



PERMIT CARD - PLEASE POST AT JOB SITE

THIS DOCUMENT BECOMES YOUR PERMIT WHEN PROPERLY VALIDATED

Per FBC 105 3.3: An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies." The issuance of this permit does not grant permission to violate any applicable City, Orange County, State of Florida and/or Federal codes and/or ordinances. Separate permits are required for Signs, Roofing, Electrical, Gas, Plumbing and Mechanical services. This permit becomes VOID if the work authorized is not commenced within 6 months, or is suspended or abandoned for a period of 6 months after commencement. WORK SHALL BE CONSIDERED SUSPENDED IF AN APPROVED INSPECTION HAS NOT BEEN MADE WITHIN A 6 MONTH PERIOD. PERMISSION IS GRANTED TO DO THE FOLLOWING WORK ACCORDING TO THE CONDITIONS HEREON AND THE APPROVED PLANS AND SPECIFICATIONS, SUBJECT TO COMPLIANCE WITH THE ORDINANCES OF THE CITY OF BELLE ISLE, FLORIDA.

<p>Scope of Work: BUILDING: Boat Dock</p> <p>Comments: Contractor to provide turbidity barrier prior to construction inspection ~ call City Hall to schedule.</p> <p>Project Information Address: 5437 Pasadena Drive, Belle Isle, FL 32809 Parcel ID: 18-23-30-8858-00-020 Property Owner: Wilson, Eric Phone Number: 954-346-2331</p> <p>***** Company Name: Albert Cichra Builders Inc. Contractor Name: Cichra, Albert License Number: CRC058230 Address: 13936 Marine Drive, Orlando, FL 32836 Phone Number: 407-275-8954</p>	<p align="center">Permit Number: 2015-03-008</p> <p>Date of Application: 03/02/2015 Date Permit Issued: 04/01/2015</p> <p>WARNING TO OWNER: "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT." ON THE JOB INSPECTION(S) MUST BE MADE BEFORE PROCEEDING WITH SUBSEQUENT WORK. THIS CARD MUST BE DISPLAYED OUTSIDE AND BE PROTECTED FROM THE WEATHER WHILE BEING VISIBLE FROM THE STREET UNTIL THE FINAL INSPECTIONS HAVE BEEN APPROVED.</p>
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BUILDING FEATURES

<p>IMPACT FEES</p> <table style="width:100%;"> <tr><td>School</td><td>\$</td></tr> <tr><td>Traffic</td><td>\$</td></tr> </table> <p>ZONING FEES</p> <table style="width:100%;"> <tr><td>Zoning Fee</td><td>\$165.00</td></tr> </table> <p>UNIVERSAL ENG - BUILDING FEES</p> <table style="width:100%;"> <tr><td>Cert of Occ</td><td>\$</td></tr> <tr><td>Demo</td><td>\$</td></tr> <tr><td>Building</td><td>\$163.50</td></tr> <tr><td>Fence</td><td>\$</td></tr> <tr><td>Driveway</td><td>\$</td></tr> <tr><td>Shed</td><td>\$</td></tr> <tr><td>Window(s)</td><td>\$</td></tr> <tr><td>Door(s)</td><td>\$</td></tr> <tr><td>PrePower</td><td>\$</td></tr> <tr><td>Electrical</td><td>\$</td></tr> <tr><td>Temp Pole</td><td>\$</td></tr> <tr><td>Plumbing</td><td>\$</td></tr> <tr><td>Mechanical</td><td>\$</td></tr> <tr><td>Gas</td><td>\$</td></tr> <tr><td>Roofing</td><td>\$</td></tr> <tr><td>Boat Dock</td><td>\$</td></tr> <tr><td>Screen Endl</td><td>\$</td></tr> <tr><td>Swimming Pool</td><td>\$</td></tr> <tr><td>Sign</td><td>\$</td></tr> </table> <p>SURCHARGE FEES</p> <table style="width:100%;"> <tr><td>Surcharge Fee</td><td>\$2.45</td></tr> <tr><td>Surcharge Fee</td><td>\$2.45</td></tr> </table> <p>TOTAL FEES \$333.40</p> <p>Date Paid <u>4-6-15</u> CC# or Check # <u>VISA 6973</u> Amount Paid <u>333.40</u></p> <p>The person accepting this permit shall conform to the terms of the application on file and construction shall conform to the requirements of the Florida Building Code (FS 553).</p>	School	\$	Traffic	\$	Zoning Fee	\$165.00	Cert of Occ	\$	Demo	\$	Building	\$163.50	Fence	\$	Driveway	\$	Shed	\$	Window(s)	\$	Door(s)	\$	PrePower	\$	Electrical	\$	Temp Pole	\$	Plumbing	\$	Mechanical	\$	Gas	\$	Roofing	\$	Boat Dock	\$	Screen Endl	\$	Swimming Pool	\$	Sign	\$	Surcharge Fee	\$2.45	Surcharge Fee	\$2.45	<p align="center">BUILDING INSPECTOR USE ONLY</p> <p>IF APPLICABLE: Have Zoning Approval Conditions Been Met? YES NO Have Stormwater Approval Conditions Been Met? YES NO Silt fencing in place? YES NO Turbidity Barrier in place? YES NO</p> <p>BUILDING Survey specific foundation plan must be onsite before slab pour. Approved Plan on Site? _____ 1st _____ (Footing/Foundation) 2nd _____ (Slab) 3rd _____ (Lintel)(Wall Reinforcing on Masonry Building) 4th _____ (Exterior Framing)(Roof/Wall Sheathing) 5th _____ (Framing) (To be made after Plumbing/ Mechanical/ Electrical Rough-Ins & Windows/Doors Installed) 6th _____ (Insulation to be Made After Roof Installed) 7th _____ (Drywall) 8th _____ (Sidewalk/Driveway) 9th _____ (Other) 10th _____ (Final - After MEP and Other Applicable Finals)</p> <p>ROOFING 1ST ROOFING Deck Nailing/Dry-in/Flashing _____ 2ND ROOFING Covering In-Progress _____ 3RD ROOFING Covering Final _____</p> <p>PLUMBING (Pool-Piping, Solar, Irrigation, Water Treatment Equip, Etc...) 1ST _____ (Underground) 2nd _____ (Sewer) 3rd _____ (Rough-in/Tub Set) 4th _____ (Final)</p> <p>CHECK APPROPRIATE BOX <input type="checkbox"/> GAS <input type="checkbox"/> Natural <input type="checkbox"/> LP <input type="checkbox"/> MECHANICAL <input type="checkbox"/> ELECTRICAL <input type="checkbox"/> LOW VOLTAGE 1st _____ (Rough-In) 2nd _____ (Final)</p>
School	\$																																																
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Inspection requests are to be emailed to BiDscheduling@Universallengengineering.com; a confirmation email will be sent back to you upon scheduling. Next-Day Inspection requests must be made by 1pm. Please include the following in your request: Permit #, project address, type of inspection, date of the requested inspection, a contact name & a contact phone number. AM or PM may be requested but cannot be guaranteed.

CITY OF BELLE ISLE
Permit Application Review Sheet

Permit Number	<u>2015-03-008</u>
Property Owner	<u>Wilson, Eric</u>
Address	<u>5437 Pasadena Dr.</u>
Nature of Improvement	<u>Boat deck</u>
Received Application	<u>3-2-15</u>
Sent for Stormwater Review	<u>3-2-15</u>
Stormwater Approved	<u>3-10-15</u>
Sent for Zoning Review	<u>3-2-15</u>
Zoning Approved	<u>3-10-15</u>
Applied for Variance	<u>/</u>
Variance Approved	
Sent to BO for Review	<u>3-30-15 w048877</u>
Building Official Approved	<u>3-31-15 PG</u>
Comments	
1.	<u>Susan 3-2-15</u>
2.	<u>Roof for Deck task 05 2015-03-008</u>
3.	<u>3-10-15 req emailed CPBI for Status</u>
4.	<u>3-30-15 req app never submitted for Bldg review</u>
5.	
6.	
7.	
8.	
9.	
10.	
11.	
12.	



City of Belle Isle
1600 Neia Avenue, Belle Isle, FL 32809
Tel 407-851-7730 * Fax 407-240-2222

Building Permit (Land Use) Application

To be completed as required by State Statute Section 713 and other applicable sections.



PERMIT # 2015-03-008

Owner's Name Eric Wilson

Owner's Address 5033 NW 81st Terrace, Coral Springs, FL 33067

Fee Simple Titleholder's Name (if other than owner's) _____

Address	City	State	Zip Code
Contractor's Name <u>Albert Cichra Builders, Inc.</u>	<u>Michael Thompson</u>		
Contractor's Address <u>13936 Marine Drive</u>	<u>Architect/Engineer's Address 5200 Vineland Road, Suite 250</u>		
City, State, ZIP <u>Orlando, FL 32836</u>	<u>City, State, ZIP Orlando, FL 32811</u>		
License # <u>CRC058230</u>	<u>License # 47509</u>		
Contact Phone/Cell <u>(407) 275-8954 (407) 491-2555</u>	<u>Contact Phone/Cell (407) 529-3300</u>		
Contact Email <u>cichra@bellsouth.net</u>	<u>Contact Email mithompson@thompsoneng.com</u>		

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$250k(+) or if A/C Replacement \$750k(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations (www.floridabuildings.com) and City Ordinances (www.municode.com) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, ENCLOSURES, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner Signature Eric Wilson
The foregoing instrument was acknowledged before me this 2/9/15
by ERIC WILSON who is personally known to me
and who produced _____
as identification and who did not take an oath.

Notary as to Owner
Notary Public, State of Florida
Renee Anderson
My Commission EE 879863
Expires 03/03/2017

Contractor Signature Albert Cichra
COMPANY NAME Albert Cichra Builders
The foregoing instrument was acknowledged before me this 2/9/15
by Albert Cichra who is personally known to me
and who produced _____
as identification and who did not take an oath.

