



City of Belle Isle
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
 Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

PERMIT CARD - PLEASE POST AT JOB SITE

THIS DOCUMENT BECOMES YOUR PERMIT WHEN PROPERLY VALIDATED

Per FBC 105.3.3: An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies." The issuance of this permit does not grant permission to violate any applicable City, Orange County, State of Florida and/or Federal codes and/or ordinances. Separate permits are required for Signs, Roofing, Electrical, Gas, Plumbing and Mechanical services. This permit becomes VOID if the work authorized is not commenced within 6 months, or is suspended or abandoned for a period of 6 months after commencement. WORK SHALL BE CONSIDERED SUSPENDED IF AN APPROVED INSPECTION HAS NOT BEEN MADE WITHIN A 6 MONTH PERIOD. PERMISSION IS GRANTED TO DO THE FOLLOWING WORK ACCORDING TO THE CONDITIONS HEREON AND THE APPROVED PLANS AND SPECIFICATIONS, SUBJECT TO COMPLIANCE WITH THE ORDINANCES OF THE CITY OF BELLE ISLE, FLORIDA.

<p>Scope of Work: BUILDING: Remove windows in living room and replace with French doors</p> <p>Comments: None</p> <p>Project Information Address: 5015 St. Marie Avenue, Belle Isle, FL 32812 Parcel ID: 17-23-30-4378-03-140 Property Owner: Ladd, James Phone Number: 407-517-8002 ***** Company Name: BY OWNER Contractor Name: License Number: Address: Phone Number:</p>	<p style="text-align: center;">Permit Number: 2014-07-041</p> <p>Date of Application: 07/21/2014 Date Permit Issued: 07/30/2014</p> <p>WARNING TO OWNER: "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT." ON THE JOB INSPECTION(S) MUST BE MADE BEFORE PROCEEDING WITH SUBSEQUENT WORK. THIS CARD MUST BE DISPLAYED OUTSIDE AND BE PROTECTED FROM THE WEATHER WHILE BEING VISIBLE FROM THE STREET UNTIL THE FINAL INSPECTIONS HAVE BEEN APPROVED.</p>
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BUILDING FEATURES

<p>IMPACT FEES</p> <p>School \$ Traffic \$</p> <p>ZONING FEES</p> <p>Zoning Fee \$</p> <p>UNIVERSAL ENG - BUILDING FEES</p> <p>Boat Dock \$ Boat House \$ Building \$43.50 Demo \$ Door(s) \$ Driveway \$ Electrical \$ Fence \$ Gas \$ Irrigation \$ Low Voltage \$ Mechanical \$ Plumbing \$ Pool \$ Roofing \$ Screen Encl \$ Shed \$ Temp Pole \$ Window(s) \$</p> <p>SURCHARGE FEES</p> <p>Surcharge Fee \$2.00 Surcharge Fee \$2.00</p> <p style="text-align: right;">TOTAL FEES \$47.50</p> <p>Date Paid <u>7-31-14</u> CC or Check # <u>Visa</u> Amount Paid <u>\$47.50</u></p> <p>The person accepting this permit shall conform to the terms of the application on file and construction shall conform to the requirements of the Florida Building Code (FS 553).</p>	<p style="text-align: center;">BUILDING INSPECTOR USE ONLY</p> <p>IF APPLICABLE: Have Zoning Approval Conditions Been Met? YES NO Have Stormwater Approval Conditions Been Met? YES NO Silt fencing in place? YES NO Turbidity Barrier in place? YES NO</p> <p>€ BUILDING 1st _____ (Footing/Foundation) 2nd _____ (Slab) 3rd _____ (Lintel)(Wall Reinforcing on Masonry Building) 4th _____ (Exterior Framing)(Roof/Wall Sheathing) 5th _____ (Framing) (To be made after Plumbing/ Mechanical/ Electrical Rough-Ins & Windows/Doors Installed) 6th _____ (Insulation to be Made After Roof Installed) 7th _____ (Drywall) 8th _____ (Sidewalk/Driveway) 9th _____ (Other) 10th _____ (Final - After MEP and Other Applicable Finals)</p> <p>€ ROOFING OSHA APPROVED ACCESS MUST BE MADE AVAILABLE TO INSPECTOR 1ST ROOFING Deck Nailing/Dry-in/Flashing _____ 2nd ROOFING Covering In-Progress _____ 3rd ROOFING Covering Final _____</p> <p>€ PLUMBING (Pool-Piping, Solar, Irrigation, Water Treatment Equip, Etc...) € 1st _____ (Underground) 2nd _____ (Sewer) 3rd _____ (Rough-In/Tub Set) 4th _____ (Final)</p> <p>CHECK APPROPRIATE BOX € GAS ___ Natural ___ LP € MECHANICAL € ELECTRICAL € LOW VOLTAGE 1st _____ (Rough-in) 2nd _____ (Final)</p>	<p style="text-align: center;">BUILDING INSPECTOR USE ONLY</p> <p>IF APPLICABLE: Have Zoning Approval Conditions Been Met? YES NO Have Stormwater Approval Conditions Been Met? YES NO Silt fencing in place? YES NO Turbidity Barrier in place? YES NO</p> <p>€ BUILDING 1st _____ (Footing/Foundation) 2nd _____ (Slab) 3rd _____ (Lintel)(Wall Reinforcing on Masonry Building) 4th _____ (Exterior Framing)(Roof/Wall Sheathing) 5th _____ (Framing) (To be made after Plumbing/ Mechanical/ Electrical Rough-Ins & Windows/Doors Installed) 6th _____ (Insulation to be Made After Roof Installed) 7th _____ (Drywall) 8th _____ (Sidewalk/Driveway) 9th _____ (Other) 10th _____ (Final - After MEP and Other Applicable Finals)</p> <p>€ ROOFING OSHA APPROVED ACCESS MUST BE MADE AVAILABLE TO INSPECTOR 1ST ROOFING Deck Nailing/Dry-in/Flashing _____ 2nd ROOFING Covering In-Progress _____ 3rd ROOFING Covering Final _____</p> <p>€ PLUMBING (Pool-Piping, Solar, Irrigation, Water Treatment Equip, Etc...) € 1st _____ (Underground) 2nd _____ (Sewer) 3rd _____ (Rough-In/Tub Set) 4th _____ (Final)</p> <p>CHECK APPROPRIATE BOX € GAS ___ Natural ___ LP € MECHANICAL € ELECTRICAL € LOW VOLTAGE 1st _____ (Rough-in) 2nd _____ (Final)</p>
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Inspection requests are to be emailed to BidScheduling@UniversalEngineering.com; a confirmation email will be sent back to you upon scheduling. Next-Day Inspection requests must be made by 1pm. Please include the following in your request: Permit #, project address, type of inspection, date of the requested inspection, a contact name & a contact phone number. AM or PM may be requested but cannot be guaranteed.

For a copy of your permit, or to check inspection results, please visit <https://universalengineering.sharefile.com/f/fo94edc4-832d-44bd-9809-ecf32f9e2e63>
 login ID = cobi@universalengineering.com password = universal113



City of Belle Isle
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 Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

Received
 7-21-14

Building Permit (Land Use) Application

DATE: July 21, 2014 PERMIT # 2014-07-041
 PROJECT ADDRESS 5015 St. Marie Ave Belle Isle, FL 32809 X 32812
 PROPERTY OWNER James A Ladd PHONE 407-571-8002 VALUE OF WORK (labor & material) \$ 1800.00

PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

Remove windows in L.S. room and replace with French doors.

- Please provide information, if applicable.
- Survey specific foundation plan required to show compliance with zoning setbacks
- **BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- **SEPTIC SYSTEM (RESIDENTIAL):** -- Provide verification of OC Health Dept approval for on-site septic tank system, per FAC Chap. 64E-6
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 17-23-30-4378-03-140

To obtain this information, please visit: <http://www.ocpafi.org/Searches/ParcelSearch.aspx>

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCROACH INTO ANY EASEMENT OR REQUIRED SETBACK. Note, this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

Attached Survey ___ SETS and Construction Plans ___ SETS

PLANNING & ZONING APPROVAL: _____ DATE _____

PLEASE COMPLETE for Building Review
 CONSTRUCTION TYPE _____ Res: _____ Single Fam _____ Multi Fam _____
 OCCUPANCY GROUP _____ Comm _____ #BLDG. _____ #UNITS _____ #STORIES _____ TOTAL SQ.FT. _____
 MAX. FLOOR LOAD _____ MAX. OCCUPANCY _____
 MIN. FLOOR ELEV. _____ LOW FLOOR ELEV. _____
 WATER SERVICE _____ WELL _____ SEPTIC _____

BUILDING REVIEWER Angeliquez DATE 7-30-2014
 VERIFIED CONTRACTOR'S LICENSE & INSURANCE ARE ON FILE N/A DATE _____

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Republic Services is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Republic Services at 407-293-8000 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Republic Services. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC.

Wind Exposure Category: B C D X

SPRINKLERS REQ'D	Y	N
If Required - SUBMIT COPY OF PLANS FOR FIRE REVIEW	Date: Sent	RCD
ZONING	Y	N
CERT OF OCC	Y	N
TRAFFIC	Y	N
SCHOOL	Y	N
FIRE	Y	N
SWIMMING POOL	Y	N
SCREEN ENCLOSURE	Y	N
ROOFING	Y	N
BOAT DOCK	<input checked="" type="checkbox"/>	N
BUILDING	<input checked="" type="checkbox"/>	N
WINDOW(S)	Y	N
DOOR(S)	Y	N
FENCE	Y	N
SHED	Y	N
DRIVEWAY	Y	N
OTHER	Y	N

3% FL SURCHARGE 4.00
 TOTAL 47.50

By Owner Form Y NA
 Notice of Commencement Y NA
 Power of Attorney Y NA
 Contractor Packet Included? Y N

OTHER PERMITS REQUIRED:

ELECTRICAL	Y	NA
PREPOWER	Y	NA
MECHANICAL	Y	NA
PLUMBING	Y	NA
ROOFING	Y	NA
GAS	Y	NA



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Building Permit (Land Use) Application
 To be completed as required by State Statute Section 713 and other applicable sections.

