOSURES, ETC.

15' x 48' 25  
74x4 396  
321  
160.50  
481.50

PAID  
11-5-18  
Amex 18000

119504



City of Belle Isle  
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811  
 Tel 407-581-8161 \* Fax 407-581-0313 \* [www.universalengineering.com](http://www.universalengineering.com)

**Swimming Pool Permit Application**

To be completed as required by State Statute Section 713 and other applicable sections.

**PERMIT #** 2018-08-035

Owner's Name Joakim Nilsson

Owner's Address 3007 Trentwood Blvd, Belle Isle FL, 32812

License Holder Name <b>Joakim Nilsson (Owner-Builder)</b>	Company Name <b>n/a</b>
License # <b>n/a</b>	Company Address <b>n/a</b>
Contact Phone/Cell <b>407-766-5450</b>	City, State, ZIP <b>Belle Isle FL, 32812</b>
Contact Email <b>joakim.nilsson@snabbschakt.se</b>	Contact Fax <b>n/a</b>

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations ([www.floridabuilding.org](http://www.floridabuilding.org)) and City Ordinances ([www.municode.com](http://www.municode.com)) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and /or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ELECTRICAL, PLUMBING, GAS, SCREEN ENCLOSURES, ETC.

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

**Owner Signature** [Signature]

The foregoing instrument was acknowledged before me this 8/13/2018  
 by Joakim Nilsson who is personally known to me  
 and who produced N425-530-64-214-0  
 as identification and who did not take an oath.

Notary as to Owner  
 State of Florida  
 County of Orange



**Contractor Signature** \_\_\_\_\_

COMPANY NAME \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_/\_\_\_/\_\_\_  
 by \_\_\_\_\_ who is personally known to me  
 and who produced \_\_\_\_\_  
 as identification and who did not take an oath.

Notary as to Owner  
 State of Florida  
 County of Orange

**Impervious Surface Ratio Worksheet**  
 Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per City Code, Section 50-74: Impervious Surface Ratio

- Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).  
 Total Lot Area 29,358 X 0.35 =  
 Allowable Impervious Area (BASE) 10,275
- Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc.
  - House 3,036
  - Driveway 1,697
  - Walkway 133
  - Accessory Buildings 0
  - Pool & Spa 720
  - Deck & Patio 2,737
  - Other 39

**Actual Impervious Area (AIA) 8,413**
- If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.
- If AIA is greater than BASE, then onsite retention must be provided.

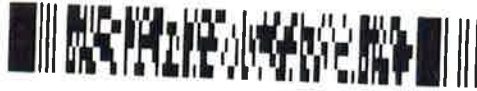
Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed

Joakim Nilsson



DOCH 20180488334  
08/16/2018 11:34:47 AM Page 1 of 1  
Rec Fee: \$10.00  
Phil Diamond, Comptroller  
Orange County, FL  
IP - Ret To: JOAKIM NILSSON

Permit Number: 208-08-035  
Folio/Parcel Identification Number: \_\_\_\_\_  
Prepared by: \_\_\_\_\_  
Return to: \_\_\_\_\_



NOTICE OF COMMENCEMENT

State of Florida, County of Orange  
The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

- Description of property** (legal description of the property, and street address if available)  
LOT 13, BLOCK D, DAETWYLER SHORES, PLAT BOOK U, PAGE 106, ORANGE COUNTY, FL
- General description of improvement**  
New Residential Swimming Pool and Deck
- Owner information or Lessee information if the Lessee contracted for the improvement**  
Name Joakim Nilsson  
Address 3007 Trentwood Blvd, Belle Isle FL, 32812  
Interest in Property OWNER
- Name and address of fee simple titleholder** (if different from Owner listed above)  
Name \_\_\_\_\_  
Address \_\_\_\_\_
- Contractor**  
Name Joakim Nilsson (Owner-Builder) Telephone Number 407-766-5450  
Address 3007 Trentwood Blvd, Belle Isle FL, 32812 Sweden +46 705 165 600
- Surety** (if applicable, a copy of the payment bond is attached)  
Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
Address N/A Amount of Bond \$ \_\_\_\_\_
- Lender**  
Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
Address \_\_\_\_\_
- Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by §713.13(1)(a)7, Florida Statutes.**  
Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
Address \_\_\_\_\_
- In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in §713.13(1)(b), Florida Statutes.**  
Name \_\_\_\_\_ Telephone Number \_\_\_\_\_  
Address \_\_\_\_\_
- Expiration date of notice of commencement** (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified) Start date November 2018

STATE OF FLORIDA, COUNTY OF ORANGE  
COMPTROLLER - PHIL DIAMOND  
I hereby certify that this is a true copy of the documents on file with the Office of Records  
PHIL DIAMOND, COUNTY COMPTROLLER  
BY: [Signature]  
DATED: 8/16/18

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager \_\_\_\_\_  
Owner  
Signatory's Title/Office

The foregoing instrument was acknowledged before me this 13 day of Aug by Joakim Nilsson  
month/year name of person

as OWNER for OWNER  
Type of authority, e.g., officer, trustee, attorney in fact Name of party on behalf of whom instrument was executed

Signature of Notary Public - State of Florida \_\_\_\_\_  
Print, type, or stamp commissioned name of Notary Public

Personally Known \_\_\_\_\_ OR Produced ID N 425-530 64-214  
Type of ID Produced \_\_\_\_\_





*Permit 2018-08-035*

**CITY OF BELLE ISLE, FLORIDA**

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811  
Tel 407-581-8161 \* Fax 407-581-0313 \* [www.universalengineering.com](http://www.universalengineering.com)

**RESIDENTIAL SWIMMING POOL**  
**SAFETY AFFIRMATION**

Date: 8-15-2018

Address: 3007 TRENTWOOD BLVD

I, JOAKIM NILSSON, License # (Owner Builder)  
(print contractor's name)

hereby affirm that the pool will be isolated from access from within the dwelling AND from adjacent properties by a barrier that meets the pool barrier requirements of Florida Statute 515.29 and the 2017 Florida Building Code, Residential Section, Fifth Edition R4501.17.

**Check the applicable barrier requirements from the following options and show on the site plan:**

The pool will be equipped with an approved safety pool cover that complies with ASTM F1346 (Standard Performance Specifications for Safety Covers for Swimming Pools, Spas and Hot Tubs) per FBC R4501.17, Exception.

The pool will be isolated from access by a mesh safety barrier that meets the requirements of FBC R4501.17.1.15. *Baby Fence*

Reviewed for Code Compliance  
Universal Engineering Sciences  
8-21-18  
*[Signature]*

The pool will be isolated from access by a screen enclosure that meets the requirements of FBC R4501.17.1.11.

The pool will be isolated from access by a fence and pedestrian gates that meet the requirements of FBC R4501.17.1.1 through 4501.17.1.8.

**Does any part of the barrier consist of dwelling walls which contain doors or windows?**

Yes  No  If yes, then check which of the three options below are applicable:

All doors and windows providing direct access from the dwelling to the pool will be equipped with an exit alarm that meets the requirements of FBC R4501.2.17.1.9(1) unless Exceptions a, b or c apply.

All doors providing direct access from the dwelling to the pool will be equipped with self-closing, self-latching devices installed 54" above the threshold that meet the requirements of FBC R4501.2.17.1.9, exception 2.

A floating swimming pool alarm that meets & is independently certified to ASTM Standard F2208 will be provided per FBC R4501.17.1.9(3).

I understand that the above indicated shall be installed before the time of pool safety inspection per FBC R4501.19.

*[Signature]*  
(Contractor's Signature)

*[Signature]*  
(Property Owner's Signature)



## City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811  
Tel 407-581-8161 \* Fax 407-581-0313 \* [www.universalengineering.com](http://www.universalengineering.com)

### OWNER BUILDER DISCLOSURE STATEMENT

Per Florida Statute 455.228:

**Homeowners hiring unlicensed Contractors may be  
subject a fine of up to \$5,000.00!**



Before me this day personally appeared Joakim Nilsson, who being duly sworn, deposes, and says as follows. "I hereby acknowledge that I have read and fully understand the individual provisions of this instrument."

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license JN Initial
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility. JN Initial
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts. JN Initial
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000.00. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption. JN Initial
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction. Initial
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance. JN Initial
7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit, that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property. JN Initial
8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk. JN Initial
9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations. JN Initial
10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at (850)487-1395 or [www.Call.Center@dbpr.state.fl.us](mailto:www.Call.Center@dbpr.state.fl.us) for more information about licensed contractors. JN Initial

Owner Builder Disclosure Statement

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

Project Address: 3007 Trentwood Blvd

[Signature] Initial

12. I agree to notify the City of Belle Isle Building/Zoning Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure.

[Signature] Initial

13. FBC 105.3.6 requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

[Signature] Initial

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if any unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is property licensed and the status of the contractor's workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit. A copy of the property owner's driver license, the notarized signature of the property owner, or other type of verification acceptable to the local permitting agency is required when the permit is issued.

Reviewed for Code  
Universal Engineering  
Sciences

Signature: [Signature] (Signature of the property owner)      Print: JOAKIM NILSSON (Name of the property owner)

Signature: \_\_\_\_\_ (Signature of the property owner)      Print: \_\_\_\_\_ (Name of the property owner)


Owner's Address: 3007 TRENTWOOD BLVD Belle Isle FL 32812

The foregoing instrument was acknowledged before me this 8 / 13 / 2018

by JOAKIM NILSSON who is personally known to me / who produced the following  
N 425-530-64-214-0 as identification and who did not take an oath.

State of Florida / County of ORANGE

Notary Signature: [Signature]

Seal: 



# UNIVERSAL ENGINEERING SCIENCES

Consultants In: Geotechnical Engineering • Environmental Sciences  
Geophysical Services • Materials Testing • Threshold Inspection  
Building Code Administration, Compliance Inspection & Plan Review

3532 Maggie Blvd, Orlando, FL 32811 - P: 407.423.0504 - F: 407.423.3106

Work Order No. 119504

## Inspection Report

Project Name: 3007 Trentwood Blvd ~ COBI  
Address: 3007 Trentwood Blvd ~ COBI, Belle Isle, Orange County, FL  
Client: City of Belle Isle  
ProjectNo.: 0115.1600458.0000-0115-006

Date: 08/15/2018 Any any  
Permit No: 2018-08-035  
Lot No.:  
Contact: Susan Manchester at 407 581 8161

Scope of Inspection: REVIEW app for arctic insulated swimming pool ✓

Inspection Type:

Disposition of Inspection:

*Approved*

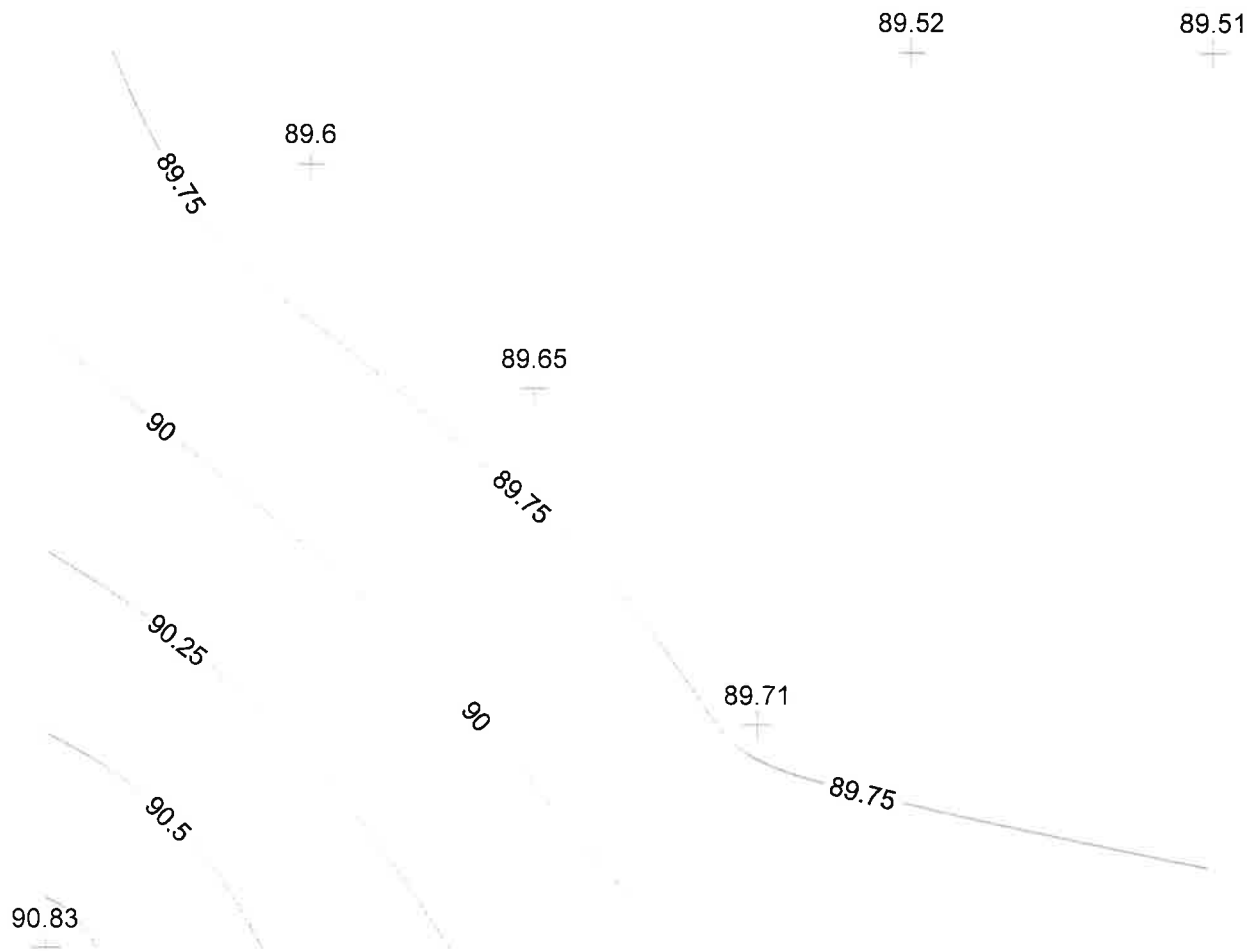
Comments:

I hereby affirm that to the best of my knowledge and belief, the above listed inspection was performed as indicated and the work was reviewed for compliance with the approved plans, and all pertinent sections of the Florida Building Code.