Notary as to Contractor
Notary Public, State of Florida
Renee Anderson
My Commission EE 879863
Expires 03/03/2017

Impervious Surface Ratio Worksheet
Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per Section 50-74 Impervious Surface Ratio of the City Code

1. Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).
Total Lot Area _____ X 0.35 = _____
Allowable Impervious Area (BASE) _____

2. Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc.

- House _____
- Driveway _____
- Walkway _____
- Accessory Buildings _____
- Pool & Spa _____
- Deck & Patio _____
- Other _____

Actual Impervious Area (AIA) _____

3. If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.

4. If AIA is greater than BASE, then onsite retention **must** be provided. Assuming 7.5 inches of rainfall based on a 24hr. 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed

ZONING APPROVED
Date: 7/1/15 By: [Signature]
City of Belle Isle
SEE NOTES ON SITE PLAN.



City of Belle Isle
1600 Nela Avenue, Belle Isle, FL 32809
Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleislefl.org



Building Permit (Land Use) Application
To be completed as required by State Statute Section 713 and other applicable sections.

PERMIT # 2015-03-008

Owner's Name Eric Wilson

Owner's Address 5033 NW 81st Terrace, Coral Springs, FL 33067



Fee Simple Titleholder's Name (if other than owner's) _____

Address _____	City _____	State _____	Zip Code _____
Contractor's Name <u>Albert Cichra Builders, Inc.</u>	Architect/Engineer's Name <u>Michael Thompson</u>		
Contractor's Address <u>13936 Marine Drive</u>	Architect/Engineer's Address <u>5200 Vineland Road, Suite 250</u>		
City, State, ZIP <u>Orlando, FL 32836</u>	City, State, ZIP <u>Orlando, FL 32811</u>		
License # <u>CRC058230</u>	License # <u>47509</u>		
Contact Phone/Cell <u>(407) 275-8954 (407) 491-2555</u>	Contact Phone/Cell <u>(407) 529-3300</u>		
Contact Email <u>cichra@bellsouth.net</u>	Contact Email <u>mthompson@thompsoneng.com</u>		

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I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations (www.floridabuilding.org) and City Ordinances (www.municode.com) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, ENCLOSURES, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

<p>Owner Signature <u>Eric Wilson</u></p> <p>The foregoing instrument was acknowledged before me this <u>2/9/15</u> by <u>ERIC WILSON</u> who is personally known to me and who produced as identification and who did not take an oath.</p> <p>Notary as to Owner State of Florida County of Orange</p> 	<p>Contractor Signature <u>Albert Cichra</u></p> <p>COMPANY NAME <u>Albert Cichra Builders</u></p> <p>The foregoing instrument was acknowledged before me this <u>2/9/15</u> by <u>Albert Cichra</u> who is personally known to me and who produced as identification and who did not take an oath.</p> <p>Notary as to Owner State of Florida County of Orange</p> 
<p>Impervious Surface Ratio Worksheet</p> <p>Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per Section 50-74 Impervious Surface Ratio of the City Code</p> <p>1. Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE). Total Lot Area _____ X 0.35= _____ Allowable Impervious Area (BASE) _____</p> <p>2. Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. Examples include house, pool, deck, driveway, accessory building, etc</p> <ul style="list-style-type: none"> • House _____ • Driveway _____ • Walkway _____ • Accessory Buildings _____ • Pool & Spa _____ • Deck & Patio _____ • Other _____ <p>Actual Impervious Area (AIA) _____</p> <p>3. If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.</p> <p>4. If AIA is greater than BASE, then onsite retention <u>must be provided</u>.</p> <p>Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed</p>	



City of Belle Isle
 1600 Nela Avenue, Belle Isle, FL 32809
 Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleislefl.org
Building Permit (Land Use) Application

RECEIVED
 3-2-15

DATE: _____ PERMIT # 2015-03-008
 PROJECT ADDRESS: 5437 Pasadena Drive, Belle Isle, FL X 32809 32812
 PROPERTY OWNER Eric Wilson PHONE 954-346-2331 VALUE OF WORK (labor & material) \$ 22,000

PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

Construct a 4'x16' access walkway dock, a 12' x 24' deck, and an 11'x24' boathouse with a 2' catwalk.

Please provide information, if applicable.

- Survey specific foundation plan required to show compliance with zoning setbacks
- BOAT DOCK: DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- PROVIDE SEPTIC RESIDENTIAL SYSTEM VERIFICATION – OC DOCUMENT 64E-6, FOR NEW / ALTERED / ADDITIONS to Septic System
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 18-23-30-8858-00-020

To obtain this information, please visit <https://www.ocraft.org/Searches/ParcelSearch.aspx>

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCROACH INTO ANY EASEMENT OR REQUIRED SETBACK. Note, this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions. For New Single Family Residences, a Traffic Impact Fee and School Impact will be assessed.

Attached Survey ___SETS and Construction Plans ___SETS

PLANNING & ZONING APPROVAL: _____ DATE _____

PLEASE COMPLETE for Building Review

CONSTRUCTION TYPE _____
 OCCUPANCY GROUP _____ Comm _____ Single Fam _____ Multi Fam _____
 #BLDG. #UNITS, #STORIES _____ TOTAL SQ.FT. 5651
 MAX. FLOOR LOAD _____ MAX. OCCUPANCY _____
 MIN. FLOOD ELEV. _____ LOW FLOOR ELEV. _____
 WATER SERVICE _____ WELL _____ SEPTIC _____

BUILDING REVIEWER [Signature] DATE 3-31-15
 NOTES _____

Per FSS 105.3.3:

An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

Waste Management is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Waste Management at 407-788-0800 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Waste Management. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

RETURN ORIGINAL AT CITY HALL - UNLESSING 09/2012 FORM BLANDUSE002 - 1 of 2 Page Four

Wind Load Category: A ___ B ___ C ___ D ___

SPRINKLERS REQ'D	Y	N	I
IF Required - SUBMIT COPY OF PLANS FOR FIRE REVIEW	Date: Sent	RCD	
ZONING	Y	N	\$
CERT OF OCC	Y	N	\$
TRAFFIC	Y	N	\$
SCHOOL	Y	N	\$
FIRE	Y	N	\$
SWIMMING POOL	Y	N	\$
POOL ENCLOSURE	Y	N	\$
BOAT DOCK	Y	N	\$
BUILDING	Y	N	\$
WINDOW(S)	Y	N	\$
DOOR(S)	Y	N	\$
OTHER	Y	N	\$
3% FLS SURCHARGE			<u>4.90</u>

TOTAL

By Owner Form Y NA
 Notice of Commencement Y NA
 Power of Attorney Y NA
 Contractor Packet On File? Y N

OTHER PERMITS REQUIRED:

ELECTRICAL Y NA
 PREPOWER Y NA
 MECHANICAL Y NA
 PLUMBING Y NA
 ROOFING Y NA
 GAS Y NA
 OTHER: 333.40

ZONING APPROVED
 Date: 3/10/15 By: [Signature]
 City of Belle Isle
 SEE NOTES ON SITE PLAN



City of Belle Isle
 1600 Nela Avenue, Belle Isle, FL 32809
 Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleislefl.org
Building Permit (Land Use) Application



DATE: _____

PERMIT # 2015-03-008

PROJECT ADDRESS 5437 Pasadena Drive

Belle Isle, FL X 32809 32812

PROPERTY OWNER Eric Wilson PHONE 954-346-2331 VALUE OF WORK (labor & material) \$ 22,000

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Please provide information, if applicable.

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Attached Survey _____ SETS and Construction Plans _____ SETS

PLANNING & ZONING APPROVAL: _____ DATE _____

PLEASE COMPLETE for Building Review
 CONSTRUCTION TYPE _____ Res: _____ Single Fam _____ Multi Fam _____
 OCCUPANCY GROUP _____ Comm _____ #UNITS _____ #STORIES _____ TOTAL SQ.FT. 664
 #BLDG. _____ MAX. FLOOR LOAD _____ MAX. OCCUPANCY _____
 MIN. FLOOD ELEV. _____ LOW FLOOR ELEV. _____
 WATER SERVICE _____ WELL _____ SEPTIC _____

BUILDING REVIEWER _____ DATE _____
 NOTES _____

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Wind Load Category: A _____ B _____ C _____ D _____

SPRINKLERS REQ'D	Y	N
If Required – SUBMIT COPY OF PLANS FOR FIRE REVIEW	Date: Sent _____	RCD _____
ZONING	Y	N
CERT OF OCC	Y	N
TRAFFIC	Y	N
SCHOOL	Y	N
FIRE	Y	N
SWIMMING POOL	Y	N
POOL ENCLOSURE	Y	N
BOAT DOCK	Y	N
BUILDING	Y	N
WINDOW(S)	Y	N
DOOR(S)	Y	N
OTHER	Y	N
3% FL SURCHARGE		
TOTAL		
By Owner Form	Y	NA
Notice of Commencement	Y	NA
Power of Attorney	Y	NA
Contractor Packet On File?	Y	N
OTHER PERMITS REQUIRED:		
ELECTRICAL	Y	NA
PREPOWER	Y	NA
MECHANICAL	Y	NA
PLUMBING	Y	NA
ROOFING	Y	NA
GAS	Y	NA
OTHER:		



COBI Permit Fee Calculation Form



[Signature]

Reviewer Signature:

Date:

3-31-15

Permit Type:	<u>BOAT HOUSE/DOCK</u>	Job Cost:	<u>\$ 22,000.00</u>
Permit Fee:	<u>\$ 109.00</u>		
Plans Review Fee:	<u>\$ 54.50</u>		
1.5% State Fee:	<u>\$ 2.45</u>		
1.5% State Fee:	<u>\$ 2.45</u>		
TOTAL BUILDING FEE:	\$ 168.40		

Note: Total gets doubled for SWQ/AFT permits

(50% of permit fee - excluding ReRoofs)

109.00
54.50
163.50

$$1st 1000 = 25.00$$

$$21 \times 4.00 = 84.00 + 25.00 = 109.00 / 2 = 54.50$$

$$(54.50 + 109.00) \times 0.015 = 2.45$$

$$109 + 54.50 + 2.45 + 2.45 =$$

168.40
165.00
333.40



**CITY OF BELLE ISLE,
FLORIDA**

1600 Nela Avenue
Belle Isle, Florida 32809
(407) 851-7730 • FAX (407) 240-2222
www.cityofbelleislefl.org

POWER OF ATTORNEY

Date: 2/9/16 Permit #: _____

I hereby name and appoint Renea Anderson of _____
(print name)

Albert Cichra Builders, Inc. to be my lawful attorney-in-fact to act for
(company name)

me and apply to the City of Belle Isle Building Department for a _____ permit
(type of permit)

for work to be performed at the following location:
5437 Pasadena Drive, Belle Isle, FL 32809 32812 and
(street address)

to sign my name and do all things necessary to this appointment.