PERMIT # _____

Owner's Name James A Ladd
 Owner's Address 1224 Boyd St George Dickl Orlando FL 32828

Contractor Name	Company Name
License #	Company Address
Contact Phone/Cell	City, State, ZIP
Contact Email <u>Jimladd52@gmail.com</u>	Contact Fax

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations (www.floridabuilding.org) and City Ordinances (www.municode.com) regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable City and/or State of Florida codes and/or ordinances. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for all other construction including ROOFING, ELECTRICAL, MECHANICAL, PLUMBING, GAS, SIGNS, POOLS, SCREEN ENCLOSURES, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner Signature [Signature]
 The foregoing instrument was acknowledged before me this 7/21/14
 by James Ladd who is personally known to me
 and who produced FL DL #L300441-SO-044-0
 as identification and who did not take an oath.
 Notary as to Owner Collina Coast
 State of Florida
 County of Orange



Contractor Signature _____
 COMPANY NAME _____
 The foregoing instrument was acknowledged before me this ___/___/___
 by _____ who is personally known to me
 and who produced _____
 as identification and who did not take an oath.
 Notary as to Owner _____
 State of Florida _____
 County of Orange _____

<p>Impervious Surface Ratio Worksheet</p> <p>Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per City Code, Section 50-74: Impervious Surface Ratio</p> <p>1. Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE). Total Lot Area _____ X 0.35= _____ Allowable Impervious Area (BASE) _____</p> <p>2. Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater. <i>Examples include house, pool, deck, driveway, accessory building, etc</i></p> <ul style="list-style-type: none"> • House _____ • Driveway _____ • Walkway _____ • Accessory Buildings _____ • Pool & Spa _____ • Deck & Patio _____ • Other _____ <p>Actual Impervious Area (AIA) _____</p> <p>3. If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.</p> <p>4. If AIA is greater than BASE, then onsite retention must be provided.</p> <p>Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed</p>
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CITY OF BELLE ISLE
Permit Application Review Sheet

Permit Number	2014-07-041
Property Owner	Ladd
Address	5015 St. Marie Ave
Nature of Improvement	Building
Received Application	7-21-14
Sent for Stormwater Review	
Stormwater Approved	
Sent for Zoning Review	
Zoning Approved	
Applied for Variance	
Variance Approved	
Sent to BO for Review	7-23-14 WO39558
Building Official Approved	7-30-2014
Comments	
1. 7-23-14	NEEDS DOOR'S FLORIDA PRODUCT APPROVAL SHEETS.
2. 7-23-14	req Emailed Angel's comments to Jim w/ form
3. 7-24-14	req need FPA docs; WO39629
4. 7-30-14	req emailed Jim it's ready
5.	
6.	
7.	
8.	
9.	
10.	
11.	
12.	



COBI Permit Fee Calculation Form



Reviewer Signature: AD. Date: 7-23-2014

Permit Type:	<u>Bldg</u>	Job Cost:	<u>\$ 1880-</u>
Permit Fee:	<u>\$ 29-</u>		
Plans Review Fee:	<u>\$ 14.50</u>	(50% of permit fee – excluding ReRoofs)	
1.5% State Fee:	<u>\$ 2.00</u>		
1.5% State Fee:	<u>\$ 2.00</u>		
TOTAL BUILDING FEE:	\$ <u>47.50</u>	(does not include Zoning fees or Deposits)	

Note: Total gets doubled for SWO/AFT permits

$$29 + (29 \times 1) = 58$$

$$58 \times 50\% = 29$$

$$58 + 29 = 87$$



City of Belle Isle

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OWNER BUILDER DISCLOSURE STATEMENT





Per Florida Statue 455.228:

Homeowners hiring unlicensed Contractors may be
subject a fine of up to \$5,000.00!

Before me this day personally appeared Jana A Ladd, who being duly sworn, deposes, and says as follows. "I hereby acknowledge that I have read and fully understand the individual provisions of this instrument."

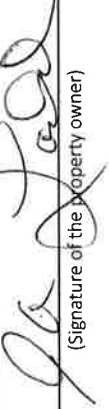
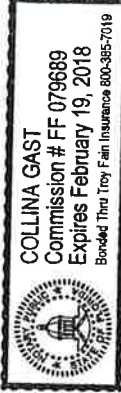
1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license
JAL Initial
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility. JAL Initial
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts. JAL Initial
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000.00. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption. JAL Initial
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction. JAL Initial
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance. JAL Initial
7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit, that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property. JAL Initial
8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk. JAL Initial

Owner Builder Disclosure Statement

9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.
 Initial
10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at (850)487-1395 or www.Call.Center@dbpr.state.fl.us for more information about licensed contractors.
 Initial
11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:
Project Address: 5015 St. Marks Ave, Belle Isle  Initial
12. I agree to notify the City of Belle Isle Building/Zoning Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure.
 Initial

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if any unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit. A copy of the property owner's driver license, the notarized signature of the property owner, or other type of verification acceptable to the local permitting agency is required when the permit is issued.

Signature: 	Print: _____	(Name of the property owner)
Signature: _____	Print: _____	(Name of the property owner)
Owner's Address: _____		
The foregoing instrument was acknowledged before me this <u>7</u> / <u>21</u> / <u>14</u>		
by <u>James Laadd</u> who is personally known to me / who produced the following <u>FL DL #L300-441-So-044-0</u> as identification and who did not take an oath.		
State of Florida / County of <u>Orange</u>	Seal:	
Notary Signature <u>Collina Gast</u>		

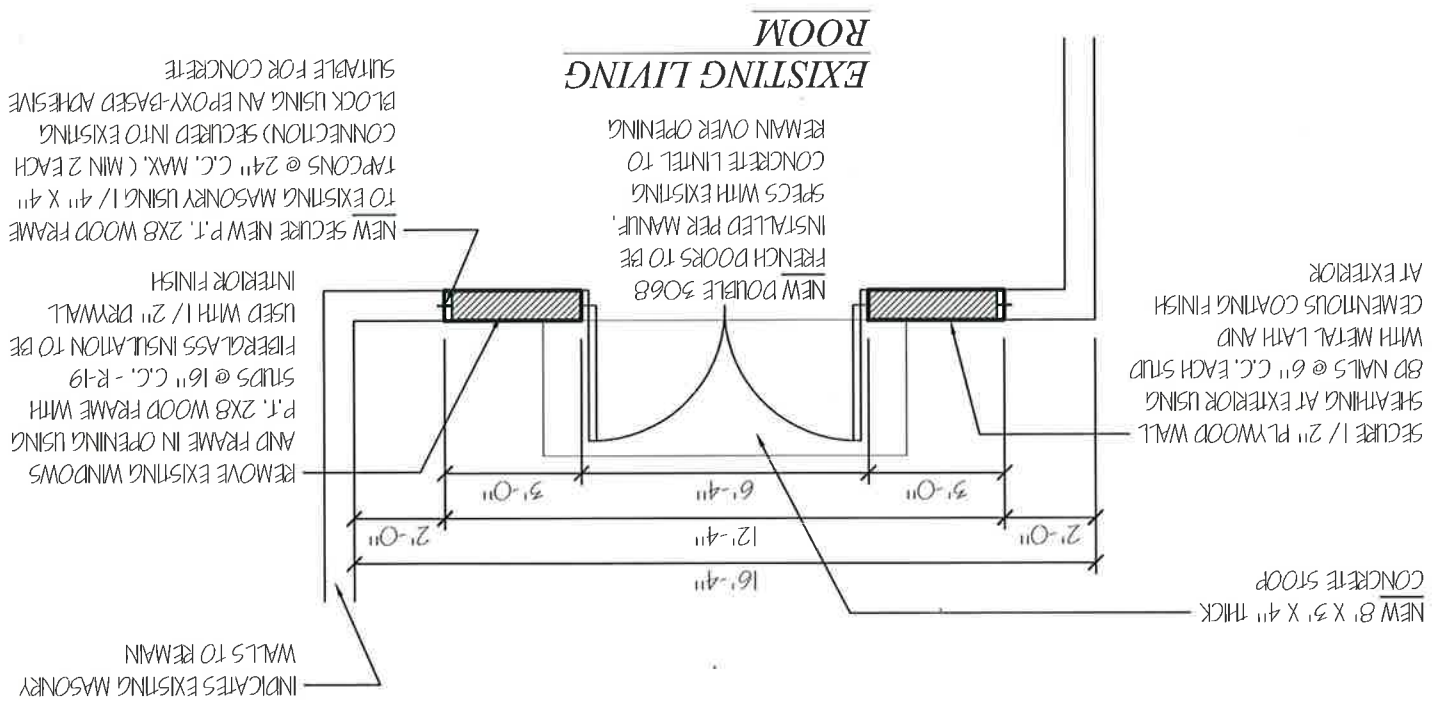
Final Check 8/3/14

<h1 style="font-size: 48px; margin: 0;">2</h1>	Prepared By: J.M.S. Reviewed By: LEONARD G. WOOD P.E. Date: JUNE 2, 2014 Project Number: 14-05-035	<h2 style="margin: 0;">NEW FRENCH DOOR AT EXTERIOR WALL FOR 5015 ST. MARIE AVENUE ORLANDO, FLORIDA 32812</h2>	Structural Engineer / P.E. Lic.# 47377 3704 Burton Road, Plant City, Florida 33565 (863) 430-2717 (C)	DESIGN AS NOTED IS IN COMPLIANCE WITH THE 2010 EXISTING BLDG., RESIDENTIAL AND THE FLORIDA BUILDING CODE CHAPTER 16 (1609) WIND LOAD REQUIREMENTS OF A 140 M.P.H. BASIC WIND SPEED (3-SECOND GUST). NOTE: CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING OF CONSTRUCTION. ACTUAL FIELD MEASUREMENTS MAY VARY FROM THOSE DISPLAYED DUE TO SITE CONDITIONS AND MATERIALS USED.
	J.T. Drafting Service 863-679-3364 830 Blackwood Drive, Lake Wales, Florida © 2013		Leonard G. Wood Structural Engineer / P.E. Lic.# 47377 3704 Burton Road, Plant City, Florida 33565 (863) 430-2717 (C)	



Floor Plan

1/4" = 1'-0"

