



City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809 * Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleisle.org

PERMIT – PLEASE POST AT JOB SITE

THIS DOCUMENT BECOMES YOUR PERMIT WHEN PROPERLY VALIDATED

Per FBC 105.3.3: An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies." The issuance of this permit does not grant permission to violate any applicable Town, Orange County, State of Florida and/or Federal codes and/or ordinances. Separate permits are required for Signs, Electrical, Gas, Plumbing and Mechanical services. This permit becomes VOID if the work authorized is not commenced within 6 months, or is suspended or abandoned for a period of 6 months after commencement. **WORK SHALL BE CONSIDERED SUSPENDED IF AN APPROVED INSPECTION HAS NOT BEEN MADE WITHIN A 6 MONTH PERIOD.** PERMISSION IS GRANTED TO DO THE FOLLOWING WORK ACCORDING TO THE CONDITIONS HEREON AND THE APPROVED PLANS AND SPECIFICATIONS, SUBJECT TO COMPLIANCE WITH THE ORDINANCES OF THE CITY OF BELLE ISLE, FLORIDA.

Project Information: Scope of Work NEW BOAT DOCK: 1195.5 SQ FT Address 1307 E. Wallace Street, Belle Isle Parcel ID 24-23-29-3400-00-078 Property Owner Michael & Patty Hafley Phone 727-687-2518 Contractor MJ CONSTRUCTION INC/ DOCKS & SEAWAL Name RAFAEL VALLE License Number CBC057624 Address 4409 FLORALWOOD CT, ORLANDO Phone Number 321-202-0478	Permit Number: 2013-07-068 Date of Application 07/22/2013 Date Permit Issued 07/25/2013 <i>WARNING TO OWNER:</i> "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT." ON THE JOB INSPECTION(S) MUST BE MADE BEFORE PROCEEDING WITH SUBSEQUENT WORK. THIS CARD MUST BE DISPLAYED OUTSIDE AND BE PROTECTED FROM THE WEATHER WHILE BEING VISIBLE FROM THE STREET UNTIL THE FINAL INSPECTIONS HAVE BEEN APPROVED.
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BUILDING FEATURES

IMPACT FEES School _____ Traffic _____ CITY OF BELLE ISLE - ZONING FEES Zoning Fee _____ 165.00 Tree Removal _____ Fence _____ Driveway _____ Pavers _____ UNIVERSAL ENG - BUILDING FEES Pre-Demo _____ Building Fee _____ 289.50 Cert of Occupancy _____ Prepower _____ Electrical Fee _____ Temp Pole _____ Plumbing Fee _____ Mechanical Fee _____ Gas Fee _____ Revision Fee _____ Roofing _____ SURCHARGE FEES Surcharge Fee _____ 8.68 TOTAL FEES \$463.18 Date Paid 7/29/13 Check # 1356 CITY OF BELLE ISLE BUILDING DEPARTMENT RGD: _____ PERIMETER CONTROL:	BUILDING INSPECTOR USE ONLY IF APPLICABLE: Silt fencing in place? YES <input type="checkbox"/> NO <input type="checkbox"/> Turbidity Barrier in place? YES <input type="checkbox"/> NO <input type="checkbox"/> BUILDING/ROOFING ROOFING Dry-in/Flashing _____ ROOFING Other /FINAL _____ 1 st _____ (Footing/Foundation) Survey specific foundation plan must be submitted and approved by the City before slab pour. Approved Plan on Site? _____ 2 nd _____ (Slab) 3 rd _____ (Lintel)(Wall Reinforcing on Masonry Building) 4 th _____ (Exterior Framing)(Roof/Wall Sheathing) 5 th _____ (Framing) (To be made after Plumbing/ Mechanical/ Electrical Rough-Ins & Windows/Doors Installed) 6 th _____ (Insulation to be Made After Roof Installed) 7 th _____ (Sidewalk/Driveway) 8 th _____ (Other) 9 th _____ (Final to be Made After Plumb/ Mech/Elect Finals) PLUMBING (INCL–Pool-Piping, Solar, Irrigation and Water Treatment Equip.) 1 ST _____ (Underground) 2 nd _____ (Sewer) 3 rd _____ (Rough-In/Tub Set) 4 th _____ (Final) CHECK APPROPRIATE BOX GAS <input type="checkbox"/> Natural <input type="checkbox"/> LP <input type="checkbox"/> HOOD VENTILATION <input type="checkbox"/> REFRIGERATION <input type="checkbox"/> MECHANICAL <input type="checkbox"/> ELECTRICAL <input type="checkbox"/> LOW VOLTAGE 1 st _____ (Rough-In) 2 nd _____ (Final) If work is being performed on a lakefront property, you are required to call 407-851-7730 for inspection of your silt fencing and/or turbidity barrier PRIOR TO COMMENCING WORK. If this is not done, a Stop Work Order will be issued. Barrier must be trenched 6-8" into the ground!!
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The person accepting the listed permit shall conform to the terms of the applications on file in the City Office and construction shall conform to the requirements of the FI Building Codes. To schedule an inspection please email your request to: BDscheduling@UniversalEngineering.com a confirmation email reply will follow. **INSPECTION REQUESTS can be made from 8:00am-1:00pm Monday-Friday.** It is requested that inspections be scheduled 24 hours in advance via email. Please include the following in your request: Permit number, address & lot number, the builder name, the date of the inspection, a contact name & phone number for someone on site should our office be contacted. Name of inspection – A.M. or P.M.
 Updated: 07/2012 - FORM #PERMIT001