Certified Contractor's Printed Name: Albert Cichra

License Number: CRC058230

Certified Contractor's Signature: *Albert Cichra*

The foregoing instrument was acknowledged before me this 10th day of January of 2015

by Albert Cichra who is personally known to me or who produced
as identification and who did not take an oath.

State of Florida
County of Orange

Sheila Cichra
Notary Public, Orange County, Florida



(seal)

DOC# 20140298091 B: 10759 P: 9055
06/17/2014 10:10:30 AM Page 1 of 1
Rec Fee: \$10.00
Deed Doc Tax: \$2,065.00
DOR Admin Fee: \$0.00
Intangible Tax: \$0.00
Mortgage Stamp: \$0.00
Martha O. Haynie, Comptroller
Orange County, FL
SA - Ret To: JAMES P PANICO PA



PREPARED BY:
James P. Panico, Esq.
111 S. Maitland Ave., Suite 100
Maitland, FL 32751

WARRANTY DEED

THIS INDENTURE, made this 2nd day of June, 2014, BETWEEN SAUNDRA SLUSHER, as Trustee of the Theresia Hauger Trust Agreement dated January 25, 2001, as amended, whose address is 5435 Pasadena Drive, Orlando, FL 32809, Grantor, and ERIC R. WILSON and SUZANNE K. WILSON, husband and wife, whose address is 5033 NW 81st Terrace, Coral Springs, FL 32067, Grantee.

WITNESSETH, that said Grantor for and in consideration of the sum of TEN (\$10.00) DOLLARS, and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Orange County, Florida, to wit:

Lot 2, VENETIAN GARDENS REPLAT, according to the plat thereof as recorded in Plat Book 18, Page 66, Public Records of Orange County, Florida

Said Grantor does hereby fully warrant title to said land, and will defend same against the lawful claims of all persons whomsoever.


IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered
in the presence of:


Print Name: James P. Panico

Print Name: Nancy Geckow

STATE OF FLORIDA
COUNTY OF ORANGE


Sandra Slusher, Trustee
Theresia Hauger Trust dated
1/25/01, as amended
5435 Pasadena Dr.
Orlando, FL 32809

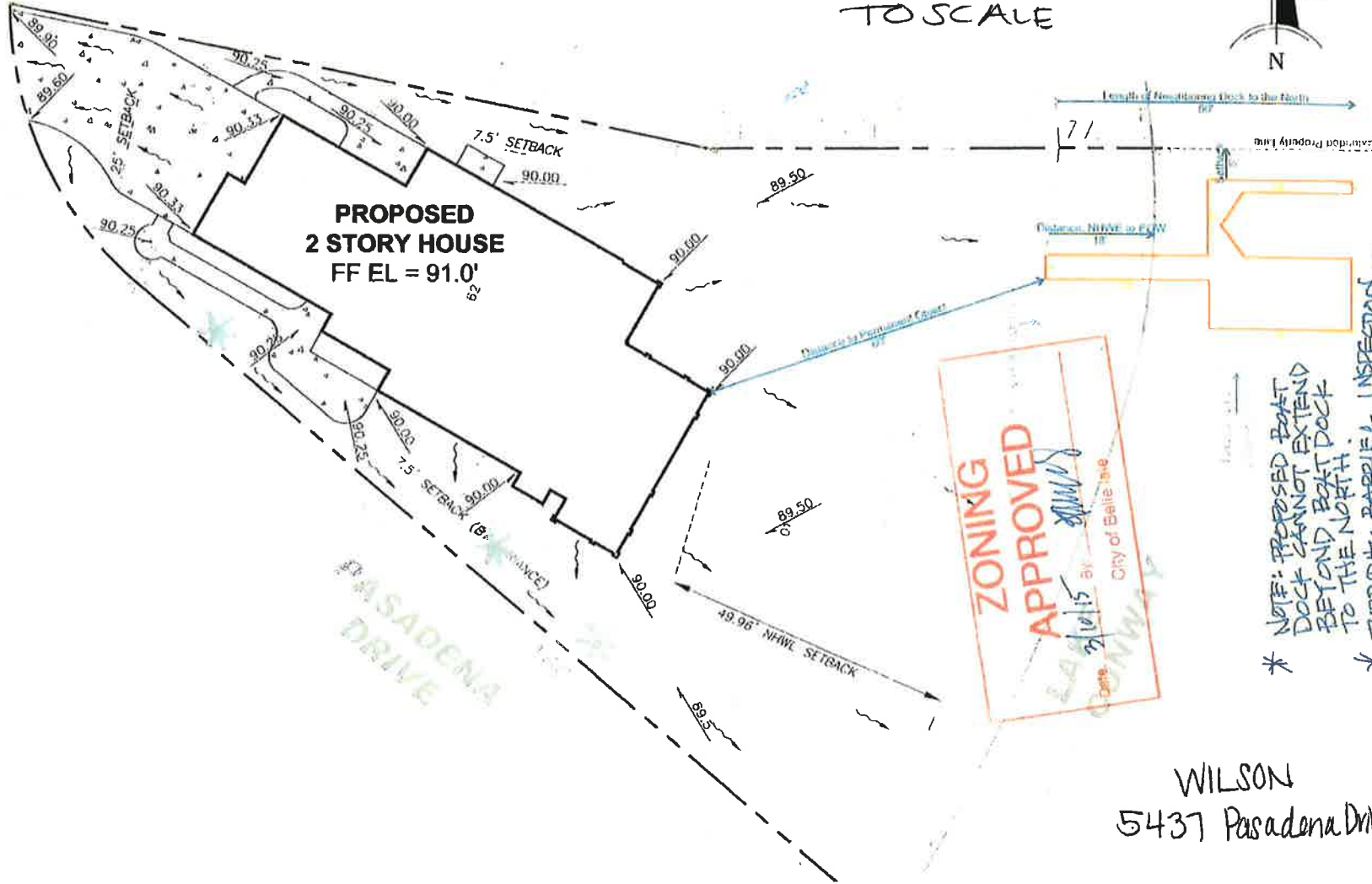
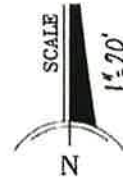
I HEREBY CERTIFY that on this day before me, an officer duly authorized to take acknowledgments, personally appeared SAUNDRA SLUSHER, as Trustee of the Theresia Hauger Trust Dated January 25, 2001, as amended, to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that she executed the same. Affiant(s) is personally known or has produced a valid Florida driver's license as identification and did take an oath.

 WITNESS my hand and official seal in the County and State last aforesaid this 2nd day of June, 2014.

Notary Public, State of Florida
Print Name: James P. Panico
My commission expires:



SITE PLAN TO SCALE



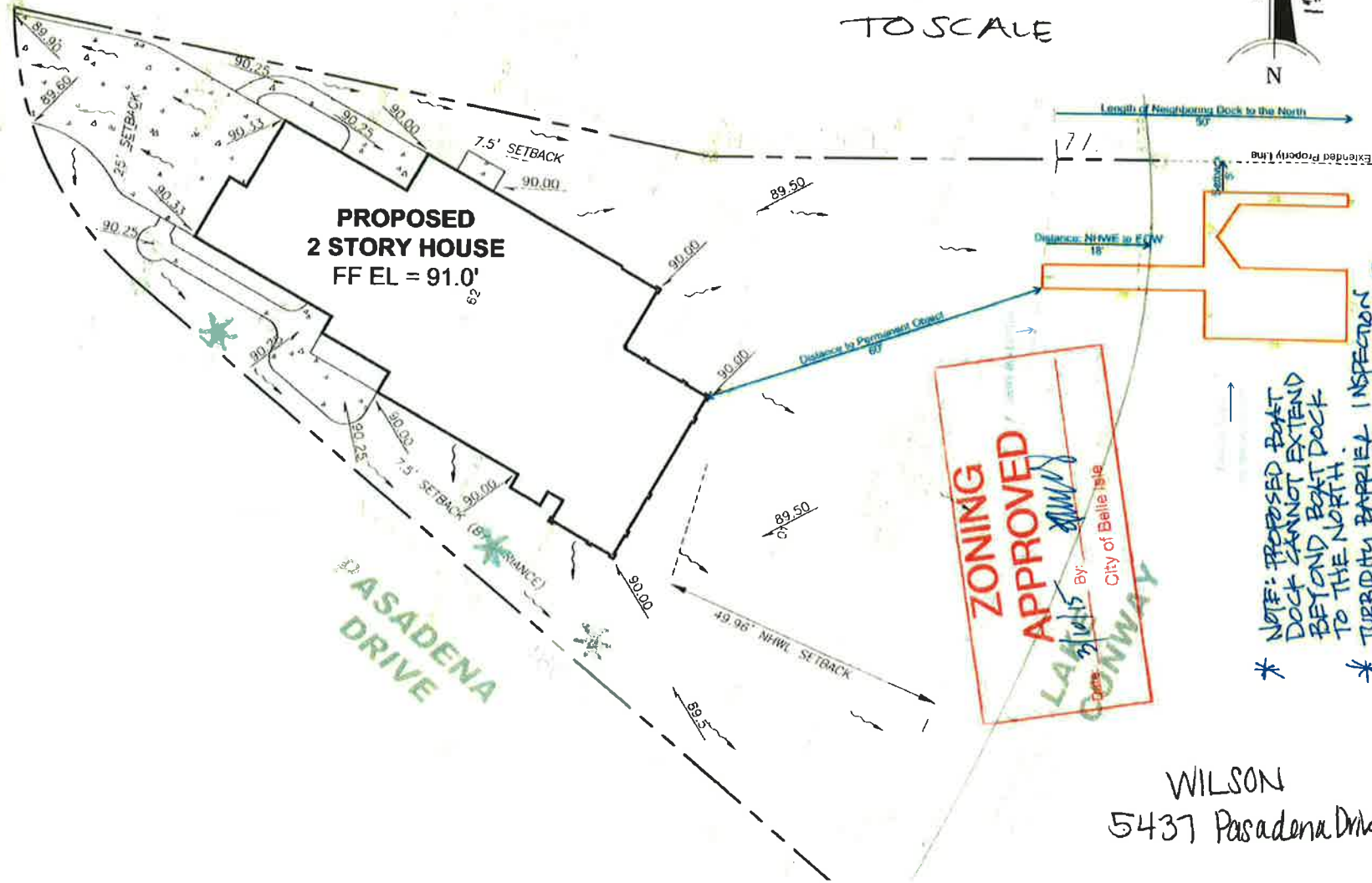
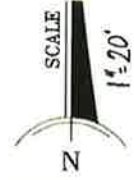
**PROPOSED
2 STORY HOUSE**
FF EL = 91.0'
±