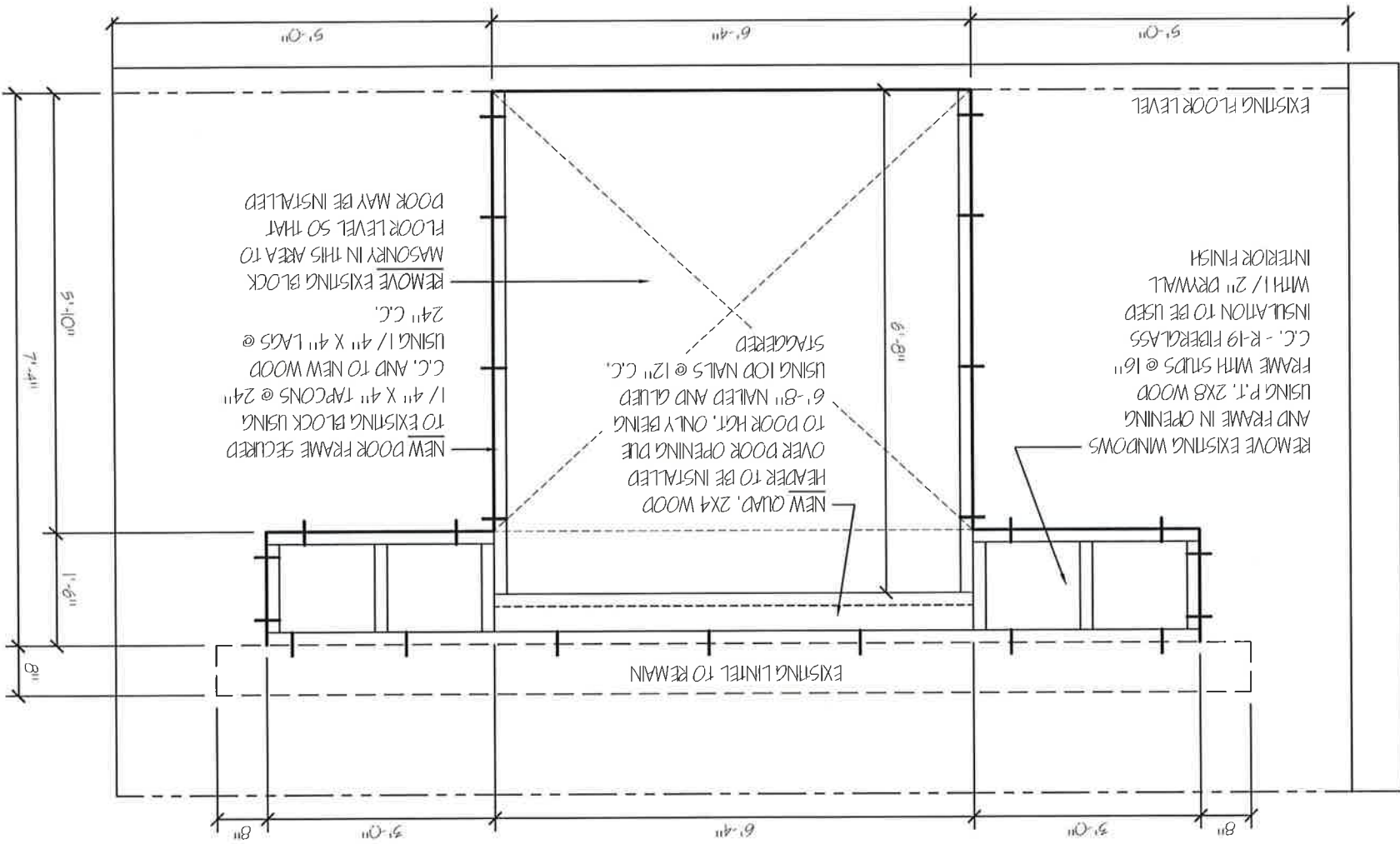


3	Sheet	Prepared By: J.M.S.	Leonard G. Wood Structural Engineer / P.E. Lic.# 47377 3704 Bruton Road, Plant City, Florida 33565 (863) 430-2717 (C)	NEW FRENCH DOOR AT EXTERIOR WALL FOR 5015 ST. MARIE AVENUE ORLANDO, FLORIDA 32812	Date: JUNE 2, 2014	Project Number: 14-05-035
	Reviewed By: LEONARD G. WOOD P.E.	Project Number: 14-05-035			J.T. Drafting Service 863-679-3364 830 Blackwood Drive, Lake Wales, Florida © 2013	NOTE: CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING OF CONSTRUCTION. ACTUAL FIELD MEASUREMENTS MAY VARY FROM THOSE DISPLAYED DUE TO SITE CONDITIONS AND MATERIALS USED.
		DESIGN AS NOTED IS IN COMPLIANCE WITH THE 2010 EXISTING BLDG., RESIDENTIAL AND THE FLORIDA BUILDING CODE CHAPTER 16 (1609) WIND LOAD REQUIREMENTS OF A 140 M.P.H. BASIC WIND SPEED (3-SECOND GUST).				

New Blvd 6/3/14

Typical Wall Elevation

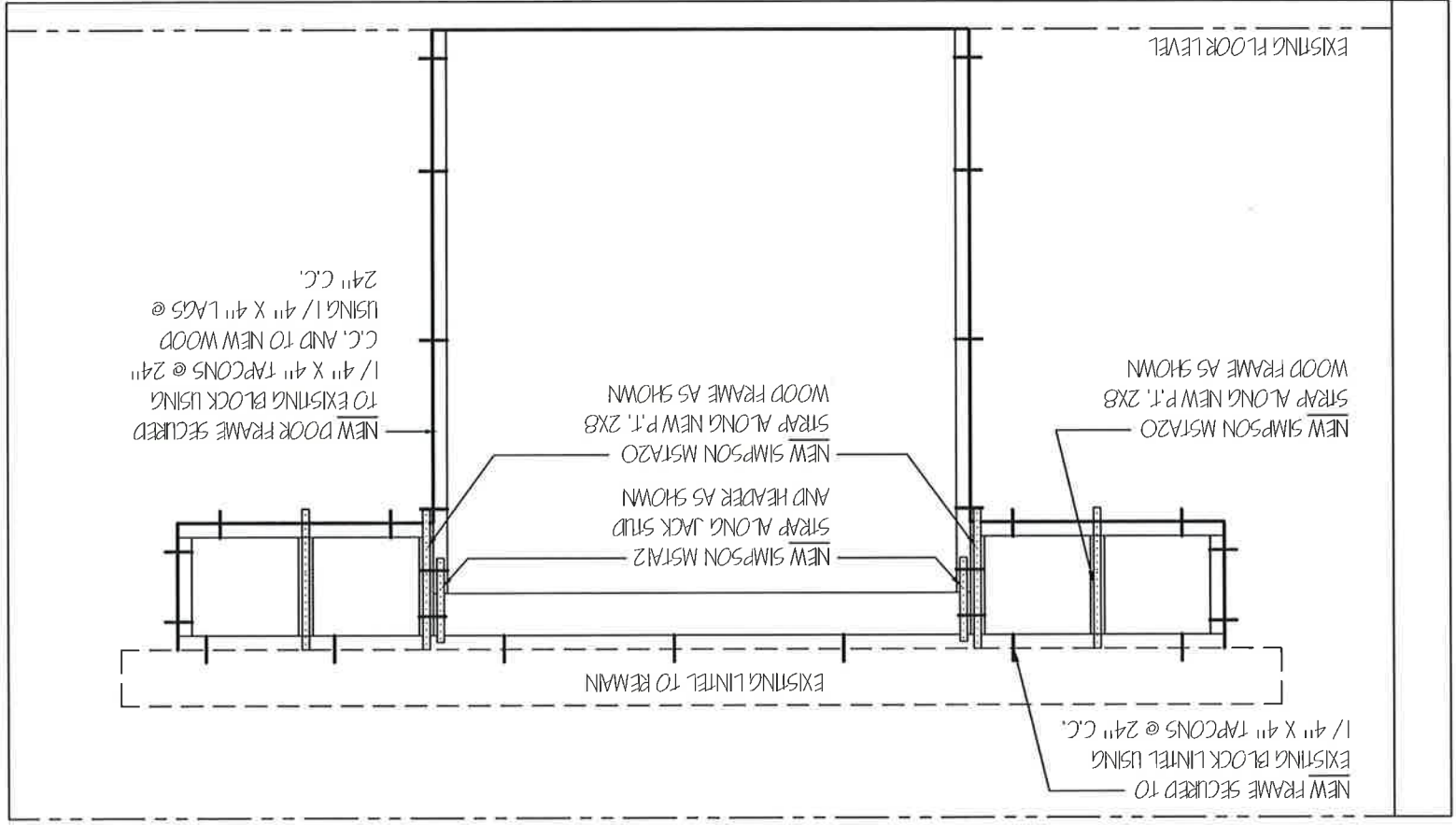
1/2" = 1'-0"



4	Project Number: 14-05-035	NEW FRENCH DOOR AT EXTERIOR WALL FOR 5015 ST. MARIE AVENUE ORLANDO, FLORIDA 32812	Leonard G. Wood Structural Engineer / P.E. Lic.# 47377 3704 Bruton Road, Plant City, Florida 33565 (863) 430-2717 (C) J.T. Drafting Service 863-679-3364 830 Blackwood Drive, Lake Wales, Florida © 2013	DESIGN AS NOTED IS IN COMPLIANCE WITH THE 2010 EXISTING BLDG., RESIDENTIAL AND THE FLORIDA BUILDING CODE CHAPTER 16 (1609) WIND LOAD REQUIREMENTS OF A 140 M.P.H. BASIC WIND SPEED (3-SECOND GUST). NOTE: CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING OF CONSTRUCTION. ACTUAL FIELD MEASUREMENTS MAY VARY FROM THOSE DISPLAYED DUE TO SITE CONDITIONS AND MATERIALS USED.
	Prepared By: LWS. Reviewed By: LEONARD G. WOOD P.E. Date: JUNE 2, 2014			

Kurd Alwadi 6/3/14

Typical Wall Frame Anchoring Detail
1/2" = 1'-0"



Revised 6/13/14

	Prepared By: J.W.S.	Leonard G. Wood Structural Engineer / P.E. Lic.# 47377 3704 Britton Road, Plant City, Florida 33565 (863) 430-2717 (C)	J.T. Drafting Service 863-679-3364 830 Blackwood Drive, Lake Wales, Florida © 2013
	Reviewed By: LEONARD G. WOOD P.E.		
Project Number: 14-05-035	Date: JUNE 2, 2014	5015 ST. MARIE AVENUE ORLANDO, FLORIDA 32812	
NEW FRENCH DOOR AT EXTERIOR WALL FOR			

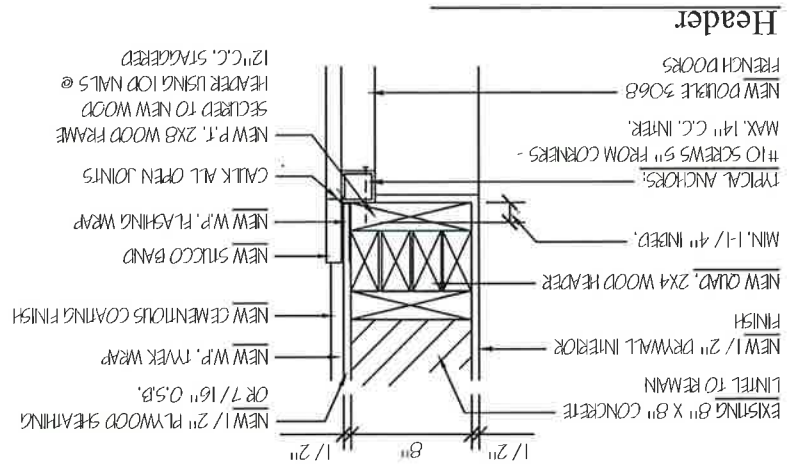
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NOTE: CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING OF CONSTRUCTION. ACTUAL FIELD MEASUREMENTS MAY VARY FROM THOSE DISPLAYED DUE TO SITE CONDITIONS AND MATERIALS USED.