Inspector: Dale Baker, BN 3927

*Dale Baker*





SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, GAS, ENCLOSURES, ETC.

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Building Official: \_\_\_\_\_ Date \_\_\_\_\_  
Verified Contractor's Licenses & Insurance are on file \_\_\_\_\_ Date \_\_\_\_\_

- Zoning Fee \$ \_\_\_\_\_
- Building Fee \$ \_\_\_\_\_
- Review Fee \$ \_\_\_\_\_
- 1% BCALB Fee \$ \_\_\_\_\_
- 1.5% DCA Fee \$ \_\_\_\_\_
- Total Permit Fee \$ \_\_\_\_\_



Commencement may result in your (+) or if A/C Replacement \$7500(+) der or an attorney before recording

Note: this Zoning Approval MA...  
PLEASE COMPLETE for Building Review  
Pool Dimensions: \_\_\_\_\_  
Job Valuation: \$ \_\_\_\_\_  
paying twice for improvements to your l and posted on the job site before the fir your Notice of Commencement.

**Snabbschakt**  
i Göteborg AB

**Joakim Nilsson**

Tel +46 31-706 96 00  
Mobil +46 705-16 56 00  
Mobil USA +1-407-766-5450  
Fax +46 31-706 96 00  
joakim.nilsson@snabbschakt.se

Snabbschakt i Göteborg AB  
Eklanda byväg 23  
431 59 Mölndal

www.Snabbschakt.se

PLANNING & ZONING APPROVAL: \_\_\_\_\_

SPECIAL CONDITIONS: STRUCTURES MAY NOT show compliance with zoning setbacks. Imperion

Parcel Id Number: \_\_\_\_\_

PROPERTY OWNER NAME \_\_\_\_\_

PROJECT ADDRESS \_\_\_\_\_

DATE: \_\_\_\_\_

PERMIT # \_\_\_\_\_

DATE \_\_\_\_\_

Application  
University Blvd., Orlando, FL 32811  
www.universalsenengineering.com



**LEGAL INFORMATION**

PARCEL ID #29-23-30-1876-04-130

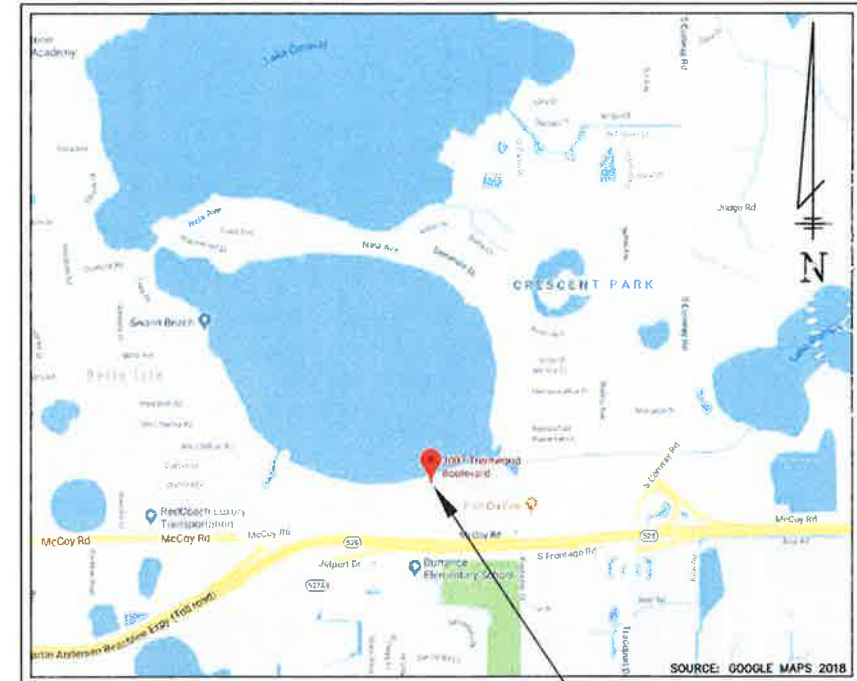
LOT 13, BLOCK D, DAETWYLER SHORES, ACCORDING TO THE PLAT THERE OF, AS RECORDED IN PLAT BOOK U, PAGE(S) 106, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FL.

**CONSTRUCTION PLANS FOR NILSSON RESIDENTIAL POOL BELLE ISLE, FLORIDA**

**PROJECT REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

**PROJECT LOCATION**



LOCATION OF PROJECT

**UTILITY INFORMATION**

CHAPTER 553.851 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATING.

SUNSHINE STATE ONE CALL of FLORIDA  
TEL. (800) 432-4770  
WWW.SUNSHINE811.COM

**SITE INFORMATION**

**PROJECT TITLE:**  
NILSSON RESIDENTIAL POOL

**SOIL SURVEY:**  
BASED ON "SOILS SURVEY OF ORANGE COUNTY, FLORIDA" BY U.S.D.A. N.R.C.S., THE SITE IS COMPRISED OF BASINGER FINE SAND, FREQUENTLY PONDED, 0 TO 1 PERCENT SLOPES.

**PROJECT ADDRESS:**  
3007 TRENTWOOD BOULEVARD  
BELLE ISLE, FL 32812

**FLOOD ZONE:**  
BASED ON THE FLOOD INSURANCE RATE MAP NUMBER 12095C0430F, REVISED SEPTEMBER 25, 2009, THE SITE IS LOCATED WITHIN IN FLOOD ZONE X AND AE, WHICH IS AN AREA OF MINIMAL FLOOD HAZARD.

**OWNER/APPLICANT:**  
JOAKIM NILSSON  
3007 TRENTWOOD BOULEVARD  
BELLE ISLE, FL 32812  
407-766-5450  
joakim.nilsson@snabbschakt.se

**BUILDING SETBACKS:**  
MINIMUM EAST SETBACK - SIDE  
MINIMUM WEST SETBACK - SIDE  
MINIMUM NORTH SETBACK - REAR  
MINIMUM SOUTH SETBACK - FRONT

**REQUIRED:**  
7.5 FT. MIN.  
7.5 FT. MIN.  
35 FT. MIN.  
30 FT. MIN.

**PROPOSED:**  
7.5 FT.  
10.3 FT.  
138.8 FT.  
69.5 FT.

**PLANS PREPARED BY:**  
DC CUSTOM POOLS & SPAS  
CA# 32304  
407-456-0930  
dcpoolandspainfo@gmail.com

**AREA:**  
EXISTING LOT AREA 29,358 SF  
PROPOSED TOTAL IMPERVIOUS AREA 8,413 SF  
MAXIMUM ALLOWABLE ISR 35.00%  
PROPOSED ISR 28.65%

**ENGINEER OF RECORD:**  
TARIK ABDUL-LATIF CHEHAB, PE

**ZONING:**  
R-1-AA

**DRAWING INDEX**

- C-1 COVER SHEET
- C-2 GENERAL NOTES
- C-3 SITE OVERVIEW
- C-4 SITE PLAN
- C-5 PLUMBING PLAN
- C-6 SECTIONS
- C-7 DETAILS (1 OF 2)
- C-8 DETAILS (2 OF 2)
- C-9 CALCULATIONS
- TS1 SURVEY



**DISCLAIMER**

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NO.	DATE	DESCRIPTION

PROJ: 2018.07.01  
DATE: AUGUST 4, 2018  
DRAWN BY: TAC  
RELEASED BY: TAC  
ISSUED FOR: PERMITTING

TARIK ABDUL-LATIF CHEHAB  
P.E.# 75463

8-13-18

CUSTOM POOLS & SPAS

DRAWING NOT VALID UNLESS SIGNED & SEALED BY A PROFESSIONAL ENGINEER

NILSSON RESIDENTIAL POOL  
3007 TRENTWOOD BOULEVARD  
BELLE ISLE, FLORIDA 32812

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2017 FLORIDA BUILDING CODE RESIDENTIAL CODE AND LOCAL ORDINATES. THE CONTRACTOR SHALL CONFORM TO THE LATEST OSHA STANDARDS FOR ALL WORK RELATED TO THIS PROJECT.
2. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND IN-HAND BEFORE BEGINNING ANY CONSTRUCTION.
3. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. IF DISCREPANCIES ARE FOUND BETWEEN THESE PLANS AND ANY OTHER CONTRACT DOCUMENT, THE MOST STRINGENT REQUIREMENT SHALL GOVERN. CONTRACTORS, SUBCONTRACTORS AND OWNERS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND DC CUSTOM POOLS & SPAS MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
4. THE SCOPE OF THESE PLANS INCLUDE THE POOL, POOL AUXILIARIES, AND DECK AREA ONLY. FOR DETAILS REGARDING HOUSE RENOVATIONS, PLEASE REFER TO PERMIT BLDG2016-10054. FUTURE SCREEN ENCLOSURE PLANS BY OTHERS.
6. THE LOCATION OF ALL EXISTING FEATURES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR INACCURACY. SHOULD A DISCREPANCY ARISE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, WHICH WOULD APPRECIABLY AFFECT THE EXECUTION OF THESE PLANS, THE CONTRACTOR WILL IN WRITING NOTIFY THE ENGINEER IMMEDIATELY.
7. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED FOR TEMPORARY STABILIZATION. WITHIN TEN DAYS, ALL DISTURBED AREAS TO BE PERMANENTLY STABILIZED SHALL BE SODDED. SOD ALL SLOPES STEPPER THAN 4:1 AND ANCHOR SOD.
8. THE CONTRACTOR SHALL NOT EXCAVATE, REMOVE OR OTHERWISE DISTURB ANY MATERIAL, STRUCTURE OR PART OF A STRUCTURE WHICH IS LOCATED OUTSIDE THE LINES, GRADES OR GRADING SECTION, ESTABLISHED FOR THIS PROJECT, EXCEPT WHERE SUCH EXCAVATIONS OR REMOVAL IS PROVIDED FOR IN THE CONTRACT, PLANS, OR SPECIFICATIONS.
9. ALL WORK AND ALL MATERIALS FURNISHED SHALL BE IN CONFORMITY WITH THE LINES, GRADES, GRADING SECTIONS, CROSS SECTIONS, DIMENSIONS, MATERIAL REQUIREMENTS, AND TESTING REQUIREMENTS THAT ARE SPECIFIED IN THE CONTRACT DOCUMENTS.
10. THE SPECIFICATIONS, NOTES AND PLANS CALL ATTENTION TO CERTAIN REQUIRED FEATURES OF THE CONSTRUCTION BUT DO NOT PURPORT TO COVER ALL DETAILS OF ALL COMPONENTS INCIDENTAL TO THE DESIGN AND CONSTRUCTION. HOWEVER, THE CONTRACTOR SHALL FURNISH AND INSTALL THE WORKS IN ALL DETAILS AND READY FOR OPERATION.
11. ALL EQUIPMENT SHALL BE HANDLED, STORED, INSTALLED, TESTED AND OPERATED IN STRICT ACCORDANCE WITH THE APPLICABLE MANUFACTURER'S WRITTEN INSTRUCTIONS.
12. ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
13. ANY DEVIATION, DISCREPANCY, OR CONSTRUCTABILITY ISSUE SHALL BE BROUGHT TO THE OWNER'S AND ENGINEER OF RECORD'S ATTENTION, IN WRITING, IMMEDIATELY UPON DISCOVERY PRIOR TO BIDDING.
14. NO EXTRA PAYMENTS WILL BE ALLOWED FOR ANY WORK REQUIRED DUE TO MISUNDERSTANDING OF THE PROJECT SCOPE, FAILURE IN COMPLYING WITH PROJECT SPECIFICATIONS, OR SITE CONDITIONS AFFECTING THE WORK AS DESCRIBED IN THE SPECIFICATIONS OR SHOWN ON THE DRAWINGS.
15. ALL PRIVATE AND PUBLIC PROPERTY DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING AT CONTRACTORS EXPENSE.
16. POOL LENGTH, GRADE, BREAK LOCATIONS & DEPTH DIMENSIONS AS NOTED ON THE PLOT PLAN SHALL COMPLY WITH APSP SUGGESTED MINIMUM STANDARDS FOR RESIDENTIAL POOLS OR APPLICABLE STATE AND LOCAL HEALTH DEPARTMENT REGULATIONS AND MANUFACTURERS RECOMMENDATIONS.

PLUMBING AND POOL EQUIPMENT ELECTRICAL AND PLUMBING NOTES

1. ALL ELECTRICAL SHALL BE IN ACCORDANCE WITH NEC.
2. IN ACCORDANCE WITH NEC SECTION 680.26, ALL METAL WITHIN 5' HORIZ. OF INSIDE WALL OF POOL AND 12' VERT. ABOVE WATER LINE MUST BE BONDED VIA EQUIPOTENTIAL BONDING GRID SHALL EXTEND UNDER PAVED WALKING SURFACES 3' HORIZONTAL BEYOND INSIDE WALL OF POOL CONCRETE REINFORCING THE WIRES SHALL BE MADE TIGHT FOR BONDING PURPOSES.
3. OBTAIN ELECTRICAL AND PLUMBING PERMITS ALONG WITH POOL BUILDING PERMIT.
4. ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND IN ACCORDANCE WITH LOCAL REGULATIONS.
5. POOL SHALL BE EQUIPPED WITH A FILTERING SYSTEM AND A DRAIN.
6. BACKWASH SHALL BE DISPOSED OF IN AN APPROVED MANNER.
7. CONTRACTOR IS ADVISED TO REFER TO THE 2017 FLORIDA BUILDING CODE RESIDENTIAL CODE AND ANSI/APSP-7 FOR PROPER INSTALLATION OF THE POOL DRAIN SYSTEM.
8. WHERE REINFORCING STEEL IS ENCAPSULATED WITH A NONCONDUCTIVE COMPOUND, PROVISIONS SHALL BE MADE FOR AN ALTERNATIVE MEANS TO ELIMINATE VOLTAGE GRADIENTS THAT WOULD OTHERWISE BE PROVIDED BY REINFORCING STEEL.