**ZONING
APPROVED**
2/10/15 by [signature]
City of Bellevue

* NOTE: PROPOSED BOAT DOCK CANNOT EXTEND BEYOND BOAT DOCK TO THE NORTH. *
* TURBIDITY BARRIER INSPECTION REQUIRED PRIOR TO COMMENCING EARLY CONSTRUCTION. CITY WILL REQUEST INSPECTION. *

WILSON
5437 Pasadena Drive

SITE PLAN TO SCALE



**PROPOSED
2 STORY HOUSE**
FF EL = 91.0'

PASADENA
DRIVE

**ZONING
APPROVED**
By: *[Signature]*
Lawyer
CONWAY
City of Belle Isle

* NOTE: PROPOSED BOAT DOCK CANNOT EXTEND BEYOND BOAT DOCK TO THE NORTH.
* TURBIDITY BARRIER INSPECTION REQUIRED PRIOR TO COMMENCING EARLY CONSTRUCTION. CALL CITY HALL TO REQUEST INSPECTION.

WILSON
5437 Pasadena Dr



FLORIDA DEPARTMENT OF
ENVIRONMENTAL PROTECTION

BOB MARTINEZ CENTER
2600 BLAIRSTONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

RICK SCOTT
GOVERNOR

CARLOS LOPEZ-CANTERA
LT. GOVERNOR

JONATHAN P. STEVERSON
SECRETARY

**SELF CERTIFICATION FOR CONSTRUCTION OF
A PRIVATE, RESIDENTIAL SINGLE-FAMILY DOCK**

Self Certification File No.: **0332875001EE**

File Name: **5437 Pasadena Dr Orlando, FL 32809**

- **Self Cert Exempt Dock with Boat Lift(s) (General)**

Dear **RENEA ANDERSON**: On, **02/26/2015**, you used the Department's electronic Self Certification Process to certify compliance with the terms and conditions necessary for construction of a private, residential single-family dock, at a detached, single-family residence located at:

LAT - Degrees: 28 Minutes: 28 Seconds: 53.8681

LONG - Degrees: -81 Minutes: 21 Seconds: 8.4108

SITE ADDRESS: 5437 Pasadena Dr Orlando, FL 32809

COUNTY: Orange

For:

**Eric Wilson
13936 MARINE DR**

ORLANDO, FL 32832

You have certified that the dock you propose to construct at the above location meets all the conditions of the Self Certification Process. A dock that is built in conformance to those conditions (attached for reference) will:

1. Qualify for a regulatory exemption under Part IV of Chapter 373 and Section 403.813(2)(b) of the Florida Statutes, and Chapters 62-330, and 62-343 of the Florida Administrative Code (F.A.C.). As such, it is exempt from the need to obtain a DEP Environmental Resource Permit.
2. Qualify for a consent by rule to use submerged lands under Chapter 253 of the Florida Statutes and Chapter 18-21 of the Florida Administrative Code, when the dock is located on submerged lands owned by the State of Florida.

Your Self Certification is based solely on the information you provided under this process, and applies only

to the statutes and rules in effect when your certification was completed. The certification is effective only for the specific dock proposed, and only if the dock is constructed, operated, and maintained in conformance with all the terms, conditions, and limitations stated in the Self Certification Process. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required.

You have acknowledged that this Self Certification will automatically expire if:

1. Construction of the dock is not completed within one year from the self certification date;
2. site conditions materially change;
3. the terms, conditions, and limitations of the Self Certification are not followed; or
4. the governing statutes or rules are amended before construction of the project.

Completion of the Self Certification constitutes your authorization for Department personnel to enter the property for purposes of inspecting for compliance.

Receipt of this Self Certification constitutes letter of consent required by rule 18-21.004(7) F.A.C.

ADDITIONAL INFORMATION

This Self Certification Process does not relieve you from the responsibility of obtaining other permits or authorizations from other agencies (federal, state, Water Management District, or local) that may be required for the project. Construction of the dock may require federal authorization. The Corps has been furnished a copy of your Self Certification letter. They will contact you with further information about their process. If you do not hear from them, please contact them directly. Jacksonville District contact information can be found at: <http://www.saj.usace.army.mil/Missions/Regulatory.aspx>. Failure to obtain all applicable authorizations prior to construction of the dock may result in enforcement.

If you have any questions, please contact your local Department District Office. Contact information can be found at: http://www.dep.state.fl.us/water/wetlands/docs/sler_contacts.pdf. When referring to your project, please use the Self Certification file number listed above.

Sincerely,

Florida Department of Environmental Protection

Enclosures:

Single Family Dock Criteria
General Conditions for Sovereignty/State-Owned Submerged Lands Authorization
Manatee Conditions

Private residential single family docks are subject to the following criteria in accordance with Section 403.813(1)(b), F.S. The dock to be constructed:

1. Has 1,000 square feet or less over water surface (includes adjacent wetlands) in accordance with Chapter 62-340, F.A.C.;
2. Is constructed on or held in place by pilings and is constructed so as not to involve filling or dredging other than that necessary to install the pilings;
3. Will not substantially impede the flow of water, cause water pollution, or create a navigational hazard;
4. Is used ONLY for recreational, noncommercial activities associated with the mooring or storage of boats and boat paraphernalia;

5. Is the sole dock on the parcel; and
6. Must not be subject to any conservation easement or restrictive covenant of record prohibiting the activity.

Boat lifts are subject to the following additional conditions:

1. Is to be installed in an existing slip or, at or adjacent to the waterward end of the dock;
2. With other mooring will not result in the mooring of more than two vessels (including jet skis);
3. Will not be located in areas prohibited for mooring by a previously issued permit or other form of authorization issued by a local government;

General Conditions for Sovereignty/State-Owned Submerged Lands Authorization

Any use of sovereignty/state-owned submerged lands is subject to the following general conditions that are binding upon the applicant and are enforceable under Chapters 253 or 258, F.S.:

1. Sovereignty/state-owned submerged lands may be used only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use will constitute a violation. Violation of the authorization will result in suspension or revocation of the applicant's use of the sovereignty/state-owned submerged lands unless cured to the satisfaction of the Board of Trustees of the Internal Improvement Trust Fund (Board).
2. Authorization under Rule 18-21.005, F.A.C., conveys no title to sovereignty/state-owned submerged lands or water column, nor does it constitute recognition or acknowledgment of any other person's title to such land or water.
3. Authorizations under Rule 18-21.005, F.A.C., may be modified, suspended or revoked in accordance with its terms or the remedies provided in Sections 253.04, F.S. or Chapter 18-14, F.A.C.
4. Structures or activities will be constructed and used to avoid or minimize adverse impacts to resources.
5. Construction, use, or operation of the structure or activity will not adversely affect any species which is endangered, threatened or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.
6. Structures or activities will not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity will be modified in accordance with the court's decision.
7. Structures or activities will not create a navigational hazard.
8. Structures will be maintained in a functional condition and will be repaired or removed if they become dilapidated to such an extent that they are no longer functional.
9. Structures or activities will be constructed, operated, and maintained solely for water dependent

purposes.

10. The applicant agrees to indemnify, defend and hold harmless the Board and the State of Florida from all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty/state-owned submerged lands or the applicant's use and construction of structures on sovereignty/state-owned submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.
11. Failure by the Board to enforce any violation of the authorization or waiver by the Board of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure or waiver prevent the Board from enforcing the waived or unenforced provision in the event of a future violation of that provision.
12. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.
13. All costs incurred by the Board in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board in writing of any change of address at least ten days before the change becomes effective.
14. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant of record that prohibits the activity.

Manatee Conditions

The following conditions are intended to protect manatees from direct project effects; THESE CONDITIONS APPLY ONLY IN WATERS THAT ARE ACCESSIBLE TO MANATEES:

1. All personnel associated with the project will be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee will advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
2. All vessels associated with the construction project will operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
3. Siltation or turbidity barriers will be made of material in which manatees cannot become entangled, will be properly secured, and will be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
4. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within

50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.

5. Any collision with or injury to a manatee will be reported immediately to the FWC Hotline at 1-888-404-FWCC. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida.
6. Temporary signs concerning manatees will be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Awareness signs that have already been approved for this use by the Florida Fish and Wildlife Conservation Commission (FWC) must be used (see MyFWC.com). One sign which reads Caution: Boaters must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities.

BOAT DOCK PLANS

MPTK

WILSON RESIDENCE DOCK

Prepared For

ALBERT CICHRA BUILDERS, INC.