Exterior Door Opening Detail

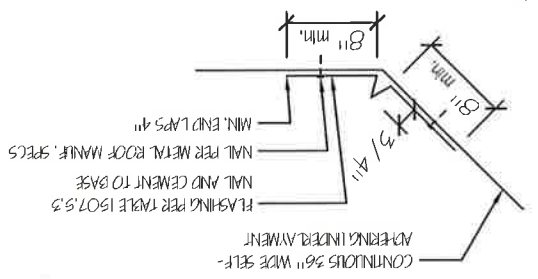
1" = 1'-0"



*Metal Flashing Detail

(PER SPEC. #1507.7.6.6 FLASHING - VERIFY WITH METAL ROOF MANUFACTURERS)

N.T.S.





DESIGN AS NOTED IS IN COMPLIANCE WITH THE 2010 EXISTING BLDG, RESIDENTIAL AND THE FLORIDA BUILDING CODE CHAPTER 16 (1609) WIND LOAD REQUIREMENTS OF A 140 M.P.H. BASIC WIND SPEED (3-SECOND GUST).
 NOTE: CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING OF CONSTRUCTION. ACTUAL FIELD MEASUREMENTS MAY VARY FROM THOSE DISPLAYED DUE TO SITE CONDITIONS AND MATERIALS USED.

Leonard G. Wood
 Structural Engineer / P.E. Lic.# 47377
 3704 Britton Road, Plant City, Florida 33565 (863) 430-2717 (C)
 J.T. Drafting Service 863-679-3364
 830 Blackwood Drive, Lake Wales, Florida © 2013

**NEW FRENCH DOOR AT EXTERIOR WALL FOR
 5015 ST. MARIE AVENUE
 ORLANDO, FLORIDA 32812**

Prepared By: J.W.S.
 Reviewed By: LEONARD G. WOOD P.E.
 Date: JUNE 2, 2014
 Project Number: 14-05-035

6

Sheet

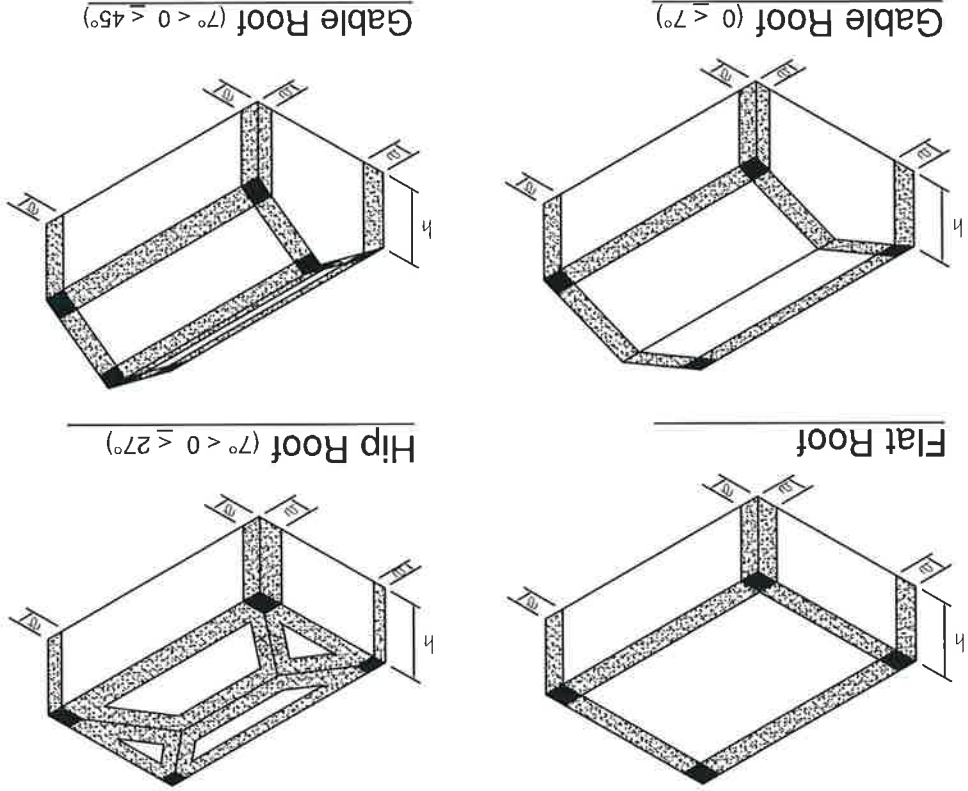
Window & Door Design Internal Pressure Coefficient			
PER TABLE R301.2(2)			
WINDOW SIZES	ZONE 4	ZONE 5	NOTES
H33 SH (25-3/4" Width x 37-3/5" Height)	+ 35.3 - 38.2	+ 35.3 - 47.2	Less Than 10 Sq. Ft. of Glass
H34 SH (25-3/4" Width x 49-7/8" Height)	+ 35.3 - 38.2	+ 35.3 - 47.2	Less Than 10 Sq. Ft. of Glass
H35 SH (25-3/4" Width x 62-1/4" Height)	+ 33.7 - 36.7	+ 33.7 - 44.0	Less Than 20 Sq. Ft. of Glass
23 SH (36-1/4" Width x 37-5/8" Height)	+ 33.7 - 36.7	+ 33.7 - 44.0	Less Than 20 Sq. Ft. of Glass
24 SH (36-1/4" Width x 49-7/8" Height)	+ 33.7 - 36.7	+ 33.7 - 44.0	Less Than 20 Sq. Ft. of Glass
25 SH (36-1/4" Width x 62-1/4" Height)	+ 33.7 - 36.7	+ 33.7 - 44.0	Less Than 20 Sq. Ft. of Glass
26 SH (36-1/4" Width x 75-1/4" Height)	+ 31.6 - 34.6	+ 31.6 - 39.8	Less Than 50 Sq. Ft. of Glass
33 SH (52-3/8" Width x 37-3/5" Height)	+ 31.6 - 34.6	+ 31.6 - 39.8	Less Than 50 Sq. Ft. of Glass
34 SH (52-3/8" Width x 49-7/8" Height)	+ 31.6 - 34.6	+ 31.6 - 39.8	Less Than 50 Sq. Ft. of Glass
35 SH (52-3/8" Width x 62-1/4" Height)	+ 31.6 - 34.6	+ 31.6 - 39.8	Less Than 50 Sq. Ft. of Glass
36 SH (52-3/8" Width x 75-1/4" Height)	+ 31.6 - 34.6	+ 31.6 - 39.8	Less Than 50 Sq. Ft. of Glass
DOOR SIZES	ZONE 4	ZONE 5	NOTES
2868 Swing Door	+ 31.6 - 34.6	+ 31.6 - 39.8	Less Than 50 Sq. Ft.
3068 Swing Door	+ 31.6 - 34.6	+ 31.6 - 39.8	Less Than 50 Sq. Ft.
10' Wide x 7' Height Garage Door	+ 30.0 - 33.0	+ 30.0 - 36.7	Less Than 100 Sq. Ft.
10' Wide x 8' Height Garage Door	+ 30.0 - 33.0	+ 30.0 - 36.7	Less Than 100 Sq. Ft.
16' Wide x 7' Height Garage Door	+ 26.3 - 29.3	+ 26.3 - 29.3	More Than 100 Sq. Ft.
16' Wide x 8' Height Garage Door	+ 26.3 - 29.3	+ 26.3 - 29.3	More Than 100 Sq. Ft.
<p>NOTE: SIZES OF WINDOWS NOTED ABOVE ARE PER PGT INDUSTRIES, OTHER MANUFACTURERS TO SUBMIT DATA OF EQUAL OR BETTER QUALIFICATIONS.</p> <p>NOTE: THIS DESIGN MEETS REQUIREMENTS FOR WINDOW AND DOOR PRESSURES BASED ON WORSE CASE DWP 50.2 LBS/50. FT. PER TABLE 1609.6.2(1)</p>			

Revised 6/3/14



Component and Cladding Pressure Zones

- Interior Zones
- End Zones
- Roofs - Zone 1/Walls - Zone 4
- Roofs - Zone 2/Walls - Zone 5
- Corner Zones



140 M.P.H. Basic Wind Speed
(3 - second gust)

1. Risk Category - II Ref. 1604.5
2. Residential Building Classification - R-3 - Ref. 310.1
3. Exposure Category - C Ref. 1609.4
4. Type of Construction - V-B - Ref. 602
5. Mean height = 20'-0"
6. Design as noted is in compliance with the 2010 Residential and 2010 Florida building Code (With latest revisions) Chapter 16 Wind Load Requirements of 140 m.p.h. basic wind speed (3 second gust). Doors must meet all required pressures combined (Negative & Positive)
7. Mullions must meet 1.5 times design pressure
8. Windows must meet all required pressures combined (Negative & Positive)
9. Windows must meet all required pressures combined
10. Exposure Category to be verified by contractor in the field.



DESIGN AS NOTED IS IN COMPLIANCE WITH THE 2010 EXISTING BLDG. RESIDENTIAL AND THE FLORIDA BUILDING CODE CHAPTER 16 (1609) WIND LOAD REQUIREMENTS OF A 140 M.P.H. BASIC WIND SPEED (3-SECOND GUST).