GLAZING NOTES

1. GLAZING IN HAZARDOUS LOCATIONS WHEN REQUIRED BY THE BUILDING OFFICIAL, GLAZING SHALL COMPLY WITH IBC SECTION 2406.4 ITEM 9 INCLUDING LOCALLY ADOPTED AMENDMENTS.
2. GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE ANY OF THE FOLLOWING CONDITIONS ARE PRESENT:
  - A. THE BOTTOM EDGE OF THE GLAZING ON THE POOL OR SPA SIDE IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE ON THE POOL OR SPA SIDE OF THE GLAZING, AND
  - B. THE GLAZING IS WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE OF A SWIMMING POOL OR SPA.

ENCLOSURE AND SAFETY DEVICE NOTES

1. PRIOR TO FILLING, THE POOL OR SPA SHALL BE COMPLETELY ENCLOSED BY 4' MINIMUM HIGH CHILD BARRIER WALL AND GATES WITH NO OPENINGS GREATER THAN 4'. GATES TO BE SELF CLOSING AND LOCAL CODES SHALL PREVAIL. WHEN REQUIRED BY THE BUILDING OFFICIAL, BARRIERS SHALL COMPLY WITH SECTION 454 OF THE 2017 FLORIDA BUILDING CODE INCLUDING LOCALLY ADOPTED AMENDMENTS.
2. AN EXIT ALARM COMPLYING WITH UL 2017 THAT HAS A SOUND PRESSURE RATING OF AT LEAST 85 dBa AT 10' MAY BE USED INSTEAD OF CHILD BARRIER WALL. ALL DOORS AND WINDOWS PROVIDED WITH DIRECT ACCESS FROM HOME TO POOL SHALL BE EQUIPPED WITH ALARM.

SUCTION OUTLETS SHALL BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA. SINGLE OUTLET SYSTEMS SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR OTHER SUCH MULTIPLE SUCTION OUTLETS WHETHER ISOLATED BY VALVES OR OTHERWISE SHALL BE PROTECTED AGAINST ENTRAPMENT. ALL POOL AND SPA SUCTION OUTLETS SHALL BE PROVIDED WITH A COVER THAT CONFORMS TO ASME A112.19.BM, A 12-INCH BY 12-INCH DRAIN GRATE OR LARGER, OR AN APPROVED CHANNEL DRAIN SYSTEM WITH THE EXCEPTION OF SURFACE SKIMMERS.

IN ADDITION, WHEN REQUIRED BY THE BUILDING OFFICIAL, ALL POOL SINGLE-OR MULTIPLE-OUTLET CIRCULATION SYSTEMS SHALL BE EQUIPPED WITH AN ATMOSPHERIC VACUUM RELIEF SHOULD GRATE COVERS LOCATED THEREIN BECOME MISSING OR BROKEN, SUCH VACUUM RELIEF SYSTEMS SHALL INCLUDE AT LEAST ONE APPROVED OR ENGINEERED METHOD OF THE TYPE SPECIFIED HEREIN, AS FOLLOWS: 1. SAFETY VACUUM RELEASE SYSTEMS CONFORMING TO ASME A112.19.17S; OR 2. APPROVED GRAVITY DRAINAGE SYSTEM.

IN ADDITION, WHEN REQUIRED BY THE BUILDING OFFICIAL, SINGLE OR MULTIPLE PUMP CIRCULATION SYSTEMS SHALL BE PROVIDED WITH THE MINIMUM OF TWO SUCTION OUTLETS OF THE APPROVED TYPE, A MINIMUM HORIZONTAL OR VERTICAL DISTANCE OF 3 FEET SHALL SEPARATE SUCH OUTLETS. THESE SUCTION OUTLETS SHALL BE PIPED SO THAT WATER IS DRAWN THROUGH THEM SIMULTANEOUSLY THROUGH VACUUM-RELIEF-PROTECTED LINE TO THE PUMP OR PUMPS. IN ADDITION, WHERE PROVIDED, VACUUM OR PRESSURE CLEANER FITTING(S) SHALL BE LOCATED IN AN ACCESSIBLE POSITION(S) AT LEAST 6 INCHES AND NOT GREATER THAN 12 INCHES BELOW OPERATIONAL WATER LEVEL OR AS AN ATTACHMENT TO SKIMMER(S)

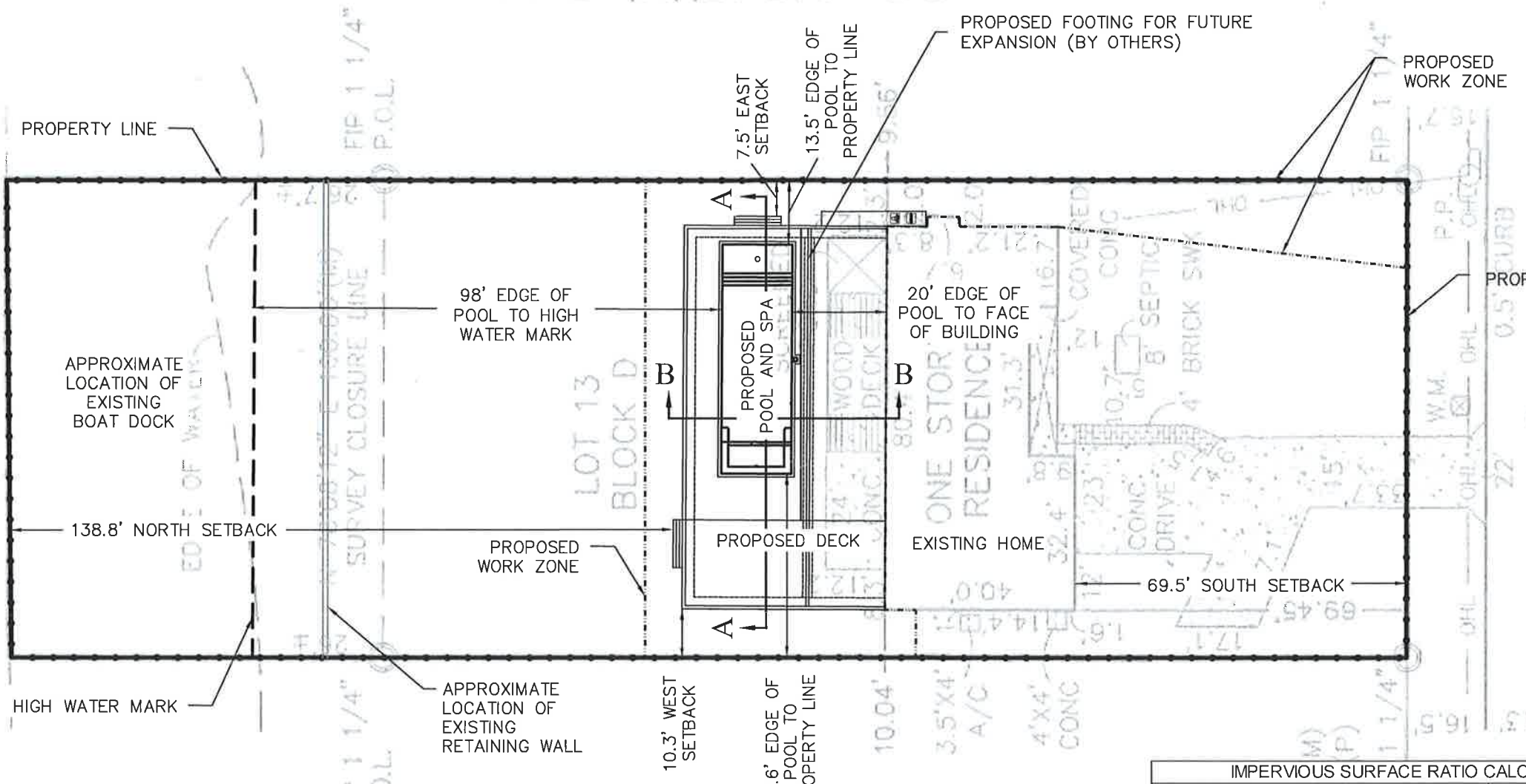
STRUCTURAL NOTES

1. SOIL SHALL HAVE A MINIMUM BEARING VALUE OF 2000 PSF. SOIL BELOW NEW PAVEMENT OR FOUNDATIONS SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY PER ASTM D-1557. CONCRETE MASONRY MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE (ACI) 530.
2. CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 90 AND SHALL BE MADE WITH LIGHTWEIGHT AGGREGATE. MINIMUM NET AREA COMPRESSIVE STRENGTH OF MASONRY UNITS SHALL BE 2000 PSI AT 28 DAYS.
3. COMPRESSIVE STRENGTH OF MASONRY SHALL BE DETERMINED BY THE UNIT STRENGTH METHOD AS SET FORTH IN ACI 530.1. THE NET AREA COMPRESSIVE STRENGTH OF MASONRY SHALL BE 1,500 PSI AT 28 DAYS.
4. MORTAR SHALL BE TYPE M OR S AND SHALL COMPLY WITH ASTM C270, PROPORTIONS OR PROPERTIES SPECIFICATION.
5. GROUT SHALL COMPLY WITH ASTM C 476 PROPERTIES SPECIFICATION, OR SHALL BE PROPORTIONED TO OBTAIN A DOCUMENTED 28 DAY COMPRESSIVE STRENGTH OF 2,000 PSI.
6. REINFORCING STEEL SHALL COMPLY WITH ASTM A 615, GRADE 60. SHOP FABRICATE REINFORCING BARS WHICH ARE SHOWN TO BE BENT OR HOOKED. ALL BOND BEAMS, REINFORCED CELLS AND CELLS WITH EXPANSION BOLTS, EMBED PLATES OR OTHER ANCHORS AND ALL CELLS BELOW GRADE SHALL BE GROUTED SOLID. GROUT PROCEDURE SHALL COMPLY WITH ACI 530.1.
7. PROVIDE REINFORCING BARS OF THE GIVEN SIZE AND SPACING SHOWN. LAP CONTINUOUS REINFORCING STEEL 40 BAR DIAMETERS UNLESS OTHERWISE NOTED. PROVIDE MECHANICAL SPLICES FOR ALL BARS AT CONTRACTOR'S OPTION.
8. PROVIDE REINFORCING STEEL DOWELS OF THE SAME SIZE AND SPACING AS VERTICAL REINFORCING FROM THE SUPPORTING STRUCTURE. DOWELS SHALL HAVE STANDARD ACI HOOKS. LAP LENGTH FOR DOWELS FROM FOUNDATION NOT OTHERWISE NOTED MAY BE 36 X BAR DIAMETER.
9. PROVIDE STANDARD 9 GAGE LADDER TYPE HORIZONTAL JOINT REINFORCING IN CMU WALLS AT 16 INCHES ON CENTER AND IN TWO JOINTS IMMEDIATELY ABOVE AND BELOW ALL OPENINGS, EXTENDING A MINIMUM OF 2 FEET BEYOND THE JAMB ON EACH SIDE OF THE OPENING, EXCEPT AT CONTROL JOINTS. PROVIDE HORIZONTAL BOND BEAMS WITH CONTINUOUS REINFORCING AS SHOWN IN THE SECTIONS AND DETAILS. DISCONTINUE ALL HORIZONTAL REINFORCING AT CONTROL JOINTS EXCEPT FOR THE BOND BEAMS AT JOIST BEARING ELEVATIONS.
10. DO NOT LOCATE CONTROL JOINTS WITHIN TWO FEET OF STEEL BEAM BEARING LOCATIONS ALL REINFORCING STEEL SHALL BE DEFORMED BARS AND CONFORM TO ASTM A615 GRADE 40 FOR #3 BARS AND #4 BARS. SPLICES TO BE LAPPED A MINIMUM OF 24". MINIMUM CLEARANCE BETWEEN PARALLEL BARS IS 2 1/2"
12. ONE (1) #4 BAR IS EQUIVALENT TO AND MAY BE USED IN PLACE OF (2) #3 BARS, WITH THE EXCEPTION THAT IF #4 BARS ARE USED FOR THE BASIC GRID, THE MAXIMUM SPACING IS #4 BARS AT 18" O.C.
13. THE PLAN TABLES SPECIFY THE MINIMUM REQUIRED REINFORCEMENT. FOR CONVENIENCE OF THE INSTALLER, THERE MAY BE MORE REINFORCEMENT THAN SPECIFIED AT ANY GIVEN POINT IN THE POOL STRUCTURE.
14. GROUNDING/BONDING (PER THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE) OF THE STRUCTURAL REINFORCING MUST BE INSTALLED PRIOR TO PLACEMENT OF CONCRETE.
15. ALL INTERIOR SURFACES OF POOL SHALL BE COATED WITH WATER-RESISTENT SURFACE.