Prepared By

THOMPSON ENGINEERING GROUP, INC

Engineer: Michael Thompson, MSc, P.E. (#47509)

5200 Vineland Road, Suite 250

Orlando, Florida 32811

Ph: 407-529-3306

Fax: 407-529-3306


Certificate of Authorization No. 30060

www.thompsoneng.com

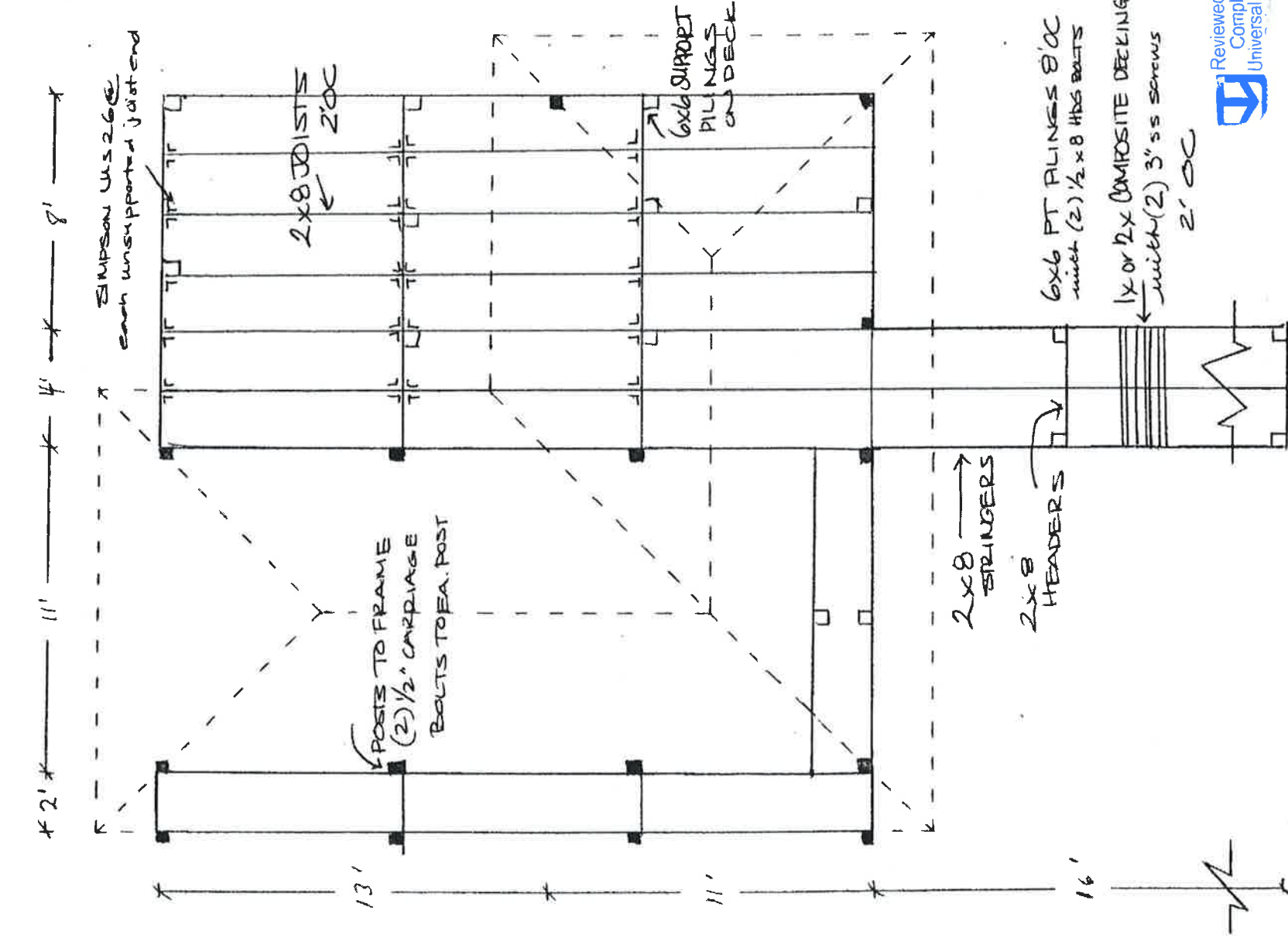
FEBRUARY 2015

CITY OF BELLE ISLE
THE PLANS AND SPECIFICATIONS
HAVE BEEN REVIEWED. FULL
COMPLIANCE WITH CODES AND
REGULATIONS ARE REQUIRED BY
THE PERMIT HOLDER




REVIEWED FOR COMPLIANCE

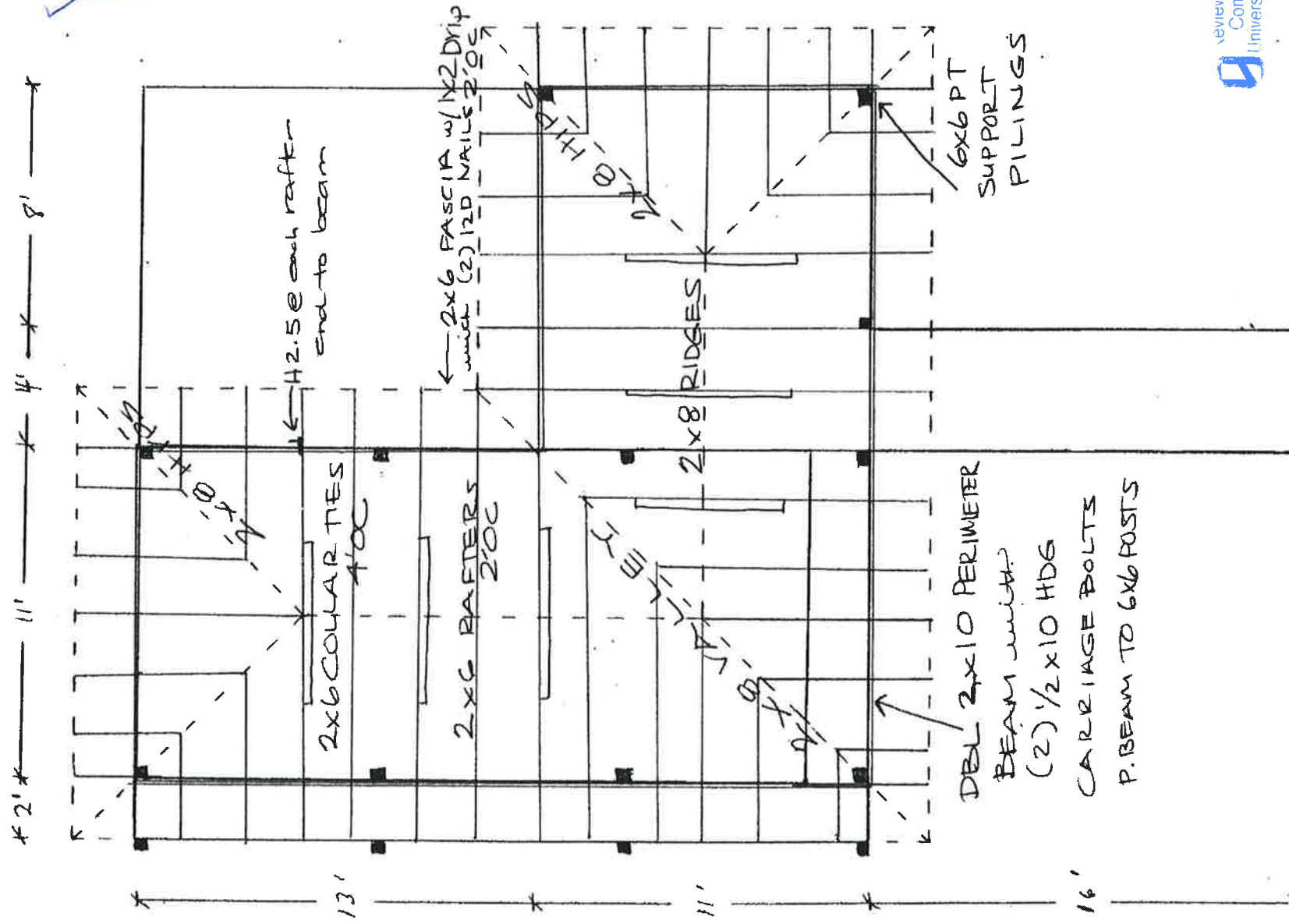
Deck Framing



WILSON 5437 PASADENA DRIVE
ALBERT CICHRA BUILDERS, INC.

Reviewed for Code
 Compliance
 Universal Engineerin

Roof Framing



WILSON 5437 PASADENA DRIVE
 ALBERT CICHRA BUILDERS, INC.