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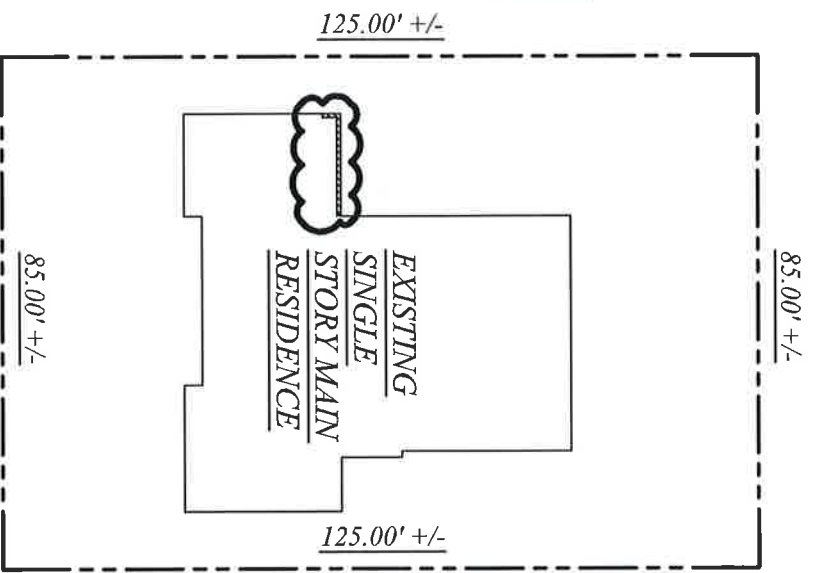
Leonard G. Wood
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Date: JUNE 2, 2014
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Sheet **8**



ST. MARIE AVE.

Site Plan N:1/5,

NOTES!

1. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS IN THE FIELD.
2. ACTUAL LOCATION OF RESIDENCE TO BE DONE IN FIELD.
3. THIS SITE PLAN IS NOT ACTUAL SITE PLAN. ACTUAL SITE PLAN TO BE PROVIDED BY OWNER OR FLORIDA REGISTERED LAND SURVEYING COMPANY.

Legal Description:

LAKE CONWAY ESTATES
SECTION ONE X/37 LOT 14
BLOCK C

PARCEL ID:
17-23-30-4378-03-140



City of Belle Isle
 Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
 Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com



Product Approval Form

DATE: 7/24/2014 PERMIT # _____
 PROJECT ADDRESS: 5015 St. Marie Ave Belle Isle, FL 32809 32812

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72m, please provide the information and approval numbers of the building components listed below if they will be utilized on the building or structures. FL Approved products are listed online at www.floridabuilding.org or can be obtained from the local product supplier. This following information must be turned in with permit application and available onsite for inspections;

1. This Product Approval Cover Sheet
2. Internet screen from FloridaBuilding.org showing PAS, approval and code edition stamped
3. Manufacturer's ~~listing~~ details from FloridaBuilding.org and requirements for each product stamped

Product Type	Manufacturer	Model/Serial	FL Product Approval #	Product Type	Manufacturer	Model/Serial	FL Product Approval #
EXTERIOR DOORS							
Swinging	Reliable	289768	FL 11646	Sliding			
Sliding			01A4	Soffits			
Sectional/Rollup				Storefront			
Other				Glass Block			
				Other			
WINDOWS							
Single/Dbl Hung				Asphalt Shingles			
Horizontal Slider				Non Struct Metal			
Casement				Roofing Tiles			
Fixed				Single Ply Roof			
Mullion				Other			
Skylights							
Other							
ROOFING PRODUCTS							
STRUCTURAL COMPONENTS							
Wood Connectors				OTHER			
Wood Anchors							
Truss Plates							
Insulation Forms							
Lintels							
Other							

It is the applicant's responsibility to verify that specific products have been installed in accordance with their limitations and with the minimum required design pressures for the structure. Specific compliance will be verified during field inspections.

Applicant Signature: [Signature] Date: 7/24/2014



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Product Approval
USER: Public User

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OFFICE OF THE SECRETARY

FL #

Application Type
Code Version
Application Status

FL11646-R4
Revision
2010
Approved

*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.

Comments
Archived

Product Manufacturer
Address/Phone/Email

Atrium Companies Inc.
9001 Ambassador Row
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Authorized Signature

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Quality Assurance Representative
Address/Phone/Email

Jim Puckett
9001 Ambassador Row
Dallas, TX 75247
(214) 637-2696
jim.puckett@atrium.com



Category
Subcategory

Exterior Doors
Sliding Exterior Door Assemblies

Compliance Method

Certification Mark or Listing

Certification Agency
Validated By

American Architectural Manufacturers Association
American Architectural Manufacturers Association

Referenced Standard and Year (of Standard)

Standard	Year
AAMA/WDMA/CSA 101/I.S. 2/A440	2005
ASTM E1886	2005
ASTM E1996	2006

Equivalence of Product Standards
Certified By

Product Approval Method

Method 1 Option A

Date Submitted 12/19/2011
 Date Validated 03/08/2012
 Date Pending FBC Approval 03/14/2012
 Date Approved 11/13/2013
 Date Revised

Summary of Products

FL #	Model, Number or Name	Description
11646.1	311/312/378 Sliding Glass Door	SGD-R25 95 x 80 (311/312), SGD-R25 71 x 96 (311/312), SD-R35 71 x 80 (311/312) SGD-R35 72 x 82 (378) Certification Agency Certificate FL11646_R4_C_CAC_ADW-08_311_312_SD_25_95x80_AAMA_APC_94621.01-801-47.pdf FL11646_R4_C_CAC_ADW-08_311_312_SD_R25_71x96_AAMA_APC_94621.01-801-47.pdf FL11646_R4_C_CAC_ADW-08_311_312_SD_R35_71x80_AAMA_APC_94621.01-801-47.pdf FL11646_R4_C_CAC_ADW-08_311_312_SD_R35_71x80_AAMA_APC_94621.02-801-47-r0.pdf Quality Assurance Contract Expiration Date 09/17/2013 Installation Instructions FL11646_R4_IL_ADW-08_311_312_378_SD_Installation_ATR023-2010.pdf Verified By: Alexis Spyrou 68101 Created by Independent Third Party: Yes Evaluation Reports FL11646_R4_AE_ADW-08_311_312_378_SD_PER_1583-2010.pdf Created by Independent Third Party: Yes
11646.2	332/388 Sliding Glass Door	SD-R40 72 x 96 (388), SD-R50 72 x 82 (388) SD-R50 72 x 96 (332), SD-R50 96 x 80 (332) Certification Agency Certificate FL11646_R4_C_CAC_ADW-08_332_SD_R50_96x80_AAMA_APC_A3068.01-801-47-r0.pdf FL11646_R4_C_CAC_ADW-08_332_SD_XO_SD-R50_72x96_AAMA_APC_A7531.01-801-47-r0.pdf FL11646_R4_C_CAC_ADW-08_388_SD-R40_72x96_AAMA_APC_97391.01-801-47-r0.1.pdf FL11646_R4_C_CAC_ADW-08_388_SD-R50_72x82_AAMA_APC_97391.01-801-47-r0.1.pdf Quality Assurance Contract Expiration Date 02/24/2014 Installation Instructions FL11646_R4_IL_ADW-08_332_388_SD_Installation_ATR0025-2010_cert.pdf Verified By: Alexis Spyrou 68101 Created by Independent Third Party: Yes Evaluation Reports FL11646_R4_AE_ADW-08_332_388_SD_PER_1581-2010_cert.pdf Created by Independent Third Party: Yes
11646.3	352 Sliding Glass Door, Non-Impact	SD-C60 96 x 96 Certification Agency Certificate FL11646_R4_C_CAC_ADW-01_352_SD_C60_96x96_Non_Impact_AAMA_101_APC_A7352.01-801-47-R0.pdf Quality Assurance Contract Expiration Date 02/04/2015 Installation Instructions FL11646_R4_IL_ADW-01_352_2352_SD_Non-Impact_Installation_ATR027-2010.pdf Verified By: Alexis Spyrou 68101 Created by Independent Third Party: Yes Evaluation Reports FL11646_R4_AE_ADW-01_352_2352_Non_Impact_SD_PER_1582-2010.pdf Created by Independent Third Party: Yes
11646.4	352/2352 Sliding Glass Door, Impact	SD-C60 96 x 96 Certification Agency Certificate FL11646_R4_C_CAC_ADW-01_352_2352_SD_C60_96x96_Impact_AAMA_506_APC_A8319.01-801-18.pdf Quality Assurance Contract Expiration Date 02/04/2015 Installation Instructions

FL11646_R4_II_ADW-01_2352_Impact_Finless_Installation.pdf FL11646_R4_II_ADW-01_352_Impact_Fin_Installation.pdf Verified By: American Architectural Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:	
11646.5	6400/8400 Acoustical SGD
SD-LC25 87 x 83, SD-R25 96 x 96, SD-R40 96 x 80, SD-R40 72 x96	
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: N/A Other:	
Certification Agency Certificate FL11646_R4_C_CAC_ADW-07_6400_8400_SD_Certification Docs.pdf Quality Assurance Contract Expiration Date 04/30/2014 Installation Instructions FL11646_R4_II_ADW-07_6400_8400_SD_Installation-FIN.pdf Verified By: American Architectural Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:	

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Product Approval Accepts:



ATRIUM COMPANIES, INC.

311/312/378 SLIDING GLASS DOOR (NON-IMPACT)

INSTALLATION NOTES:

1. ONE (1) INSTALLATION ANCHORS ARE REQUIRED AT EACH ANCHOR LOCATION SHOWN.
2. THE NUMBER OF INSTALLATION ANCHORS DEPICTED IS THE MINIMUM NUMBER OF ANCHORS TO BE USED FOR PRODUCT INSTALLATION.
3. INSTALL INDIVIDUAL INSTALLATION ANCHORS WITHIN A TOLERANCE OF ±1/2 INCH OF THE DEPICTED LOCATION IN THE ANCHOR LAYOUT DETAIL (I.E., WITHOUT CONSIDERATION OF TOLERANCES). TOLERANCES ARE NOT CUMULATIVE FROM ONE INSTALLATION ANCHOR TO THE NEXT.
4. SHIM AS REQUIRED AT EACH INSTALLATION ANCHOR WITH LOAD BEARING SHIM(S). MAXIMUM ALLOWABLE SHIM STACK TO BE 1/4 INCH. SHIM WHERE SPACE OF 1/16 INCH OR GREATER OCCURS SHIM(S) SHALL BE CONSTRUCTED OF HIGH DENSITY PLASTIC OR BETTER.
5. FOR INSTALLATION INTO WOOD FRAMING USE #8 WOOD SCREWS OF SUFFICIENT LENGTH TO ACHIEVE 1 1/2 INCH MINIMUM EMBEDMENT INTO WOOD SUBSTRATE.
6. FOR INSTALLATION THROUGH 1X BUCK TO CONCRETE/MASONRY, OR DIRECTLY INTO CONCRETE/MASONRY, USE 3/16 INCH DIAMETER ITW TAPCON OF SUFFICIENT LENGTH TO ACHIEVE 1 1/4 INCH MINIMUM EMBEDMENT.
7. FOR INSTALLATION THROUGH STEEL STUD USE #8 SELF-TAPPING SCREWS OF SUFFICIENT LENGTH TO ACHIEVE 3 THREADS MINIMUM PENETRATION BEYOND STEEL STRUCTURE.
8. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDE WALL FINISHES, INCLUDING BUT NOT LIMITED TO STUCCO, FOAM, BRICK VENEER, AND SIDING.
9. INSTALLATION ANCHORS AND ASSOCIATED HARDWARE MUST BE MADE OF CORROSION RESISTANT MATERIAL OR HAVE A CORROSION RESISTANT COATING.
10. FOR HOLLOW BLOCK AND GROUT FILLED BLOCK, DO NOT INSTALL INSTALLATION ANCHORS INTO MORTAR JOINTS. EDGE DISTANCE IS MEASURED FROM FREE EDGE OF BLOCK OR EDGE OF MORTAR JOINT INTO FACE SHELL OF BLOCK.
11. INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BY THE ANCHOR MANUFACTURER.
12. INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIALS WITH THE FOLLOWING PROPERTIES:
 - A. WOOD - MINIMUM SPECIFIC GRAVITY OF 0.42.
 - B. CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 2700 PSI.
 - C. MASONRY - STRENGTH CONFORMANCE TO ASTM C-90, GRADE N, TYPE 1 (OR GREATER).
 - D. STEEL - MINIMUM YIELD STRENGTH OF 33 KSI. MINIMUM WALL THICKNESS OF 33 MILS. (20 GAUGE)