REVISIONS	
DESCRIPTION	
DATE	
NO.	
 TARIK ABU-LATIF CHEHAB P.E.# 75459	
PROJ: 2016.07.01	ISSUED FOR: PERMITTING
DATE: AUGUST 4, 2018	RELEASED BY: TAC
DRAWN BY: TAC	
 CUSTOM POOLS & SPAS	
DRAWING NOT VALID UNLESS SIGNED & SEALED BY A PROFESSIONAL ENGINEER	
NILSSON RESIDENTIAL POOL 3007 TRENTWOOD BOULEVARD BELLE ISLE, FLORIDA 32812	
GENERAL NOTES	
SHEET NUMBER	
C-2	

PARCEL # 13-2329-0000-00-044 (SOVEREIGN LAKE)  
 LOCATI N LAKE  
 N 77°27'00" E 100.01'(P)  
 N 78°09'36" E 99.95'(M)  
 N 78°07'55" E 100.00'(P)

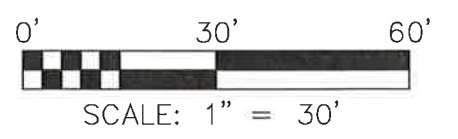
INDEX  
 FG FINISHED GRADE  
 LF LINEAR FEET  
 MIN MINIMUM  
 MAX MAXIMUM  
 O.C. ON CENTER  
 SCH SCHEDULE  
 TOD TOP OF DECK  
 TYP. TYPICAL  
 W/ WITH



IMPERVIOUS SURFACE RATIO CALCULATION

ITEM	AREA	UNITS
Total Lot Area	29358	SF
Allowable Impervious Area (BASE)		
Total Lot Area*0.35	<b>10275</b>	SF
House	3036	SF
Driveway	1697	SF
Walkway	133	SF
Accessory Building	0	SF
Pool & Spa	720	SF
Deck & Patio	2737	SF
Other - Accessory Pads	90	SF
Impervious area (ACTUAL)	<b>8413</b>	SF
(ACTUAL) - (BASE)	<b>-1862</b>	SF

NOTES:  
 1. PLEASE REFER TO ATTACHED SURVEY FOR ADDITIONAL HOUSE AND LOT DIMENSIONS AND FEATURES NOT SHOWN ON THIS SITE PLAN.



NO.	DATE	DESCRIPTION

PROJ: 2018.07.31  
 DATE: AUGUST 4, 2018  
 DRAWN BY: TAC  
 RELEASED BY: TAC  
 ISSUED FOR: PERMITTING

TARK ABDUL-LATIF CHEHAB  
 P.E.# 75439  
 8-13-18

**DC**  
 CUSTOM POOLS & SPAS

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NILSSON RESIDENTIAL POOL  
 3007 TRENTWOOD BOULEVARD  
 BELLE ISLE, FLORIDA 32812

SITE OVERVIEW

SHEET NUMBER  
 C-3

# LOT 13 BLOCK D

**NOTES:**

1. ALL GLASS WITHIN 36" OF EDGE OF WATER TO BE TEMPERED
2. POOL DEPTHS SPECIFIED FROM TOP OF DECK TO UNFINISHED POOL SURFACE (CONCRETE)

NO.	DATE	DESCRIPTION

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 ISSUED FOR: PERMITTING

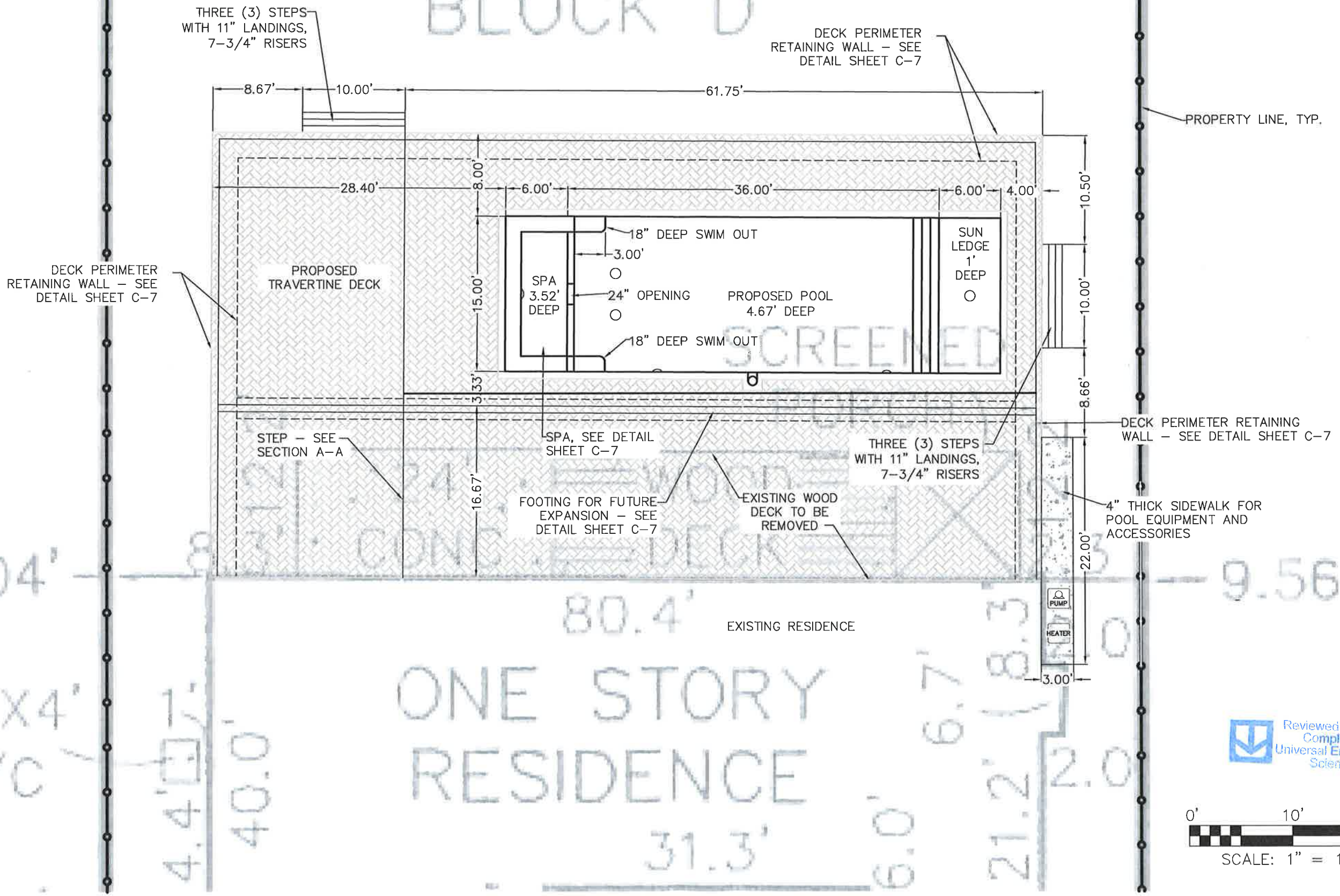


**CUSTOM POOLS & SPAS**

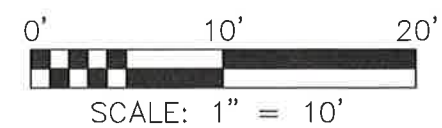
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NILSSON RESIDENTIAL POOL  
 3007 TRENTWOOD BOULEVARD  
 BELLE ISLE, FLORIDA 32812  
 SITE PLAN

SHEET NUMBER  
**C-4**



Reviewed for Code Compliance  
 Universal Engineering Sciences



LOT 13

NOTES:

1. ANY ELECTRICAL CONDUIT OR OUTLETS SHALL HAVE MINIMUM 5' HORIZONTAL OFFSET FROM INSIDE WALL OF POOL
2. PLUMBING LOCATIONS AND QUANTITY ESTIMATES PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. FINAL LOCATIONS AND QUANTITIES TO BE DETERMINED BY SITE CONDITIONS AND MANUFACTURER REQUIREMENTS.
3. PLUMBERS DISCRETION ON PENETRATION OF BLOCK WALL. TYPICAL IS CORE DRILL AND SEAL WITH HYDRAULIC CEMENT.

125 LF 2.5" PVC FOR SPA RETURN  
 120 LF 3" PVC FOR SPA DRAIN  
 125 LF 3" SCH40 PVC WATER AND 1-1/2" SCH40 PVC FOR AIR FOR SPA BOOSTER

HYDROAIR 10-3500 RETURN JET PER MANUFACTURER

100 LF 3" SCH40 PVC FOR POOL DRAIN

HAYWARD W400BLGP SAFETY COVER

70 LF 2.5" SCH40 PVC FOR OPTIONAL VACUUM LINE

80 LF 2.5" SCH40 PVC POOL FOR TWO (2) WATER FEATURES

75 LF 2.5" SCH40 PVC POOL RETURN LINE

SPA JETS HYDROAIR #10-5100 1-1/2" WATER - 1-1/2" AIR, TYP. EIGHT (8) TOTAL; SEE SYMBOL: ↗

WATER FEATURE

WATER FEATURE

LIGHT - SEE DETAIL SHEET C-8  
 DUAL SUBMERGED SUCTION OUTLETS - SEE DETAILS ON SHEET C-8

HAYWARD COLORLOGIC BUBBLER WFB100 OR EQUIVALENT

61 LF 1-1/4" NDS 8001 MICRO CHANNEL OR EQUIVALENT

SKIMMER - SEE DETAILS ON SHEETS C-7 AND C-8

HYDROAIR 10-3500 RETURN JET PER MANUFACTURER

50 LF 3" SCH40 PVC FOR SKIMMER RETURN

HYDROAIR 10-3500 RETURN JET PER MANUFACTURER

42 LF 2.5" SCH40 PVC POOL RETURN LINE

HYDROAIR 10-3500 RETURN JET PER MANUFACTURER

LIGHT - SEE DETAIL SHEET C-8

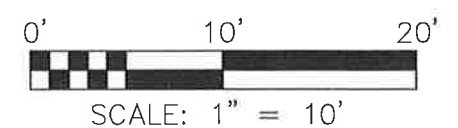
SPA DRAIN AQUASTAR 32CDFLFR 32" CHANNEL

REFER TO MANUFACTURER INSTRUCTIONS FOR PUMP, FILTER, CHLORINATOR, AND HEATER PLUMBING



EXISTING RESIDENCE

ONE STORY RESIDENCE



REVISIONS	
NO.	DESCRIPTION

DATE: AUGUST 4, 2018  
 DRAWN BY: TAC  
 RELEASED BY: TAC  
 ISSUED FOR: PERMITTING

PROJ: 2018.07.01

TARK ABDUL-LATIF CHE-HAB  
 P.E.# 75453  
 8-12-18

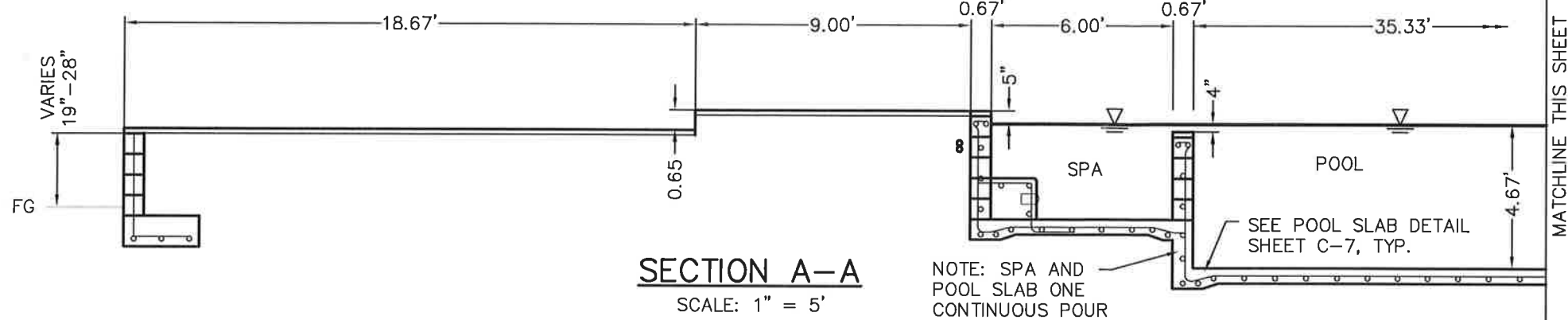
**DC** CUSTOM POOLS & SPAS

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NILSSON RESIDENTIAL POOL  
 3007 TRENTWOOD BOULEVARD  
 BELLE ISLE, FLORIDA 32812

PLUMBING PLAN

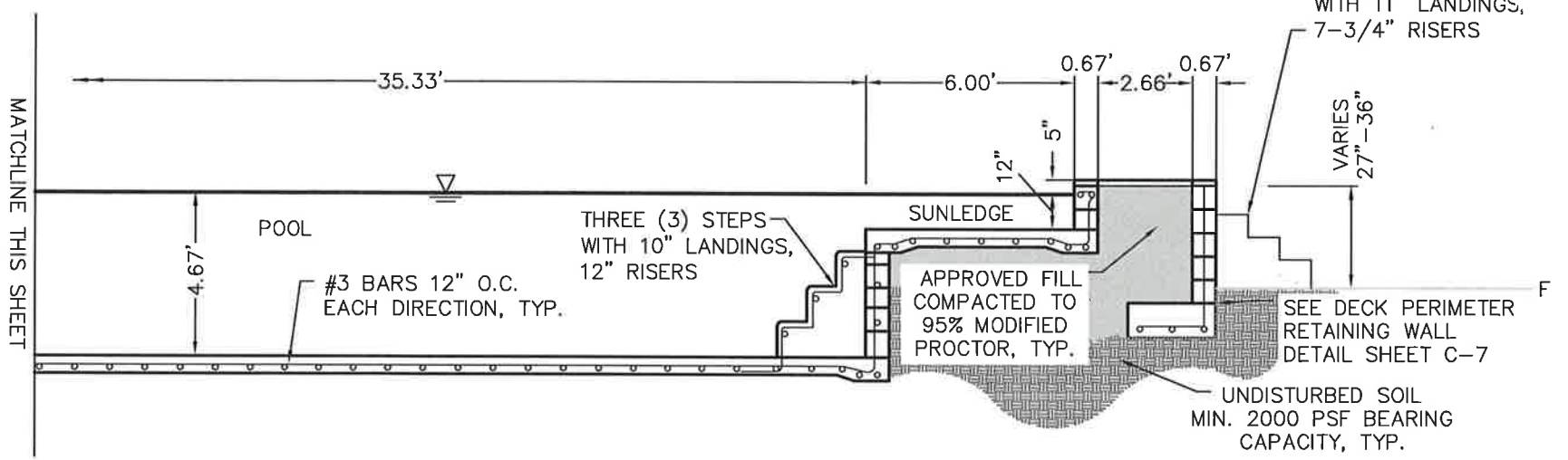
SHEET NUMBER  
 C-5



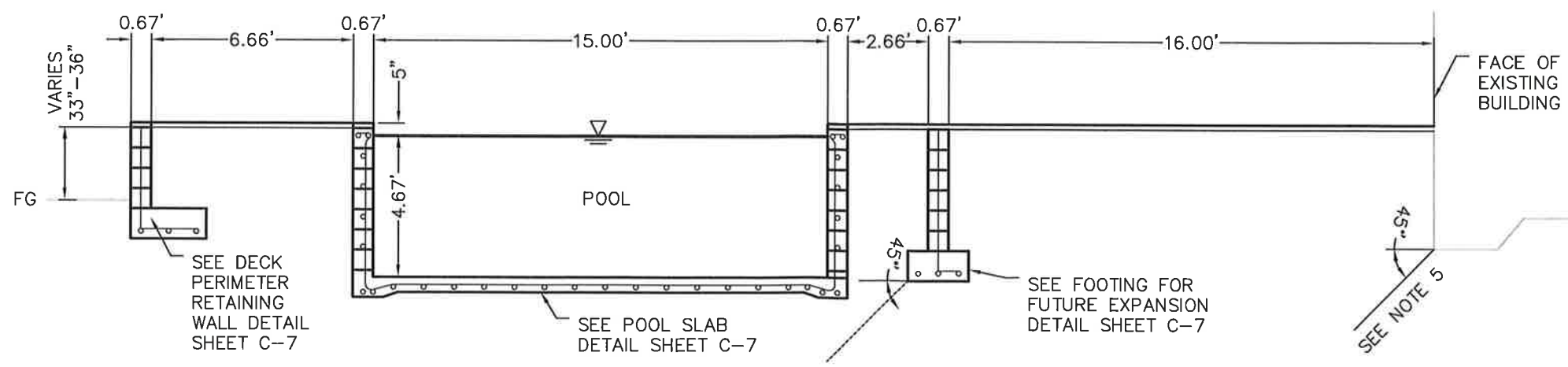
**SECTION A-A**  
SCALE: 1" = 5'