Notes

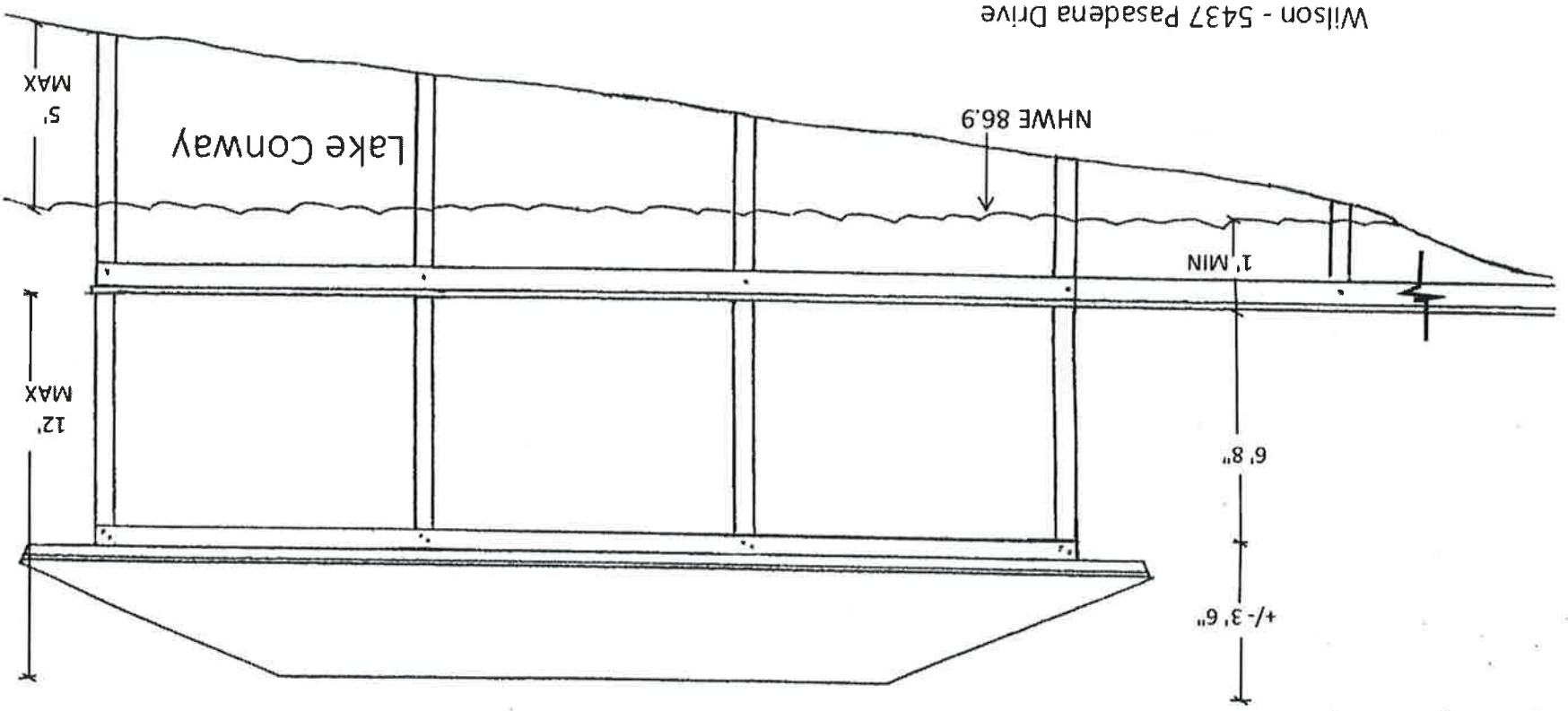
Sherry

ALBERT CICHRA BUILDERS, INC.

WILSON 5437 PASADENA DRIVE

Reviewed for Code Compliance
Universal Engineer

LAKE CONWAY

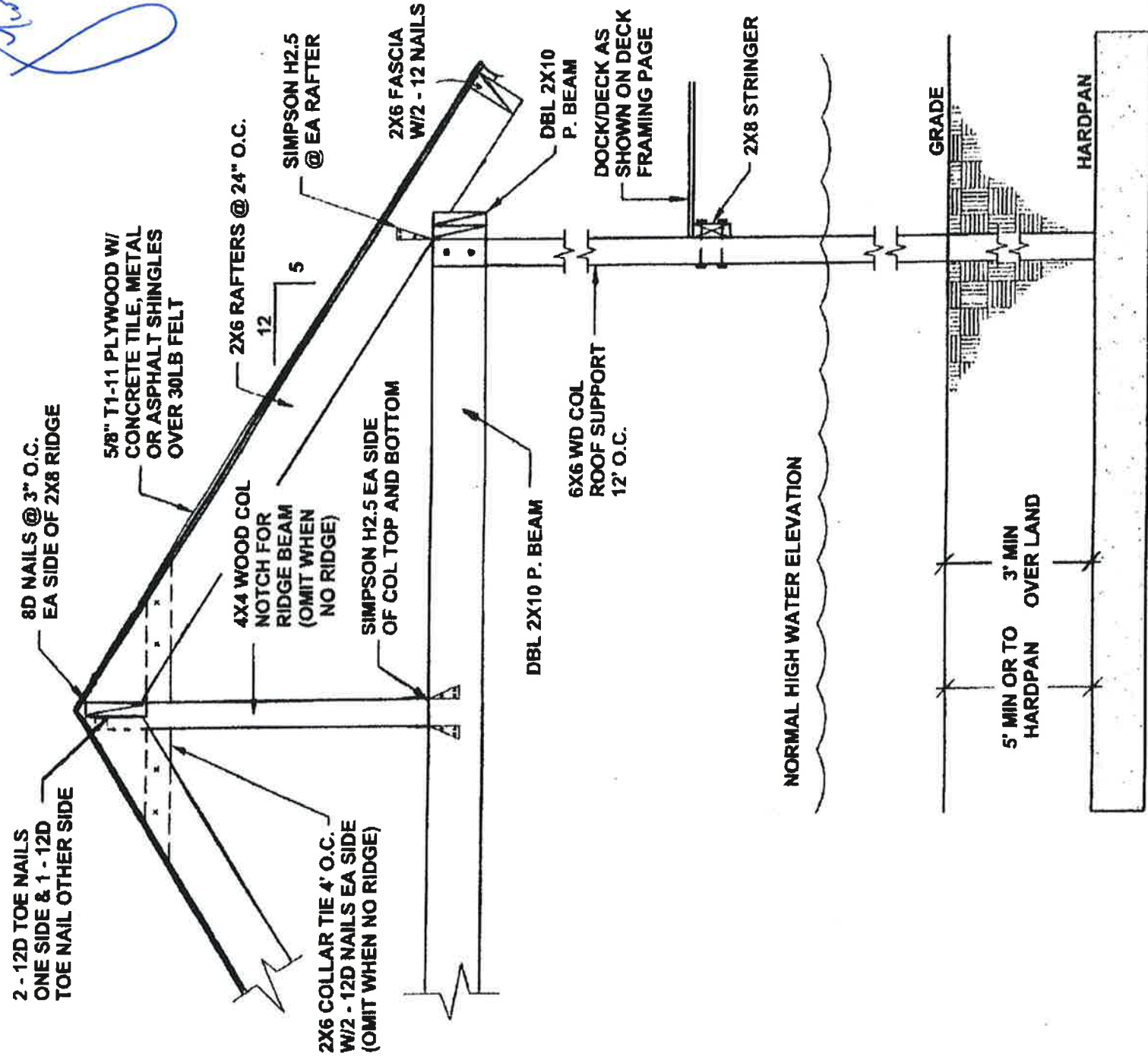


WILSON 5437 PASADENA DRIVE
ALBERT CICHRA BUILDERS, INC.