GENERAL NOTES:

1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE 2007 & 2010 FLORIDA BUILDING CODE (FBC) AND THE 2009 IRC/IBC, EXCLUDING HVHZ AND HAS BEEN EVALUATED ACCORDING TO THE FOLLOWING:
 - AAMA/WDMA/CSA 101/1.5.2/A440-05
2. ADEQUACY OF THE EXISTING STRUCTURAL CONCRETE/MASONRY, STEEL STUD, AND 2X FRAMING AS A MAIN WIND FORCE RESISTING SYSTEM CAPABLE OF WITHSTANDING AND TRANSFERRING APPLIED PRODUCT LOADS TO THE FOUNDATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
3. 1X AND 2X BUCKS (WHEN USED) SHALL BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO THE STRUCTURE. BUCK DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
4. THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.
5. APPROVED IMPACT PROTECTIVE SYSTEM IS REQUIRED ON THIS PRODUCT IN AREAS REQUIRING IMPACT RESISTANCE.
6. WINDOW FRAME MATERIAL: WHITE OR BEIGE VINYL
7. GLASS MEETS THE REQUIREMENTS OF ASTM E 1300-04 GLASS CHARTS. SEE SHEET 5 FOR GLAZING DETAIL.

TABLE OF CONTENTS		
SHEET	REVISION	SHEET DESCRIPTION
1	A	INSTALLATION & GENERAL NOTES
2	A	ELEVATIONS & ANCHOR LAYOUTS
3	A	ELEVATIONS & ANCHOR LAYOUTS
4	A	VERTICAL SECTIONS
5	A	HORIZONTAL SECTIONS & GLAZING DETAIL
6	A	COMPONENTS & BILL OF MATERIALS

DESIGN PRESSURE RATING		
SIZE	DESIGN PRESSURE	MISSILE IMPACT RATING
94.50" X 79.50"	+25.0 / -25.0 PSF	NOT RATED
70.75" X 95.50"	+25.0 / -25.0 PSF	
70.75" X 79.50"	+35.0 / -35.0 PSF	
72" X 82"	+35.0 / -35.0 PSF	

ALEX SPYROU
2012.01.22 10:26:42 -05'00'



9001 AMBASSADOR ROW
DALLAS, TEXAS 75247
PH: (214) 637-2696 FX: (214) 424-6734

TITLE: 311/312/378 SLIDING GLASS DOOR INSTALLATION & GENERAL NOTES
PREPARED BY: ATRIUM BUILDING DROPS 127 W. FAIRBANKS AVE., STE. 438 WINTER PARK, FL 32789
PH: (407) 644-6987 FX: (407) 644-2366

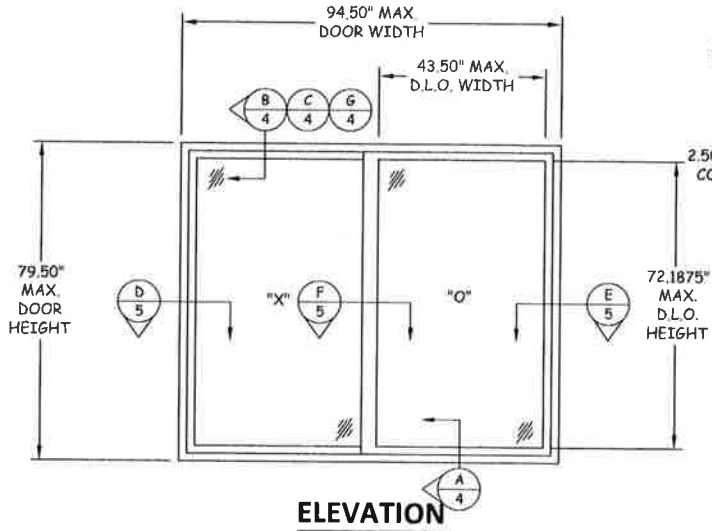
REVISIONS	DESCRIPTION	BY	DATE
	FBC 2010 CODE CHANGE		JLA



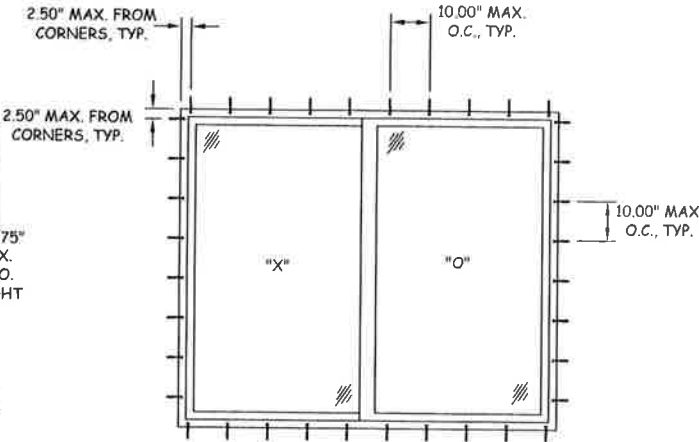
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DWN BY: MSS
CHK BY: HFN
SCALE: NTS

DWG #: **ATRO23**
SHEET: 1 OF 6

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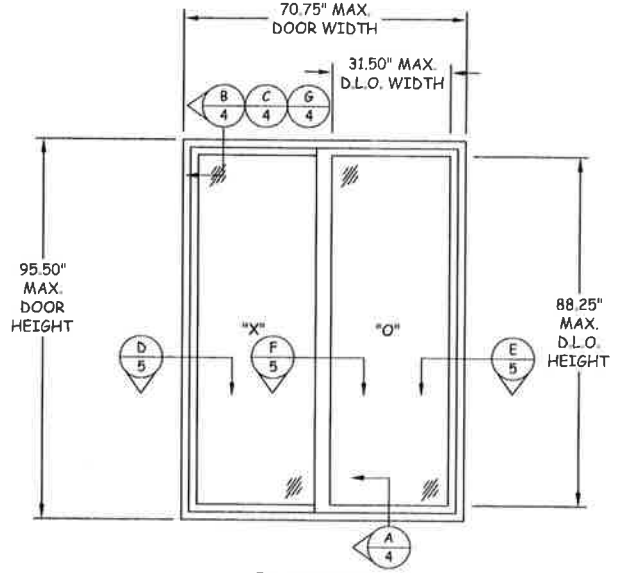


ELEVATION

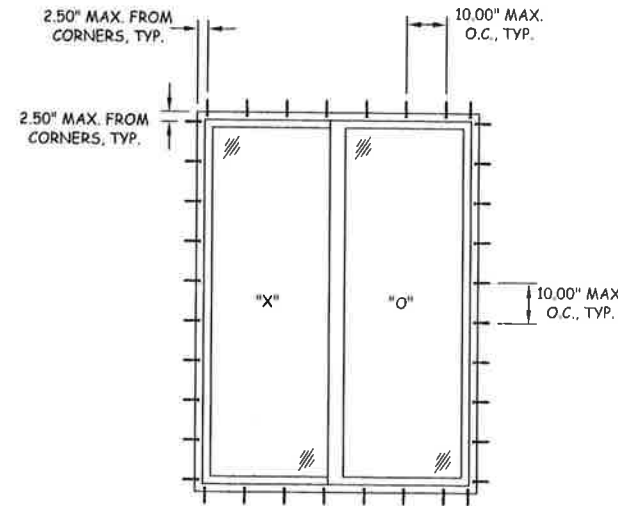


ANCHOR LAYOUT

DP: +/- 25 PSF



ELEVATION



ANCHOR LAYOUT

DP: +/- 25 PSF



9001 AMBASSADOR ROW
DALLAS, TEXAS 75247
PH: (214) 637-2696 FX: (214) 424-6734

TITLE: 311/312/378
SLIDING GLASS DOOR
ELEVATIONS &
ANCHOR LAYOUTS
PREPARED BY:
BUILDING DROPS
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
PH (407) 644-6957 FX (407) 644-2366

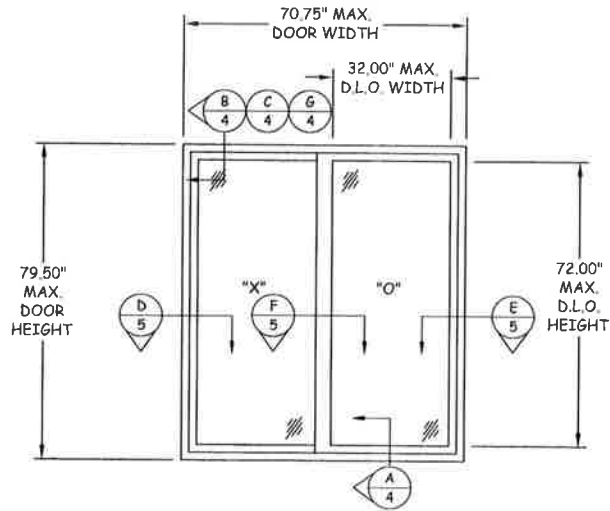
REVISIONS	BY	DATE
		JLA



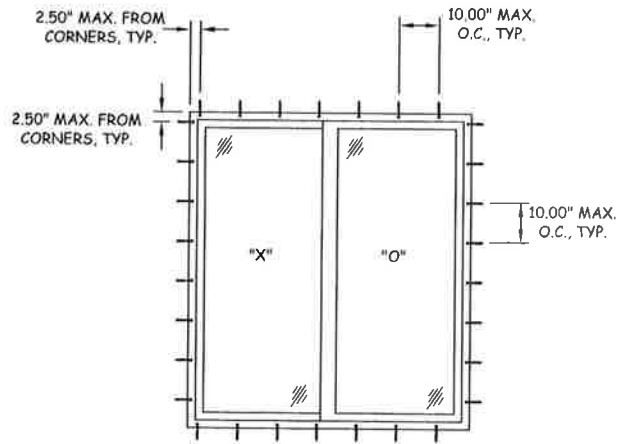
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DWN BY: MSS
CHK BY: HFN
SCALE: NTS