NOTE: SPA AND POOL SLAB ONE CONTINUOUS POUR

- NOTES:**
1. REINFORCEMENT TO MAINTAIN MINIMUM 3" CLEARANCE EDGE OF POOL/ 1" FROM PLUMBING.
  2. DIG LINE MAY VARY, LOCATE STEEL MINIMUM 3" FROM EARTH.
  3. BOND BEAM HORIZONTAL BARS MAY BE OVER OR UNDER VERTICAL BARS.
  4. MAXIMUM POOL DEPTH IS 5' FROM TOP OF WALL TO FINISHED BOTTOM.
  5. EXCAVATION NOT TO ENCROACH WITHIN 1' OF ANGLE OF REPOSE OF ANY EXISTING BUILDING FOOTINGS
  6. SOIL REQUIREMENTS OUTLINED IN SECTION A-A APPLY TO ENTIRE POOL, DECK, AND RETAINING WALL PERIMETER
  7. OUTSIDE OF POOL SHELL TO BE SPRAY FOAM INSULATED, OR INSULATED BY AN OWNER APPROVED EQUIVALENT.



**SECTION A-A**  
SCALE: 1" = 5'



**SECTION B-B**  
SCALE: 1" = 5'



NO.	DATE	DESCRIPTION

*Signature*  
9-13-18  
TARIK ABDUL-LATIF CHEHAB  
P.E. # 75459

PROJ: 2018.07.01  
DATE: AUGUST 4, 2018  
DRAWN BY: TAC  
RELEASED BY: TAC  
ISSUED FOR: PERMITTING

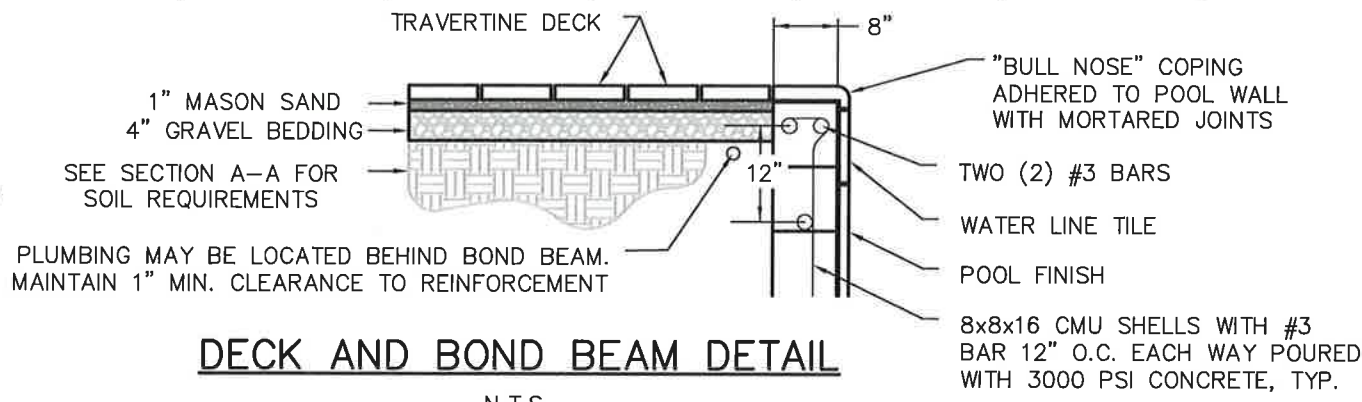
CUSTOM POOLS & SPAS

DRAWING NOT VALID UNLESS SIGNED & SEALED BY A PROFESSIONAL ENGINEER

**NILSSON RESIDENTIAL POOL**  
3007 TRENTWOOD BOULEVARD  
BELLE ISLE, FLORIDA 32812

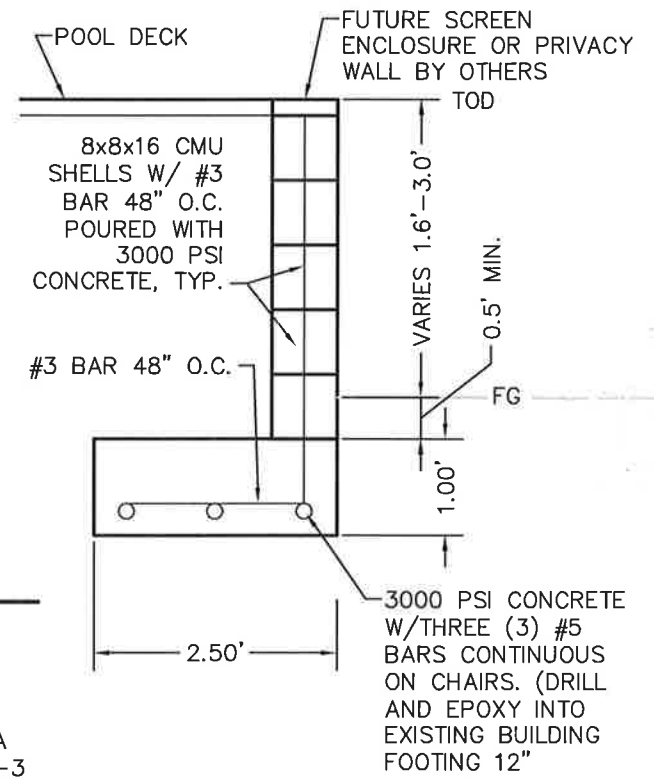
SECTIONS  
**C-6**  
SHEET NUMBER





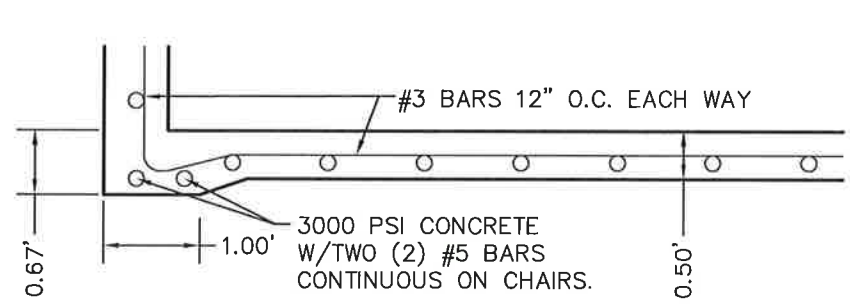
**DECK AND BOND BEAM DETAIL**

N.T.S.



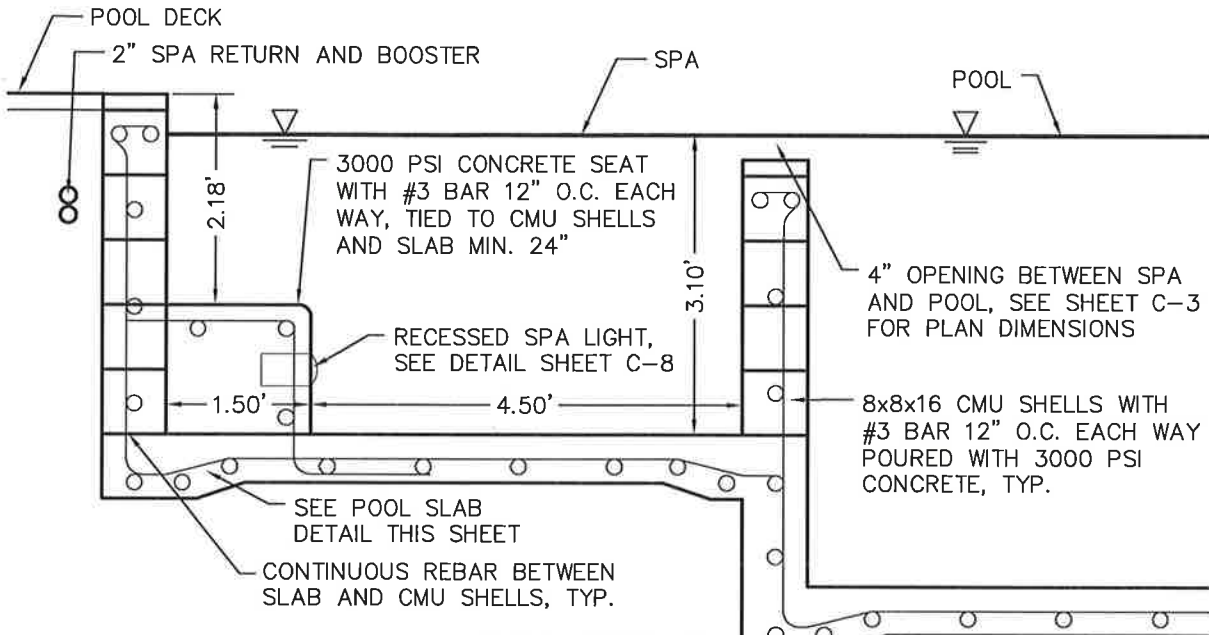
**DECK PERIMETER RETAINING WALL DETAIL**

SCALE: 1" = 2



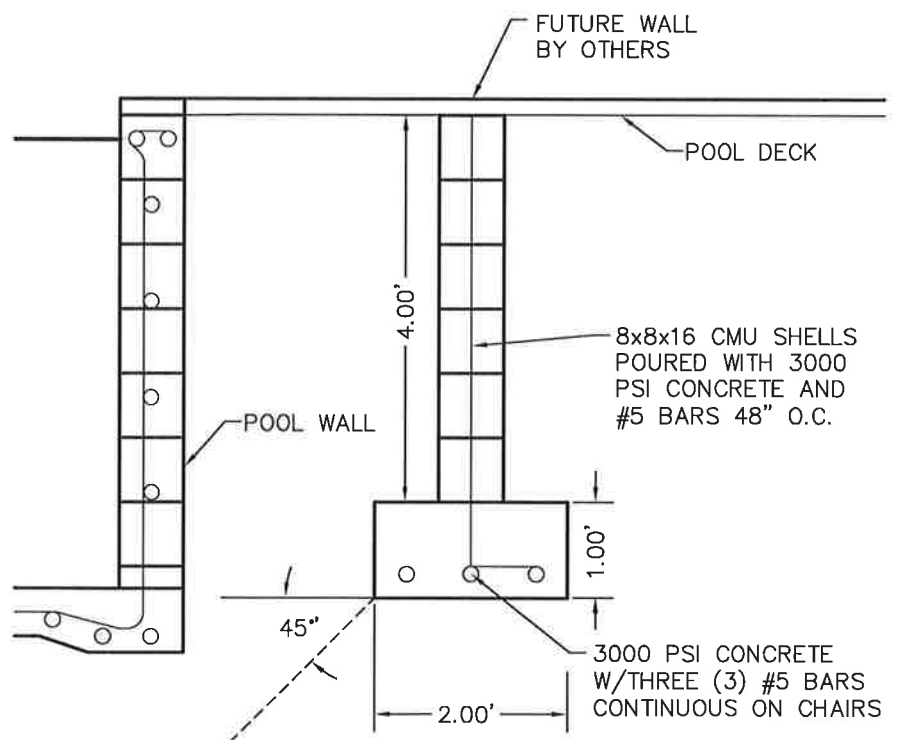
**POOL SLAB DETAIL**

SCALE: 1" = 2



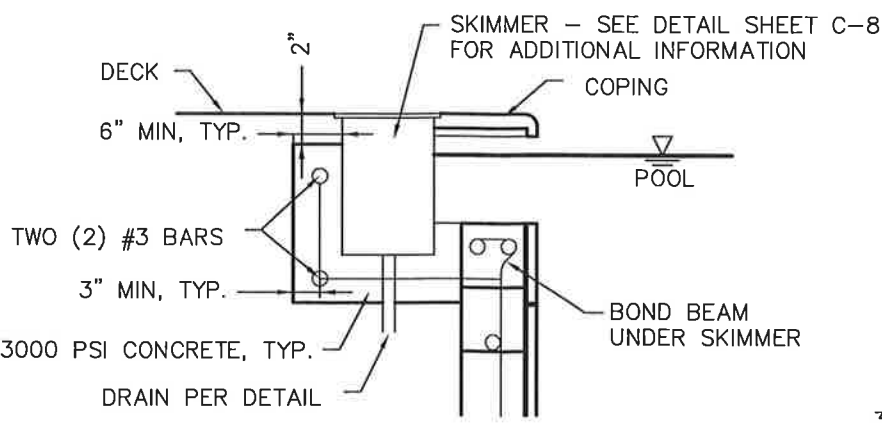
**SPA DETAIL**

SCALE: 1" = 2'



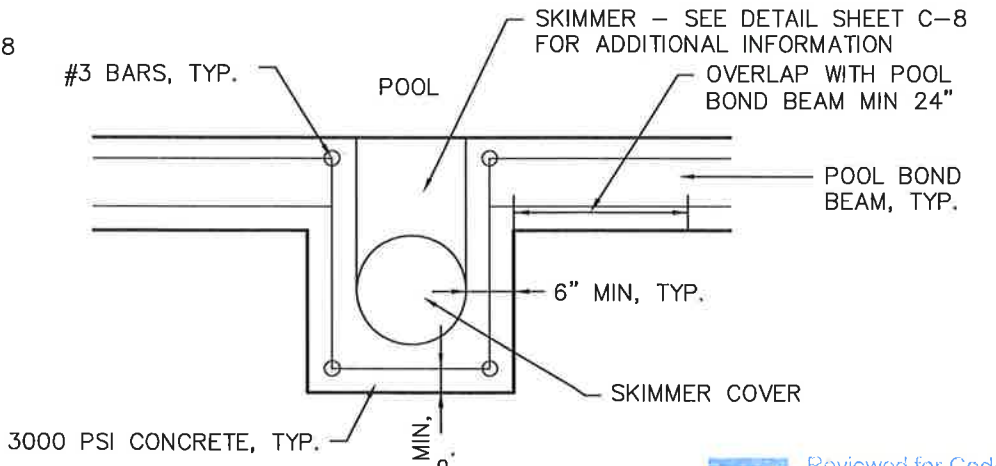
**FOOTING FOR FUTURE EXPANSION DETAIL**

SCALE: 1" = 2



**SECTION AT SKIMMER**

N.T.S.