Elevation

Details and Specifications - Roof Cross Section

Mark

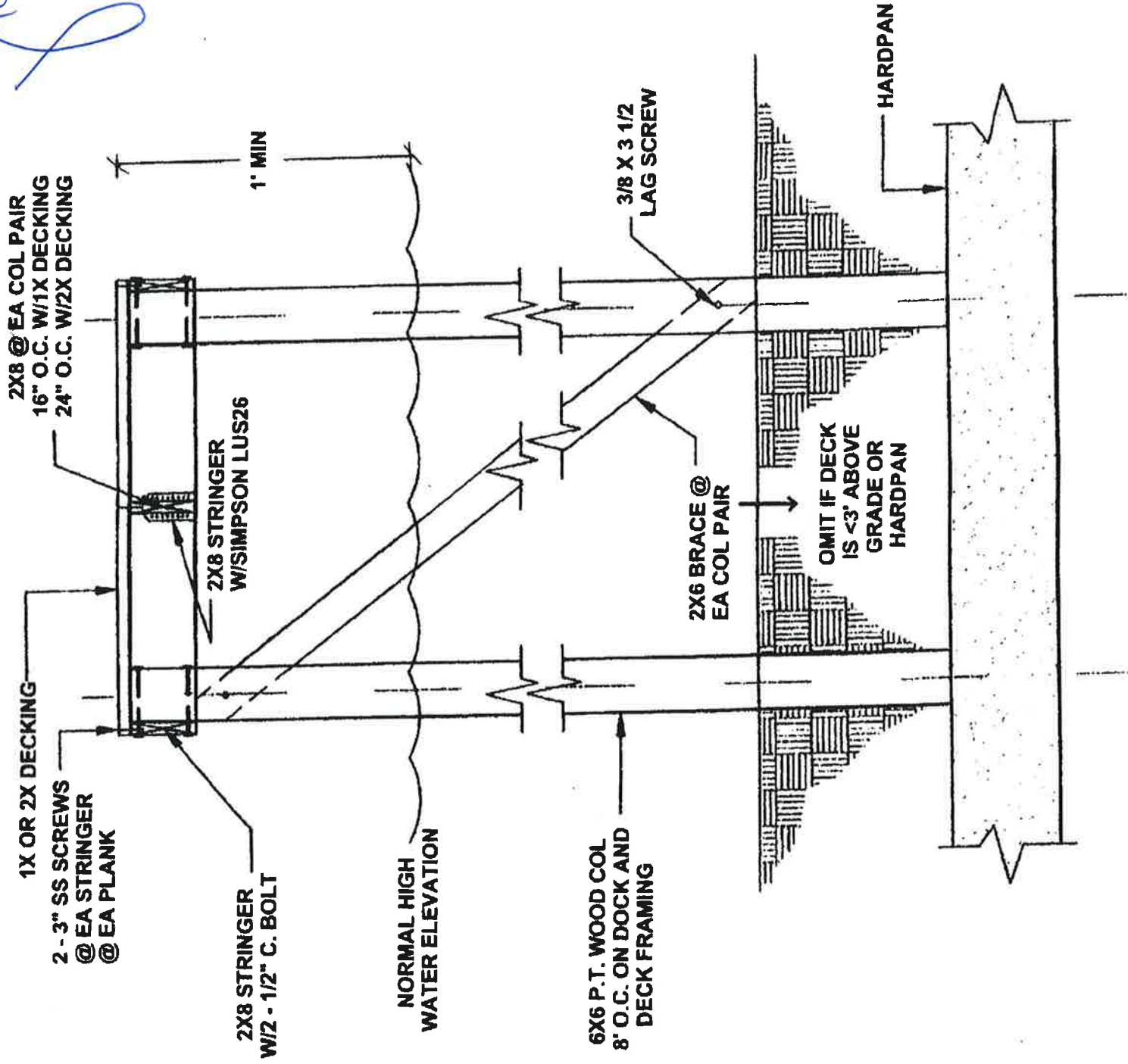


Reviewed for Code Compliance
 Universal Engineer

**WILSON 5437 PASADENA DRIVE
 ALBERT CICHRA BUILDERS, INC.**

Details and Specifications – Dock Cross Section

M. J. P. K.



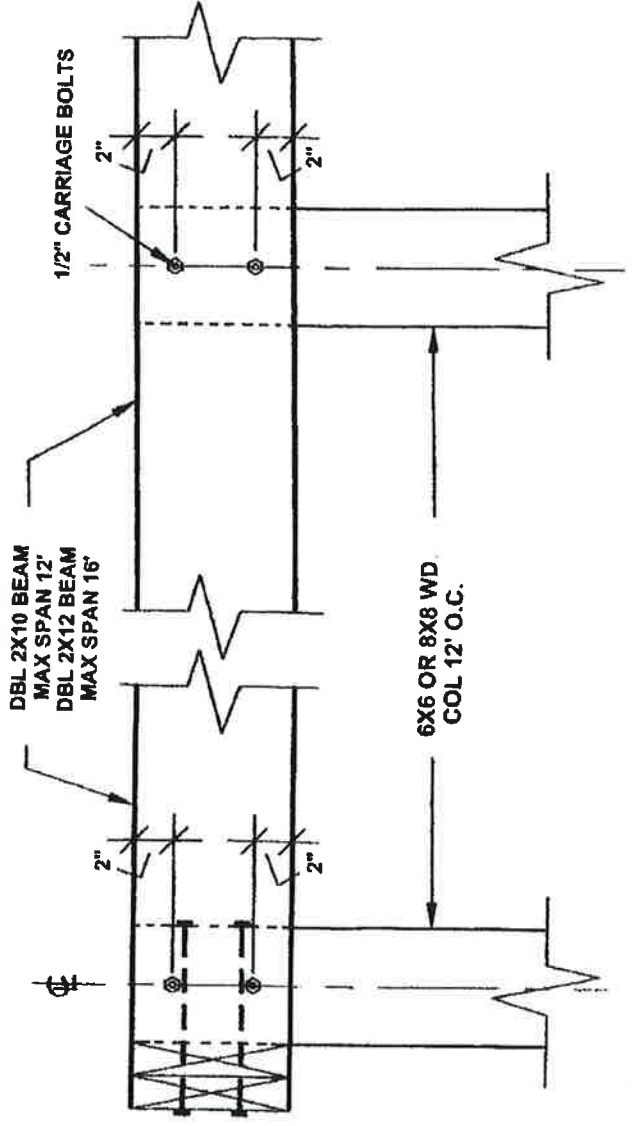
Reviewed for Code
Compliance
Universal Engineer

WILSON 5437 PASADENA DRIVE
ALBERT CICHRA BUILDERS, INC.

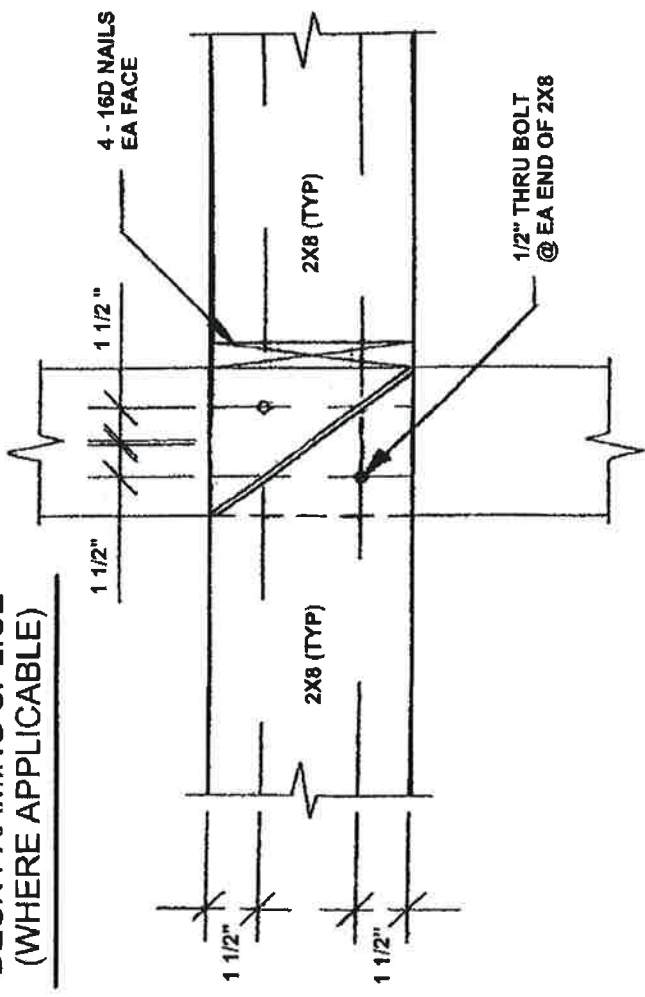
Details and Specifications (P. Beam and Framing Splice)

Mark

P. BEAM DETAIL

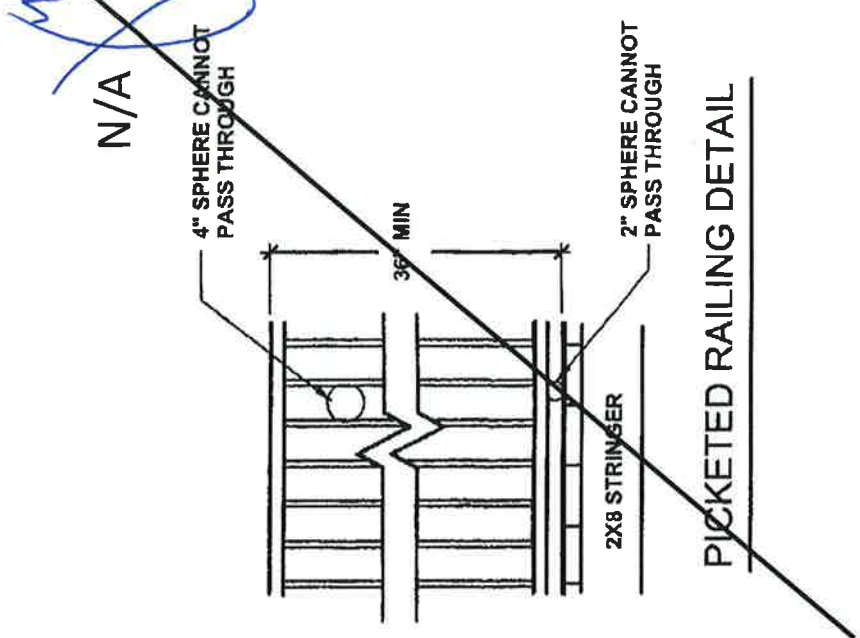
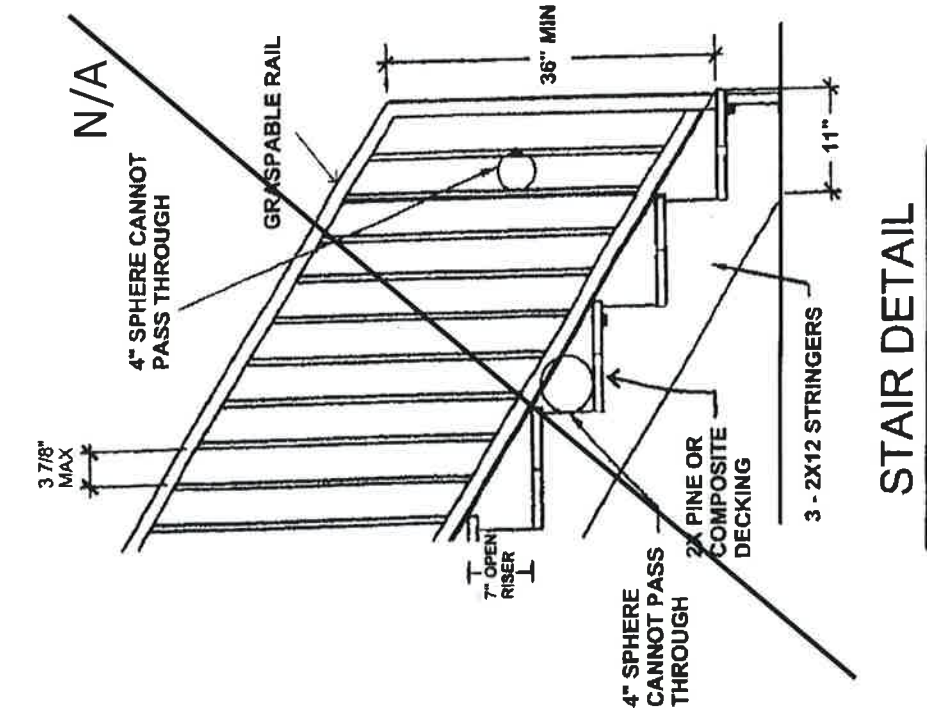


DECK FRAMING SPLICE
(WHERE APPLICABLE)



**WILSON 5437 PASADENA DRIVE
ALBERT CICHRA BUILDERS, INC.**

Details and Specifications - Stair and Railing



NOTES:

- Bolts: ASTM A572
- All nails shall be common wire nails
- Simpson straps shall be ZMAX or galvanized
- Lumber shall be #2 P.T. SYP or as noted
- Roof rafters and fascia shall be #2 PT

•Any portion of the dock that falls landward of the NHWE and is more than 30" above grade will have fall protection railing per code.