DWG #: **ATRO23**
SHEET: **2 OF 6**

P:\projects\external\company\ac\1115-1010 door change\dwg\11151010.dwg 12/23/10 10:21:30 AM

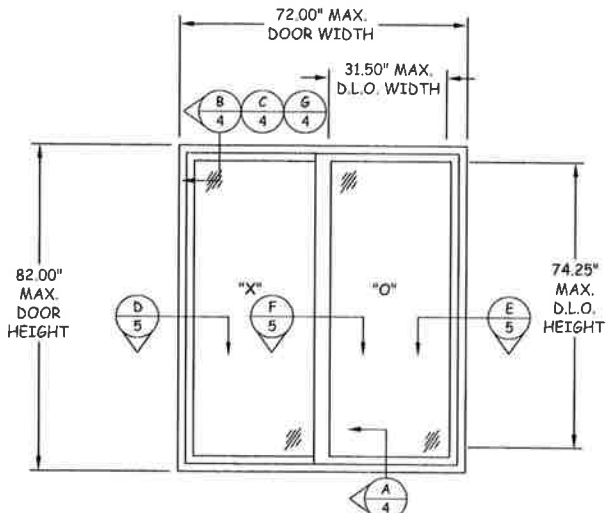


ELEVATION

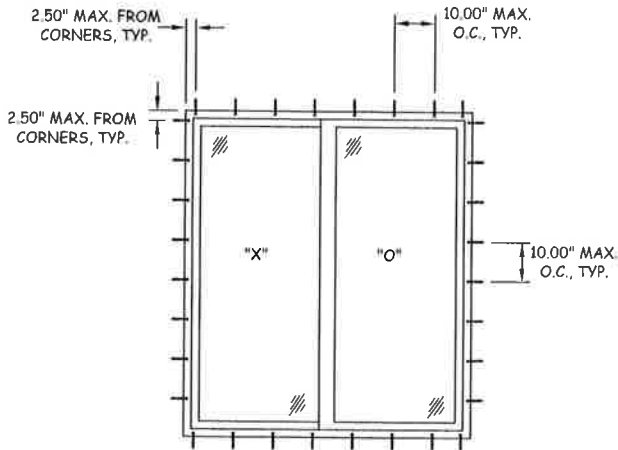


ANCHOR LAYOUT

DP: +/- 35 PSF



ELEVATION



ANCHOR LAYOUT

DP: +/- 35 PSF



9001 AMBASSADOR ROW
DALLAS, TEXAS 75247
PH: (214) 637-2696 FX: (214) 424-6734

TITLE: 311/312/378
SLIDING GLASS DOOR
ELEVATIONS &
ANCHOR LAYOUTS
PREPARED BY:
BUILDING DROPS
127 W. FAIRBANKS AVE. SITE 438
WINTER PARK, FL 32789
PH: (407) 644-6927 FX: (407) 644-2366

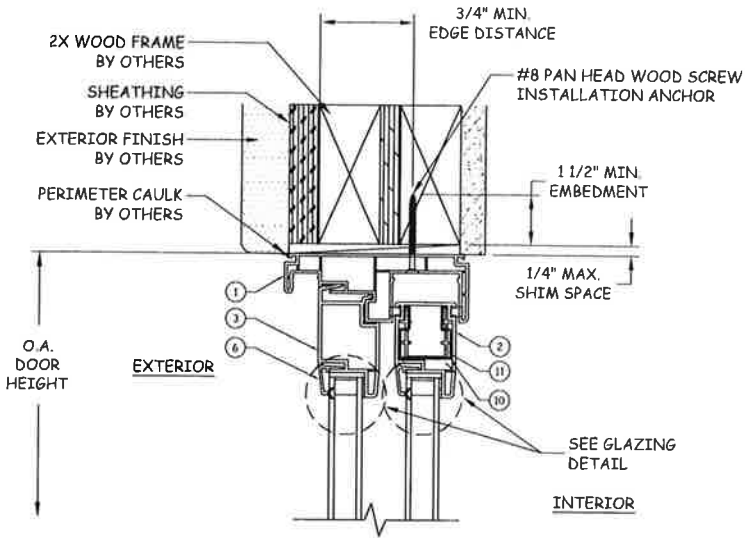
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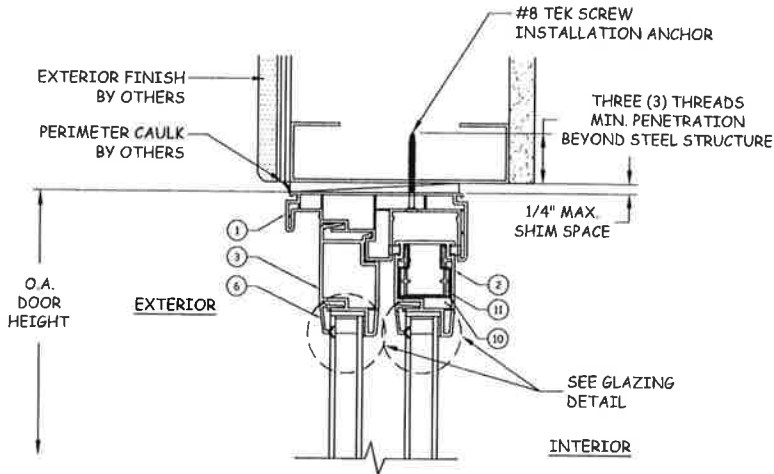
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CHK BY: HFN
SCALE: NTS

DWG #: **ATRO23**
SHEET: **3 OF 6**

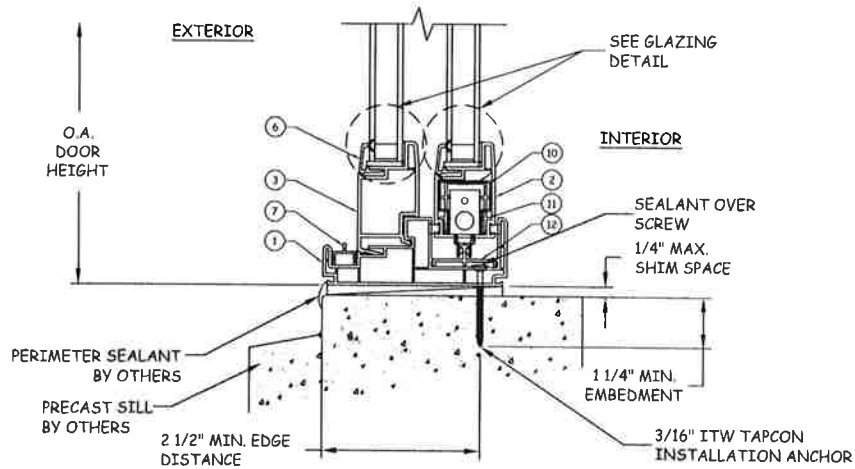
A:\projects\sliding glass doors\sliding glass doors.dwg (12/14/11) - 3/2/12 by dms
 12/14/11 11:55:00 Job: Sliding Glass Doors (12/14/11) - 3/2/12 by dms



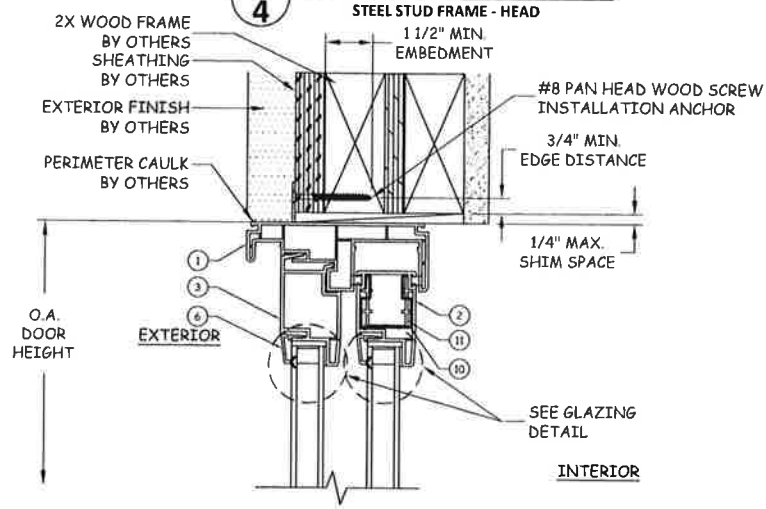
B
4 VERTICAL SECTION
2X WOOD FRAME - HEAD



C
4 VERTICAL SECTION
STEEL STUD FRAME - HEAD



A
4 VERTICAL SECTION
CONCRETE - SILL



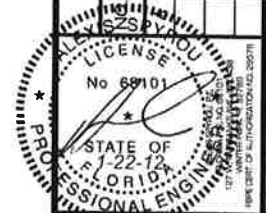
G
4 VERTICAL SECTION
2X WOOD FRAME - HEAD
ALTERNATE FIN INSTALLATION (TYP.)