**PLAN AT SKIMMER**

N.T.S.

NO.	DATE	DESCRIPTION

PROJ: 2018.07.01  
 DATE: AUGUST 4, 2018  
 DRAWN BY: TAC  
 RELEASED BY: TAC  
 ISSUED FOR: PERMITTING

TARIK ABUOL-LATIF CHIEF  
 P.E.# 75459  
 8-13-18



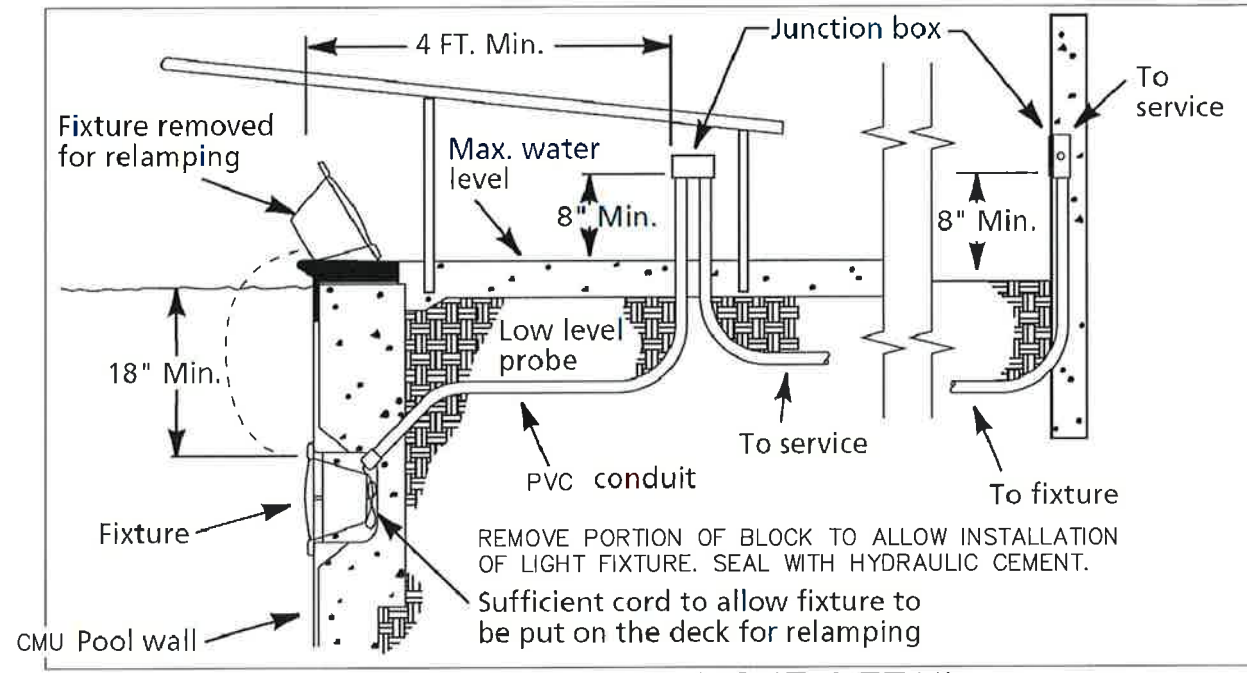
DRAWING NOT VALID UNLESS SIGNED & SEALED BY A PROFESSIONAL ENGINEER

NILSSON RESIDENTIAL POOL  
 3007 TRENTWOOD BOULEVARD  
 BELLE ISLE, FLORIDA 32812  
 DETAILS (1 OF 2)

SHEET NUMBER

C-7





**POOL AND SPA LIGHT DETAIL**  
N.T.S.

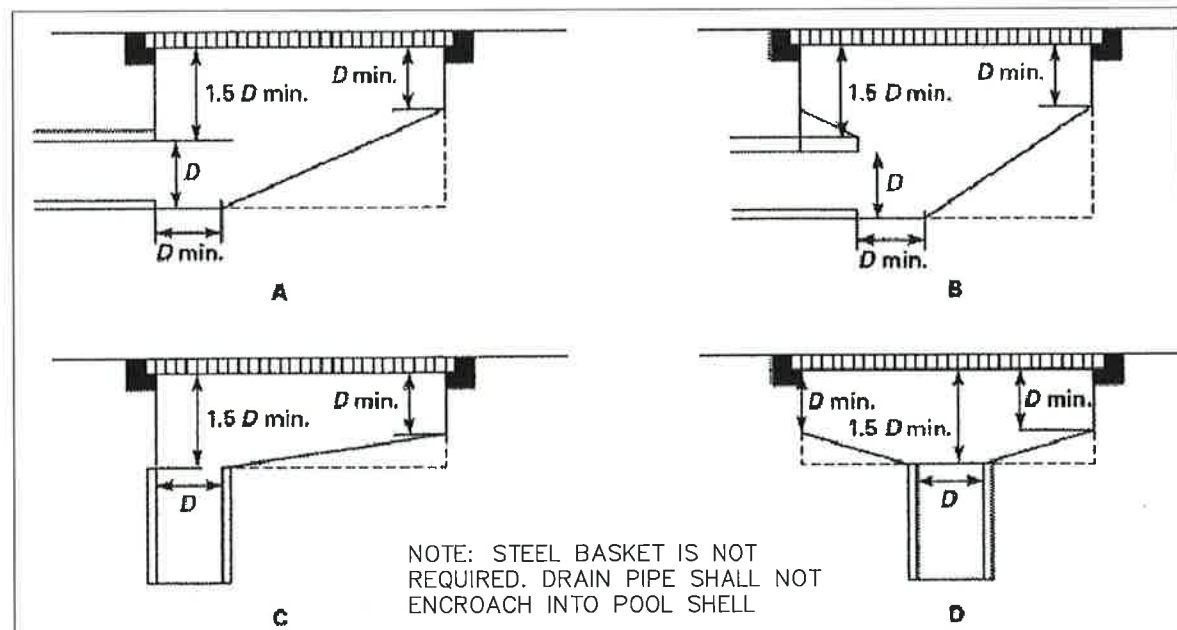
**Frames & Covers**

Model Number	Size	Description	Rated Flow GPM
WG1030AVDPK2	8" Dia	2 Pak Frame & Cover White	125
WG1030AVBPK2	8" Dia	2 Pak Frame & Cover Black	125
WG1030AVGRPK2	8" Dia	2 Pak Frame & Cover Gray	125
WG104RE1	8" Dia	Replacement Machined Cover & Screws	125
WG104REW	8" Dia	Replacement Wall (Vertical) Cover & Screws	72
WG104RF	8" Dia	Replacement Floor (Horizontal) Cover & Screws	125
WG104BKIT	-	Brass Insert and Screw Kit available for all frames and covers	-

Open Area - 81 sq in

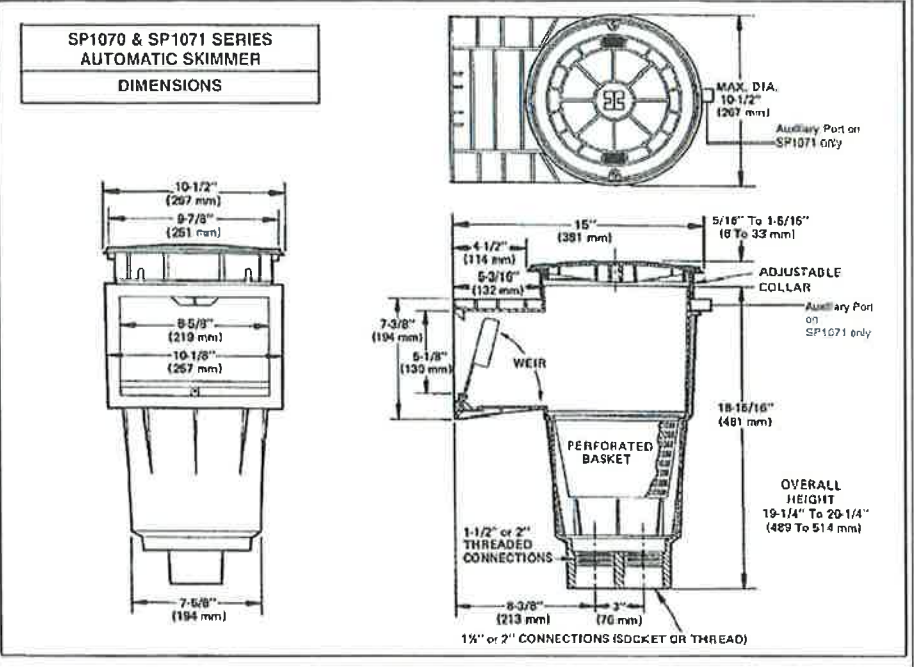
NSF

**MAIN DRAIN COVER DETAIL**  
N.T.S.

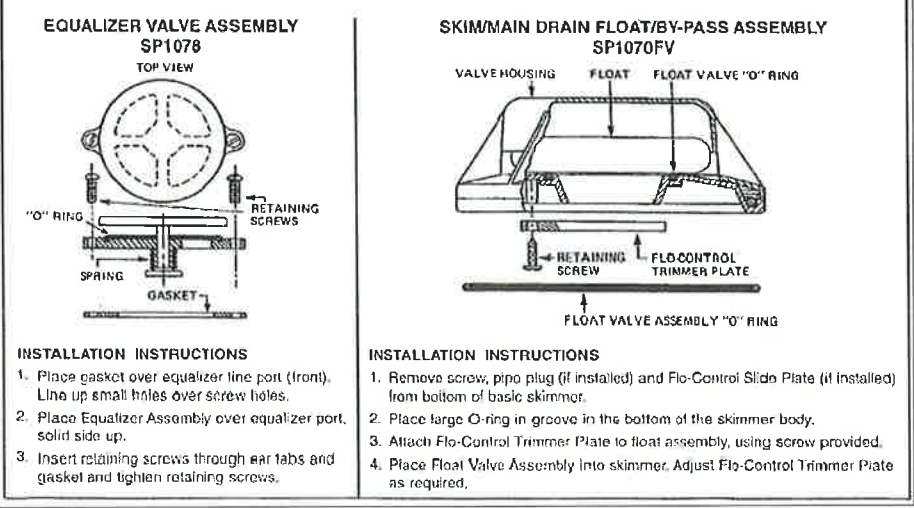


NOTE: STEEL BASKET IS NOT REQUIRED. DRAIN PIPE SHALL NOT ENCRoACH INTO POOL SHELL

**DUAL SUBMERGED SUCTION OUTLET SUMP DETAIL**  
N.T.S.

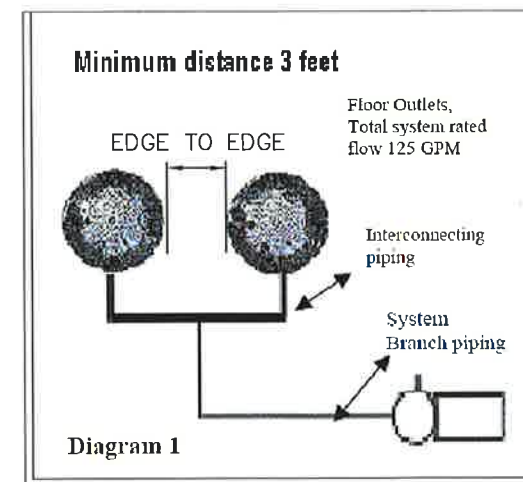


**SP1070FVEKIT**



**SKIMMER DETAIL**  
N.T.S.

SEE SKIMMER DETAILS ON SHEET C-7 FOR ADDITIONAL INFORMATION



**DUAL SUBMERGED SUCTION OUTLET SUMP DETAIL**  
N.T.S.

NO.	DATE	DESCRIPTION

PROJ: 2018.07.01  
DATE: AUGUST 4, 2016  
DRAWN BY: TAC  
RELEASED BY: TAC  
ISSUED FOR: PERMITTING

APPROVED: *[Signature]*  
8-13-18  
TARIK ABDUL-LATIF CHEHAIB  
P.E.# 75449

**DC** CUSTOM POOLS & SPAS

DRAWING NOT VALID UNLESS SIGNED & SEALED BY A PROFESSIONAL ENGINEER

NILSSON RESIDENTIAL POOL  
3007 TRENTWOOD BOULEVARD  
BELLE ISLE, FLORIDA 32812

DETAILS (2 OF 2)