NAILING SCHEDULE:

Wall and Roof sheathing - 1/2" CDX APA rated plywood w/8d sinker nails @ 4" O.C. at supported PNL edges & 6" O.C. in the field
 Simpson H2.5Z - four 8d x 1 1/2" nails to rafters and plates
 Simpson LUS26Z - four 8d x 1 1/2" nails to headers and joists

DESIGN REQUIREMENTS:

Live loads for floors, decks and stairs is 60PSF
 Live load for roof is 20 PSF
 Live load for balconies is 60 PSF

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE WIND LOAD REQUIREMENTS OF THE 2010 FLORIDA BUILDING CODE RESIDENTIAL EDITION SECTION R301 DESIGN CRITERIA AND ASCE 7- 10 AND 2011 NEC.

1. BASIC WIND SPEED= 139 MPH ULTIMATE WIND SPEED (Vult) AND 108 MPH (Vasd)
2. CONSTRUCTION TYPE= SINGLE FAMILY RESIDENCE
3. WIND EXPOSURE= CATEGORY D
4. OPEN STRUCTURE WITH A ZERO PRESSURE COEFFICIENT



**WILSON 5437 PASADENA DRIVE
 ALBERT CICHRA BUILDERS, INC.**

Design Standards

The following are general design standards. More stringent design standards may be noted on the plans.

General Requirements:

Reproductions of contract drawings by contractor in lieu of preparation of shop drawings signifies acceptance of information shown as correct and obligates himself to any expense, real or implied, arising from their use. A change to the structural drawings due to the acceptance of alternates and/or substitutes is the responsibility of the contractor and must be submitted to the engineer for approval. The general contractor and each subcontractor shall verify all existing conditions prior to the start of any work. All inconsistencies shall be reported to the designer and/or structural engineer, if needed. Should contractor construct the premises in a fashion not consistent with the plans prepared by the designer and/or structural engineer, or in any fashion, change the plans and drawing without the review and approval from the designer and/or structural engineer. Then designer and/or structural engineer shall bear no responsibility or liability for the construction of premises and accuracy of the drawings.

Design Code:

Florida Building Code 2010

The Aluminum Association, latest edition
ASCE 7-10

Galvanized Bolts:

All bolts shall be galvanized be ASTM A572, grade 50 threaded round stock with a minimum yield stress of 50,000 psi.

Timber:

Design in accordance with the National Design specification for wood construction, with loading in accordance with the Florida Building Code. All graded structural lumber shall be pressure treated and meet the following minimum requirements:

Minimum bending stress = 1250 psi (No. 1 Dense So. Pine)

Young Modulus = 1600 ksi

Maximum of 15% moisture content

Contractor may use Southern Yellow Pine No. 2 or U.O.N.

Lumber sizes shown are nominal sizes. Lumber shall be furnished in finished sizes meeting the requirement of the American Softwood Lumber Standard.

Structural Aluminum:

Conform to latest edition of Aluminum Association of Florida standard practice for aluminum design.

All aluminum shall be 6061-T6 (E= 10,000 ksi; Fy = 35 ksi)

Concrete

Conform to ACI 318, latest edition and ACI 301

Compressive Ultimate Strength (Minimum at 28 days) shall be 3,000 psi

Exposed chamfer edges shall be ¾"

Reinforcing Steel:

Conform to ACI 318 and 315, Latest edition

All reinforcement steel shall be ASTM A615

Grade 60. Min footing cover 3"

Smooth dowels & ties shall be ASTM A185

Design Loads:

Pursuant to Chapter 1609 LL (-Table 1607; WL- Section 1609)

Ultimate Wind: 140 mph at 3 second gust (30 psf minimum)

Risk Category II (Table 1604.5)

Exposure Category: "D" (FBC 1609.4.3 & ASCE 7-10, Section 26.7.2)

Deck Live Load: 60 psf

Dead Load: 10 psf

Roof Live Load: 20 psf

Components and cladding, design wind pressures + 38psf/-38psf

Structural Steel:

Conform to latest edition of AISC "Specification for structural steel building" and AISC "Code of standard practice for steel buildings and bridges".

All structural steel shall be ASTM A36, (E= 29,000 ksi; Fy = 36 ksi)

Splicing prohibited without prior approval as to location and type.

Burning of holes in steel members is prohibited. Any member with burned holes must be replaced.

Welding:

Conformed to "code for welding in building construction" by the American Welding Society, latest edition.

Steel Weld IAW AWS D1.1 (latest edition) -E70XX electrodes

Aluminum Weld IAW AWS D1.2 (latest edition)-Filler Alloy 5356 or equal.

Connection welds to be sized for forces and reactions indicated.

All steel welds shall be E70XX low hydrogen, 250 degrees min.

Welds shall be full penetration welds at all points of contact

**WILSON 5437 PASADENA DRIVE
ALBERT CICHRA BUILDERS, INC.**





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
5/7/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Lykes Insurance, Inc. P. O. Box 2703 Winter Park FL 32790	CONTACT NAME: Myrna Sanchez PHONE (A/C, No. Ext): 407-644-5722 E-MAIL ADDRESS: msanchez@lykesinsurance.com FAX (A/C, No.): 407-628-1363
INSURED Albert Cichra Builders 13936 Marine Drive Orlando FL 32832	INSURER(S) AFFORDING COVERAGE INSURER A: Scottsdale Insurance Company INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:

COVERAGES **CERTIFICATE NUMBER:** 2121685247 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY X COMMERCIAL GENERAL LIABILITY CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR		CPS1984637	4/15/2014	4/15/2015	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$100,000 MED EXP (Any one person) \$5,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMPI/OP AGG \$1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: X POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC <input type="checkbox"/>					
	AUTOMOBILE LIABILITY ANY AUTO ALL OWNED AUTOS HIRED AUTOS					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB EXCESS LIAB					EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below					WC STATUS - POLICY LIMITS \$ OTHER \$ E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CERTIFICATE HOLDER City of Belle Isle 1600 Nela Avenue Orlando FL 32809	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE <i>William P. Jambor</i>
---	--

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JEFF ATWATER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

**** CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW ****

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 6/5/2014

EXPIRATION DATE: 6/4/2016

PERSON: CICHRA

ALBERT G JR

FEIN: 593443958

BUSINESS NAME AND ADDRESS:

ALBERT CICHRA BUILDERS INC

13936 MARINE DRIVE

ORLANDO FL 32832

SCOPES OF BUSINESS OR TRADE:


LICENSED RESIDENTIAL CARPENTRY NOC
CONTRACTR

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

DFS-F2-DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 07-12

QUESTIONS? (850)413-1609

PLEASE CUT OUT CARD BELOW AND RETAIN FOR FUTURE REFERENCE

 STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION CONSTRUCTION INDUSTRY EXEMPTION	IMPORTANT Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.
CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW EFFECTIVE DATE: 6/5/2014 EXPIRATION DATE: 6/4/2016 PERSON: CICHRA ALBERT G JR FEIN: 593443958	F O L D H E R E
BUSINESS NAME AND ADDRESS: ALBERT CICHRA BUILDERS INC 13936 MARINE DRIVE FL 32832 ORLANDO SCOPES OF BUSINESS OR TRA	
LICENSED RESIDENTIAL CARPENTRY NOC CONTRACTR	

DFS-F2-DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 07-12

QUESTIONS? (850)413-1609



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783**

(850) 487-1395

**CICHRA, ALBERT G JR
ALBERT CICHRA BUILDERS INC
13936 MARINE DRIVE
ORLANDO FL 32832**

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION**

CRC058230 ISSUED: 05/29/2014

**CERTIFIED RESIDENTIAL CONTRACTOR
CICHRA, ALBERT G JR
ALBERT CICHRA BUILDERS INC**

**IS CERTIFIED under the provisions of Ch. 489 F.S.
Expiration date : AUG 31, 2016 L1405290002623**

DETACH HERE

RICK SCOTT, GOVERNOR

**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD**

KEN LAWSON, SECRETARY



**LICENSE NUMBER
CRC058230**

**The RESIDENTIAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2016**

**CICHRA, ALBERT G JR
ALBERT CICHRA BUILDERS INC
13936 MARINE DRIVE
ORLANDO FL 32832**

ISSUED: 05/29/2014

RECEIVED AS DECIDED BY IAW

SEQ # 1405290002623

Scott Randolph, Tax Collector Local Business Tax Receipt Orange County, Florida

Local business tax receipt is in addition to and not in lieu of any other tax required by law or municipal ordinance. Businesses are subject to regulation of zoning, health and other authorities. This receipt is valid from October 1 through September 30 of receipt year. Delinquent penalty is added October 1.

ORIGINAL 2013 **EXPIRES 9/30/2014** 1801-0005119
1801 CERTIFIED RESIDENTIAL C \$30.00 1 EMPLOYEE ; 5000 BUSINESS OFFICE \$30.00 2 EMPLOYEE ;

TOTAL TAX \$60.00
PREVIOUSLY PAID \$60.00
TOTAL DUE \$0.00

CICHRA JR ALBERT G

ALBERT CICHRA BUILDERS INC
13936 MARINE DR
ORLANDO FL 32832-6508

13936 MARINE DR (MOBILE)
U - ORLANDO, 32832

PAID: \$60.00 099-00581215 7/11/2013

Scott Randolph, Tax Collector Local Business Tax Receipt Orange County, Florida

Local business tax receipt is in addition to and not in lieu of any other tax required by law or municipal ordinance. Businesses are subject to regulation of zoning, health and other authorities. This receipt is valid from October 1 through September 30 of receipt year. Delinquent penalty is added October 1.

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PREVIOUSLY PAID \$60.00
TOTAL DUE \$0.00



13936 MARINE DR (MOBILE)
U - ORLANDO, 32832

PAID: \$60.00 099-00581215 7/11/2013

This receipt is official when validated by the Tax Collector.

CICHRA JR ALBERT G
ALBERT CICHRA BUILDERS INC
13936 MARINE DR
ORLANDO FL 32832-6508