9001 AMBASSADOR ROW
 DALLAS, TEXAS 75247
 PH: (214) 637-2696 FX: (214) 424-6734

TITLE: 311/312/378
 SLIDING GLASS DOOR
 VERTICAL SECTIONS
 PREPARED BY:
 BUILDING DROPS
 127 W. FAIRBANKS AVE., STE. 438
 WINTER PARK, FL 32789
 PH: (407) 644-6997 FX: (407) 644-2366

REVISIONS	BY	DATE
		JLA
DESCRIPTION	FBC 2010 CODE CHANGE	

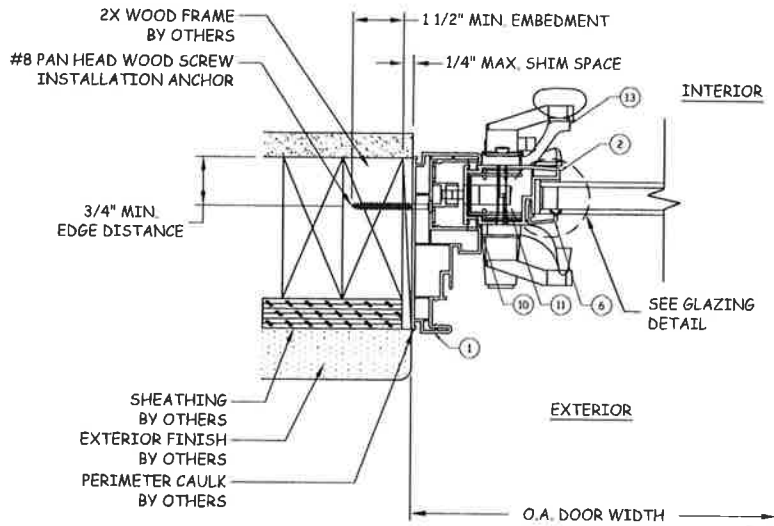


DATE: 12.23.10
 DWN BY: MSS
 CHK BY: HFN
 SCALE: NTS

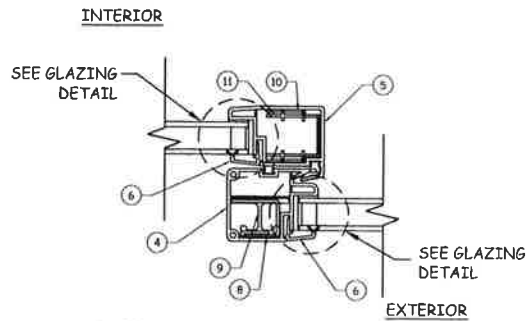
DWG #: ATR023
 SHEET: 4 OF 6

12/12/2011 12:26 PM

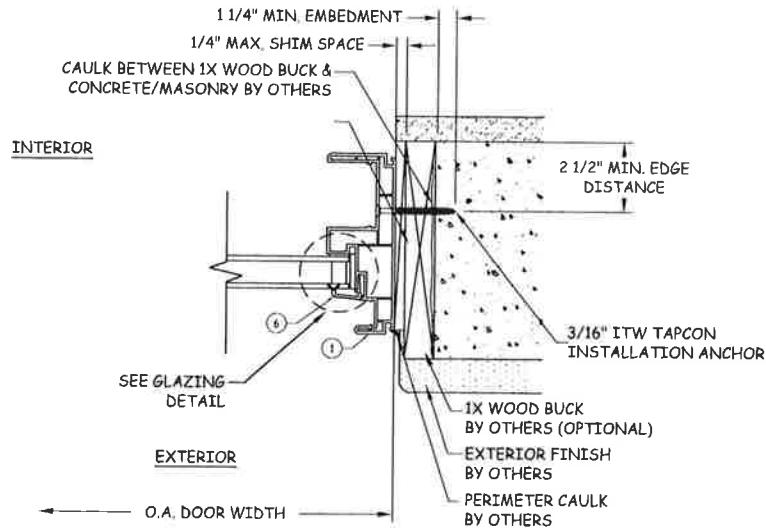
C:\p\projects\atrium\comps\atrium\1209-11-1113-2010\atrium\sliding\sliding.dwg (1/11/14) (Rev. 02) - 30x230 1st Rev



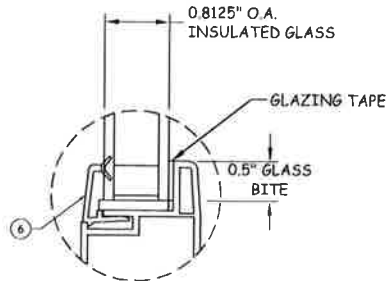
D
5 HORIZONTAL SECTION
2X WOOD FRAME - JAMB



F
5 HORIZONTAL SECTION
MEETING STILE



E
5 HORIZONTAL SECTION
CONCRETE/MASONRY - JAMB



GLAZING DETAIL 1

NOTES:

- GLASS THICKNESS AND TYPE MAY VARY PER ASTM E 1300-04 REQUIREMENT GLASS CHARTS.
- ALL GLAZING CONFIGURATIONS SHALL COMPLY WITH SAFETY GLAZING REQUIREMENTS OUTLINED IN 2007 & 2010 FBC SECTION 2406.



9001 AMBASSADOR ROW
DALLAS, TEXAS 75247
PH: (214) 637-2696 FX: (214) 424-6734

TITLE: 311/312/378
SLIDING GLASS DOOR
HORIZONTAL SECTIONS
& GLAZING DETAIL

PREPARED BY:
BUILDING DROPS
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
PH: (407) 644-6957 FX: (407) 644-2366

REVISIONS	DESCRIPTION	BY	DATE
5	FBC 2010 CODE CHANGE	JLA	12.08.11



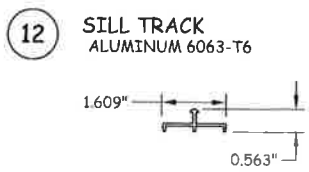
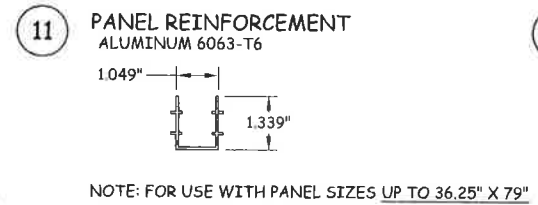
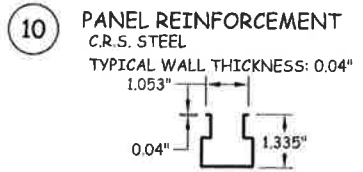
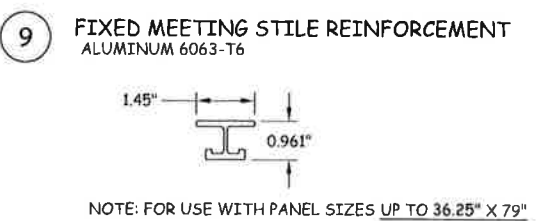
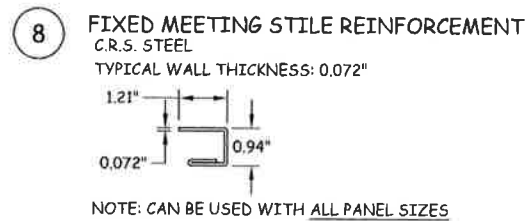
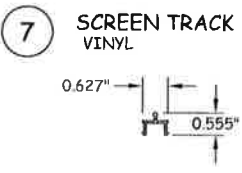
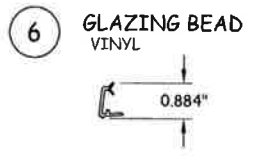
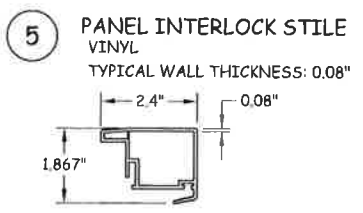
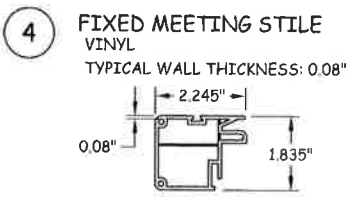
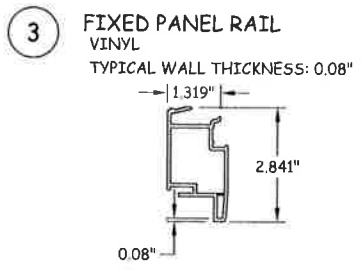
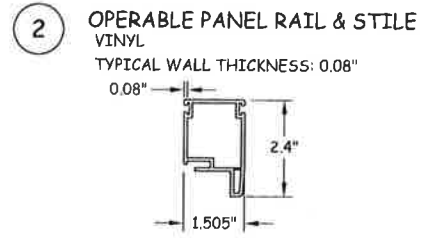
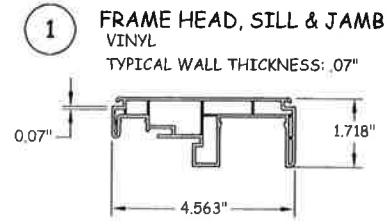
DATE:	12.23.10
OWN BY:	MS
CHK BY:	HFN
SCALE:	NTS

DWG #:
ATRO23
SHEET: 5 OF 6

12/12/2011 12:07 PM

3:\projects\kerman\comp\mtd - ac\hrc\p11115 2010 code change\img\111546\atr023 - 30-230-14.dwg

BILL OF MATERIALS				
ITEM NO.	PART NUMBER	DESCRIPTION	MATERIAL	MANUFACTURER
1	-	FRAME HEAD, SILL, AND JAMB	VINYL	A.E.S.
2	-	OPERABLE PANEL RAIL & STILE	VINYL	A.E.S.
3	-	FIXED PANEL RAIL	VINYL	A.E.S.
4	-	FIXED MEETING STILE	VINYL	A.E.S.
5	-	PANEL INTERLOCK STILE	VINYL	A.E.S.
6	-	GLAZING BEAD	VINYL	VYTRON
7	-	SCREEN TRACK	VINYL	VYTRON
8	-	FIXED MEETING STILE REINFORCEMENT	C.R.S. STEEL	BAY FORM
9	-	FIXED MEETINGSTILE REINFORCEMENT	ALUMINUM 6063-T6	EXTRUDERS
10	-	PANEL REINFORCEMENT	C.R.S. STEEL	BAY FORM
11	-	PANEL REINFORCEMENT	ALUMINUM 6063-T6	EXTRUDERS
12	-	SILL TRACK	ALUMINUM 6063-T6	EXTRUDERS
13	-	HANDLE W/ LOCKING HARDWARE	STEEL	SASH CONTROLS



9001 AMBASSADOR ROW
DALLAS, TEXAS 75247
PH: (214) 637-2696 FX: (214) 424-6734

TITLE: 311/312/378
SLIDING GLASS DOOR
COMPONENTS &
BILL OF MATERIALS
PREPARED BY: BUILDING DROPS
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
PH: (407) 544-6957 FX: (407) 644-2366

REVISIONS	
DESCRIPTION	DATE
FBC 2010 CODE CHANGE	JUL 12, 08 11

DATE: 12.23.10
DWN: M.S.
CHK: HFN
SCALE: NTS

DWG #: **ATRO23**
SHEET: 6 OF 6

PROF. ENGINEER
STATE OF FLORIDA
No. 88101
7-22-12
MEXIS STYRONE