SHEET NUMBER  
**C-8**

Reviewed for Code Compliance  
Universal Engineering Sciences

**Simplified Total Dynamic head Calculation for Joakim Nilsson Residential Pool**

**A) Maximum Pool Flow Demand Calculations**

Pool Volume	22075 gallons
Turnover Time	360 minutes
Maximum Pool Flow Rate	<b>61 GPM</b>

**B) Maximum Spa Flow Demand Calculations**

Number of Jets	8
Jet Flow rate	15 GPM
Maximum Flow Demand	<b>120 GPM</b>

**C) Design Flow Rate **61 GPM****

**D) Maximum Flow rate 120 GPM**

**E) Determine Simplified TDH**

Number of Branches	2		
Pipe Sizing	size (in.)	Max allow. Velocity	Est Max Velocity
Branch Piping	2.5	6 fps	3.92 fps
Skimmer / Trunk Piping	3	8 fps	5.45 fps
Return Piping	2.5	10 fps	7.84 fps
Suction Piping	3	6 fps	5.45 fps

**Head calculations done with Hazen-Williams using c of 150 for PVC Pipe**

**F) Distance from Pool to Pump 125.00 ft (MAX)**

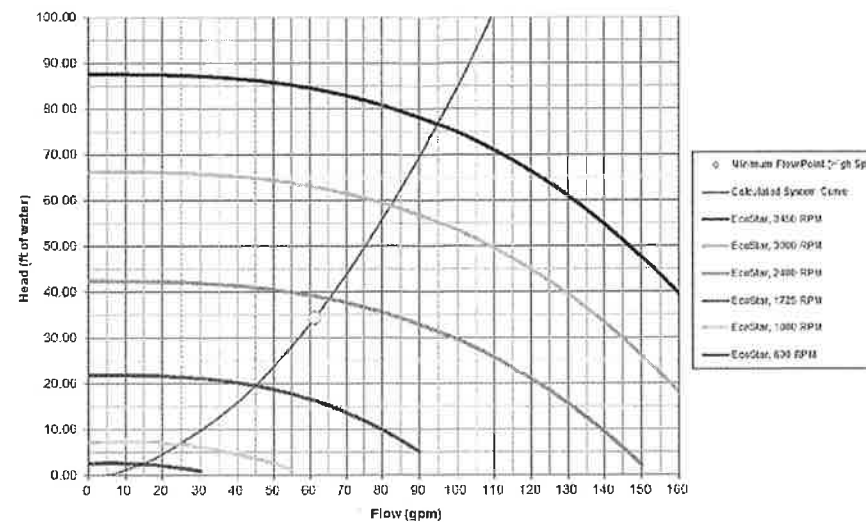
- Return Pipe TDH	5.78 ft
- Main Drain Line (Suction) TDH	2.45 ft
- Skimmer	2.63 ft
- Static Suction lift	5.00 ft (MAX)
- filter loss	7.00 ft
- Heater loss	17.14 ft
- Chlorinator loss	2.00 ft
- Backwash valve	0.00 ft
- Main drains	1.50 ft
- Solar Heater	0.00 ft
- Vacuum cleaner line	0.33 ft

**Total Simplified TDH at Design Flow Rate 35.60 ft**

ITEM	QTY.	MODEL	MANUFACTURER	
Filter	1	S244S	HAYWARD	160 GPM
Main Drain Covers	2	WG1054AVPAK2	HAYWARD	125 GPM
Pump	1	SP3400VSPVR	HAYWARD	SEE MFG. CHART
Chlorinator	1	AQR15	HAYWARD	n/a
Heater	1	HP21404T	HAYWARD	30-70 GPM

NOTE: ENTRAPMENT PROTECTION FOR SUCTION OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF ANSI/APSP/ICC 7

**System Curve & EcoStar Performance Curves**



**Total Head In Feet Conversion Chart**  
Inches Mercury (Vacuum Gauge)

	0	2	4	6	8	10	12	14	16	18
0	0	2.3	4.5	6.8	9	11.3	13.6	15.8	18.1	20.3
1	2.3	4.6	6.8	9.1	11.4	13.6	15.9	18.1	20.4	22.7
2	4.6	6.9	9.1	11.4	13.7	15.9	18.2	20.4	22.7	25
3	6.9	9.2	11.5	13.7	16	18.2	20.5	22.8	25	27.3
4	9.2	11.5	13.8	16	18.3	20.5	22.8	25.1	27.3	29.6
5	11.5	13.8	16.1	18.3	20.6	22.8	25.1	27.4	29.6	31.9
6	13.9	16.1	18.4	20.6	22.9	25.2	27.4	29.7	31.9	34.2
7	16.2	18.4	20.7	23	25.2	27.5	29.7	32	34.3	36.5
8	18.5	20.7	23	25.3	27.5	29.8	32	34.4	36.6	38.8
9	20.8	23.1	25.3	27.6	29.8	32.1	34.3	36.6	38.9	41.1
10	23.1	25.4	27.6	29.9	32.1	34.4	36.7	38.9	41.2	43.4
11	25.4	27.7	29.9	32.2	34.5	36.7	39	41.2	43.5	45.8
12	27.7	30	32.2	34.5	36.8	39	41.3	43.5	45.8	48.1
13	30	32.3	34.5	36.8	39.1	41.3	43.6	45.9	48.1	50.4
14	32.3	34.6	36.9	39.1	41.4	43.6	45.9	48.2	50.4	52.7
15	34.6	36.9	39.2	41.4	43.7	45.9	48.2	50.5	52.7	55
16	37	39.2	41.5	43.7	46	48.3	50.5	52.8	55	57.3
17	39.3	41.5	43.8	46.1	48.3	50.6	52.8	55.1	57.4	59.6
18	41.6	43.8	46.1	48.4	50.6	52.9	55.1	57.4	59.7	61.9
19	43.9	46.2	48.4	50.7	52.9	55.2	57.4	59.7	62	64.2
20	46.2	48.5	50.7	53	55.2	57.5	59.8	62	64.3	66.5
21	48.5	50.8	53	55.3	57.6	59.8	62.1	64.3	66.6	68.9
22	50.8	53.1	55.3	57.6	59.9	62.1	64.4	66.6	68.9	71.2
23	53.1	55.4	57.7	59.9	62.2	64.4	66.7	69	71.2	73.5
24	55.4	57.7	60	62.5	64.5	66.7	69	71.3	73.5	75.8
25	57.8	60	62.3	64.5	66.8	69.1	71.3	73.6	75.8	78
26	60.1	62.3	64.6	66.8	69.1	71.4	73.6	75.9	78.1	80.4
27	62.4	64.6	66.9	69.2	71.4	73.7	75.9	78.2	80.5	82.7
28	64.7	66.9	69.2	71.5	73.7	76	78.2	80.5	82.8	85
29	67	69.3	71.5	73.8	76	78.3	80.5	82.8	85.1	87.3
30	69.3	71.6	73.8	76.1	78.3	80.6	82.9	85.1	87.4	89.6
31	71.6	73.9	76.1	78.4	80.7	82.9	85.2	87.4	89.7	92
32	73.9	76.2	78.4	80.7	83.1	85.2	87.5	89.7	92	94.3
33	76.2	78.5	80.7	83	85.3	87.5	89.8	92	94.3	96.6
34	78.5	80.8	83.1	85.3	87.6	89.8	92.1	94.4	96.6	98.9
35	80.9	83.1	85.4	87.6	89.9	92.2	94.4	96.7	98.9	101.2

\* NOTE: FIELD TDH MUST BE EQUAL TO OR HIGHER THAN THE CALCULATED TDH.

\*\* GAGES TO BE INSTALLED AT THE TIME OF FINAL INSPECTION FOR VERIFICATION.



REVISIONS

NO.	DATE	DESCRIPTION

PROJ: 2018.07.01  
DATE: AUGUST 4, 2018  
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ISSUED FOR: PERMITTING

**DC** CUSTOM POOLS & SPAS

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NILSSON RESIDENTIAL POOL  
3007 TRENTWOOD BOULEVARD  
BELLE ISLE, FLORIDA 32812

CALCULATIONS

SHEET NUMBER

-9

# SWERDLOFF & FERRY

SURVEYORS

370 Waymont Court • Lake Mary, FL 32746 • Voice 407.688.7631 • Fax 407.688.7691 • sandpsurveying@gmail.com

### Legal Description

Lot 13, Block D, DAETWYLER SHORES, according to the plat thereof, as recorded in Plat Book U, Page(s) 106, of the Public Records of Orange County, FL.

Community number: 120181 Panel: 0430  
 Suffix: F.I.R.M. Date: 9/25/2009 Flood Zone: X & AE  
 Date of field work: 7/10/2016 Completion Date: 7/11/2016

Certified to:  
 Joakim Nilsson; Clear Title of Florida, LLC; Fidelity National Title Insurance Company.

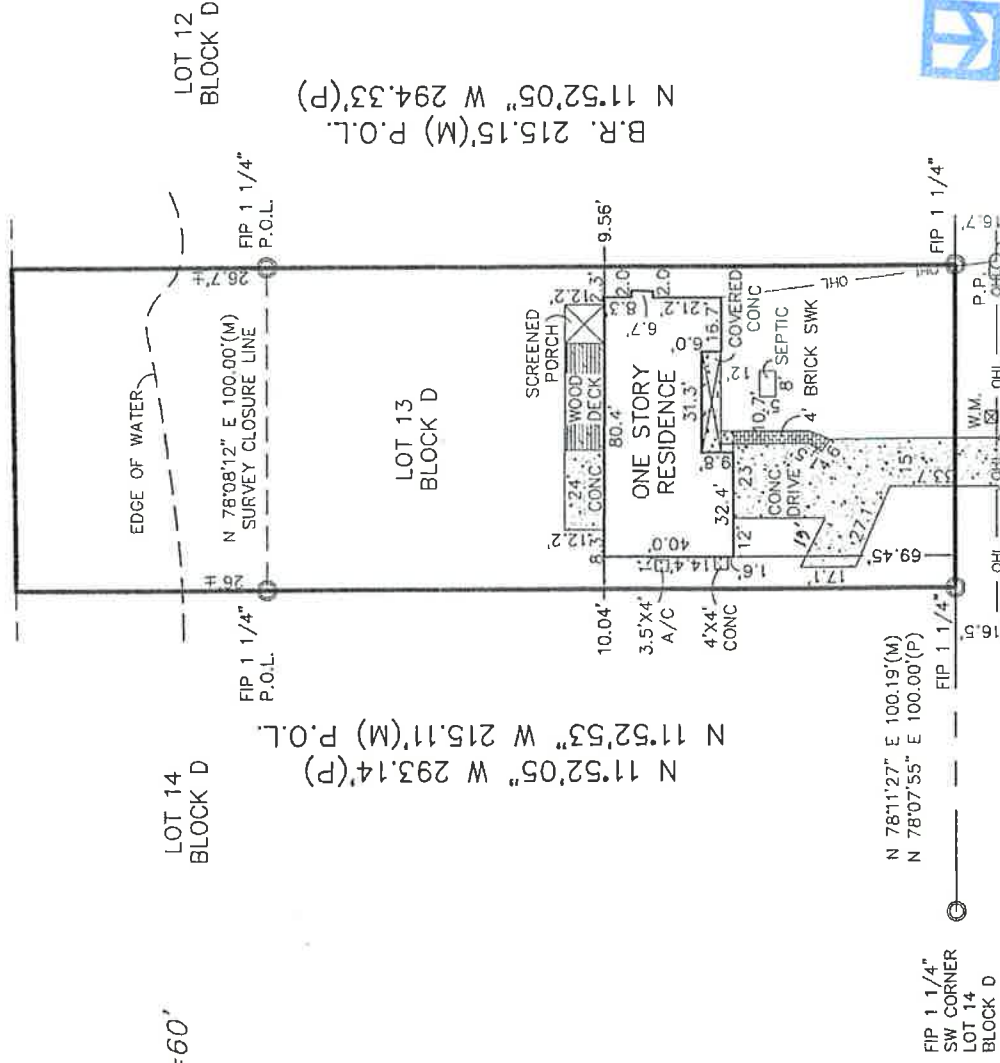
PARCEL #  
 13-2329-0000-00-044  
 (SOVEREIGN LAKE)

N 77°27'00" E 100.01'(P)  
 LAKE CONWAY

LOCATION SKETCH  
 NOT TO SCALE



SCALE: 1"=60'



Property Address:  
 3007 Trentwood Boulevard  
 Orlando, FL 32812

Survey number: SL 168678

TRENTWOOD BOULEVARD  
 60' R/W (IMPROVED)  
 ASPHALT  
 N 78°09'36" E 99.95'(M)  
 N 78°07'55" E 100.00'(P)

### LEGEND

-0-0-	Wire Fence	D.U.E.	Drainage & Utility Easement
-0-0-	Wood Fence	D.W.	Driveway
-OH-	Overhead Utilities	E.S.M.T.	Easement
⊙	Power Pole	E.O.P.	Edge of Pavement
⊗	Water Meter	E.O.W.	Edge of Water
⊠	Asphalt	ENCR	Encroachment
▨	Block Wall	F	Field
▨	Brick/Pavers	FD	Found
▨	Concrete	FD N&D	Found Nail & Disk
▨	Covered Area	FC.M.	Found Concrete Monument
⊔	Centerline	F.I.P.	Found Iron Pipe
⊔	Central Angle/Delta	F.I.R.	Found Iron Rod
⊔	Line Break Not to Scale	L	Length
⊔	Air Conditioning	L.B.	Licensed Business
⊔	Bearing Reference	M	Field Measured
B.M.	Bench Mark	M.H.	Mankole
CATV	Cable Riser	N&D	Nail & Disk
C	Calculated	O.R.B.	Official Records Book
C.L.F.	Chain Link Fence	ONPL	On Property Line
CH	Chord	PG	Page
C.B.	Concrete	P.V.C.	Vinyl Fence
C.M.	Concrete Monument	P.V.M.T.	Pavement
COV.	Covered	P.C.P.	Permanent Control Point
D.	Description or Deed	P.R.M.	Permanent Reference Monument
D.E.	Drainage Easement	P	Plat
		P.B.	Plat Book

### GENERAL NOTES

1. Legal description provided by others.
2. There may be additional easements and/or restriction either recorded or unrecorded not shown hereon that may affect this property.
3. Underground portions of footings, foundations or other improvements were not located.
4. Building ties are to the face of the wall.
5. Only visible encroachments located.
6. No identification found on property corners unless noted.
7. Dimensions shown are plat and measured unless otherwise noted.
8. This is a **BOUNDARY SURVEY** unless otherwise noted.
9. Not valid unless sealed with the signing surveyors embossed seal.
10. No title commitment used in the preparation of this document unless otherwise noted.
11. All lines are not radial unless otherwise noted.
12. This survey is not to be used as a site plan for construction of any kind.

13. Recertification does not indicate an update.
14. Unless otherwise noted, flood zone information provided by others.
15. Septic tank and drainfields shown hereon are approximate only and are based upon visual location only. No attempt has been made to verify their location. Client must consult with the appropriate utility location company to confirm the actual location.
16. The closure of structures may not be precise due to building imperfections and decorative finishes.
17. Pools and/or patios may be drawn as an approximation and not fully dimensioned due to irregular shape.
18. Fence locations along property line may be exaggerated for clarity.
19. The nature, extent or existence of riparian rights is not addressed hereon.
20. This survey meets all applicable accuracy requirements.
21. This survey meets or exceeds the Minimum Technical Standards promulgated by the Florida Board of Professional Land Surveyors, 5147, of the Florida Administrative Code, Section 473.027, F.A.C.

I hereby certify that this survey is a true and correct representation of a survey prepared under my direction.

Ralph Swerdloff  
 Registered Surveyor and Mapper No. 6477

# SW FREDERICK & PERRY

370 Weymont Court • Lake Mary, FL 32746 • Voice 407.688.7631 • Fax 407.688.7691 • sandpsurveying@gmail.com

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PARCEL #  
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 (SOVEREIGN LAKE)

N 77°27'00" E 100.01'(P)

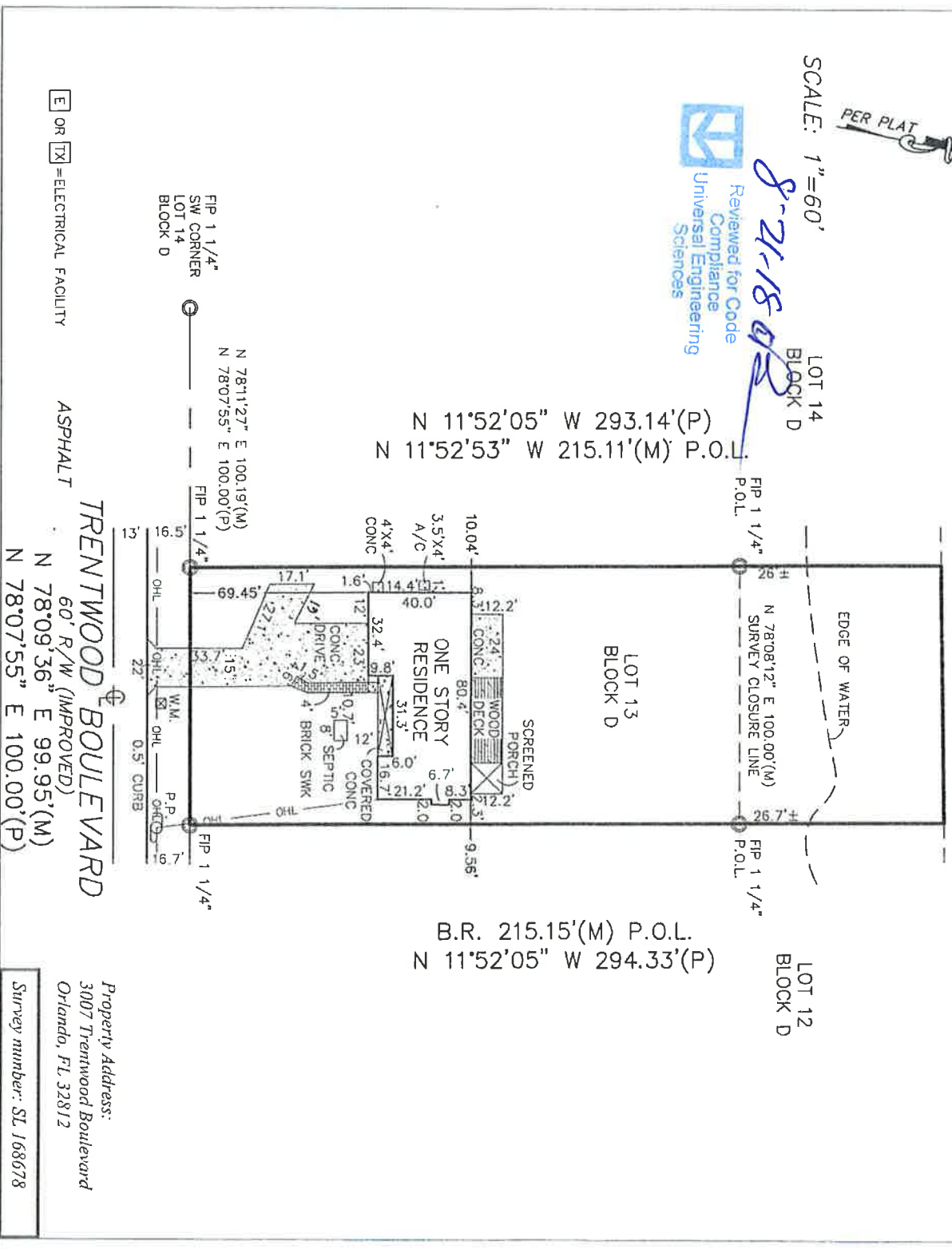
LAKE CONWAY



SCALE: 1"=60'



8-21-18



OR  ELECTRICAL FACILITY

ASPHALT  
**TRENTWOOD BOULEVARD**  
 60' R/W (IMPROVED)  
 N 78°09'36" E 99.95'(M)  
 N 78°07'55" E 100.00'(P)

Property Address:  
 3007 Trentwood Boulevard  
 Orlando, FL 32812  
 Survey number: SL 168678

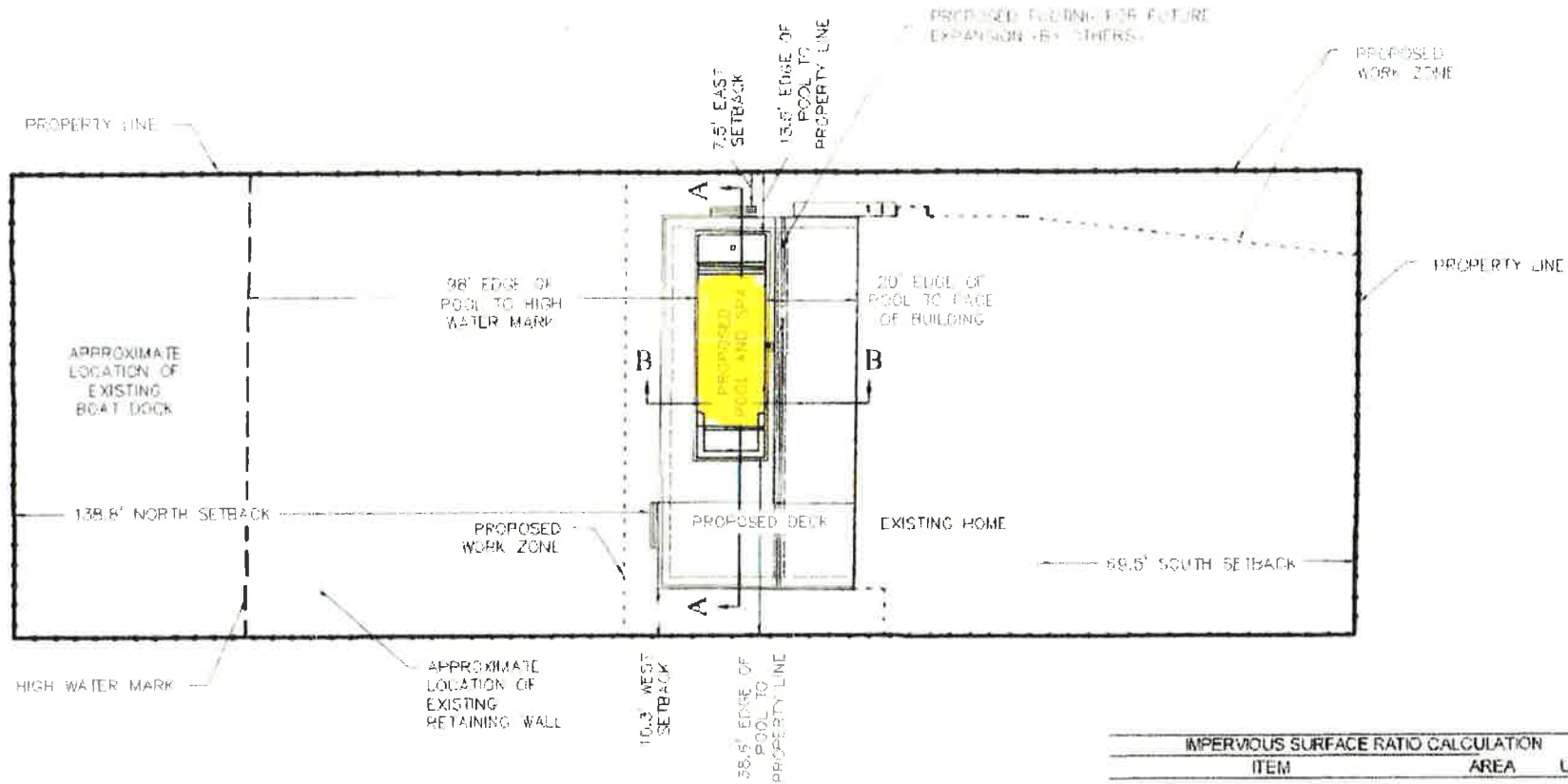
LEGEND	
-O-	Wire Fence
-O-	Wood Fence
-O-	Overhead Utilities
PP	Power Pole
WM	Water Meter
ASPH	Asphalt
BLK WALL	Block Wall
BRICK/P	Brick/Pavers
CONC	Concrete
COVERED	Covered Area
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CA	Central Angle/Delta
LA	Line Break Not to Scale
AC	Air Conditioning
BR	Bearing Reference
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CATV	Cable Riser
C	Calculated
CLLF	Chain Link Fence
CH	Chord
CB	Chord Bearing
CONC	Concrete
C.M.	Concrete Monument
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F.C.M.	Found Concrete Monument
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F.I.R.	Found Iron Rod
L	Length
L.B.	Licensed Business
M	Field Measured
M.H.	Manhole
N&D	Nail & Disk
O.R.B.	Official Records Book
ONPL	On Property Line
PG	Page
P.V.C.	Vinyl Fence
P.V.M.T.	Pavement
P.C.P.	Permanent Control Point
P.R.M.	Permanent Reference Monument
P	Plat
P.B.	Plat Book
PE	Pool Equipment
P.O.B.	Point of Beginning
P.O.C.	Point of Commencement
P.C.C.	Point of Compound Curve
P.C.	Point of Curvature
ENCR	Point of Intersection
P.R.C.	Point of Reverse Curvature
P.T.	Point of Tangency
P.O.L.	Point on Line
P.L.	Property Line
R	Record
R.W.	Right of Way
S.I.R.	Set Iron Rod & Cap
SWK	Sidewalk
TEL	Telephone Facilities
T.O.B.	Top of Bank
TYP	Typical
U.E.	Utility Easement
W.F.	Wood Fence
W.C.	Witness Corner

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- All lines are not radial unless otherwise noted.
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- Surveyor certifies that this survey is a true and correct representation of survey performed under his direction.
- Recentering does not indicate an update.
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- Fence locations along property line may be exaggerated for clarity.
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- This survey meets or exceeds the Minimum Technical Standards promulgated by the Florida Board of Professional Land Surveyors, §3-11, of the Florida Administrative Code, Section 475.021, F.A.C.

Ralph Sverdliff  
 Registered Surveyor and Mapper No. 6477





INDEX

FG FINISHED GRADE  
 LF LINEAR FEET  
 MIN MINIMUM  
 MAX MAXIMUM  
 O.C. ON CENTER  
 SCH. SCHEDULE  
 TYP. TYPICAL  
 WITH WITH

8-21-18  
 [Signature]  
 Reviewed for Code Compliance  
 Universal Engineering Sciences

**ZONING APPROVED**

Date: 8/15/18 By: [Signature]

City of Belle Isle

IMPERVIOUS SURFACE RATIO CALCULATION		
ITEM	AREA	UNITS
Total Lot Area	29358	SF
Allowable Impervious Area (BASE)		
Total Lot Area*0.35	10275	SF
House	3036	SF
Driveway	1697	SF
Walkway	133	SF
Accessory Building	0	SF
Pool & Spa	720	SF
Deck & Patio	2737	SF
Other - Accessory Pads	90	SF
Impervious area (ACTUAL)	8413	SF
(ACTUAL) - (BASE)	-1862	SF

BELOW

NOTES:  
 1. PLEASE REFER TO ATTACHED SURVEY FOR ADDITIONAL HOUSE AND LOT DIMENSIONS AND FEATURES NOT SHOWN ON THIS SITE PLAN



REVISIONS

NO.	DATE	DESCRIPTION

DATE: AUGUST 4, 2018  
 DRAWN BY: TAC  
 CHECKED BY: TAC  
 SCALE FOR PRINTING: 1/8" = 1'-0"

**DE**  
 DESIGN ENGINEERING & SURVEYING

DRAWING NOT VALID UNLESS SIGNED & SEALED BY PROFESSIONAL ENGINEER

SHEET NUMBER