City of Belle Isle
Building Permit Application Review Sheet

2013-07-068	2013-07- 1068	
Property Owner	MICHAEL & PATTY HAFLEY	
Address	1307 E. WALLACE STREET	
Nature of Improvement	CONSTRUCT A NEW BOAT DOCK	
Received Application	07/22/2013	
Zoning Clerk Review	<div style="border: 2px solid red; padding: 10px; display: inline-block;"> <p style="color: red; font-weight: bold; font-size: 1.2em; margin: 0;">ZONING</p> <p style="color: red; font-weight: bold; font-size: 1.5em; margin: 5px 0;">APPROVED</p> <p style="font-size: 0.8em; margin: 0;">Date: <u>7/23/13</u> By: <u>[Signature]</u></p> <p style="color: red; font-size: 0.8em; margin: 0;">City of Belle Isle</p> </div>	
Zoning Complete Date		
Zoning Passed		
Variance Approved		n/a
Universal Eng Notified		
Universal Eng Pickup		
Universal Eng Approved	7/23/2013	
Comments		
1.	7/23/13 Spk. to Request for permit p/v	
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		
13.		
14.		



City of Belle Isle
 1600 Nela Avenue, Belle Isle, FL 32809
 Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleislefl.org
Building Permit (Land Use) Application

DATE: 7/22/13

PERMIT # 2013-01-068

PROJECT ADDRESS 1307 E WALLACE ST, Belle Isle, FL 32809

PROPERTY OWNER MICHAEL & PATY HAFLEY PHONE 727 887 2578 VALUE OF WORK (labor & material) \$ 42,725

PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

CONSTRUCT A NEW BOAT DOCK

Please provide information, if applicable.

- Survey specific foundation plan required to show compliance with zoning setbacks
- **BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- **PROVIDE SEPTIC RESIDENTIAL SYSTEM VERIFICATION – OC DOCUMENT 64E-6, FOR NEW / ALTERED / ADDITIONS to Septic System**
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: Parcel Id Number: 24-23-29-3400-00-078

To obtain this information, please visit <http://www.ocpafl.org/Searches/ParcelSearch.aspx>

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCROACH INTO ANY EASEMENT OR REQUIRED SETBACK. Note, this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

Attached Survey 3 SETS and Construction Plans 3 SETS

PLANNING & ZONING APPROVAL: _____
 DATE _____

PLEASE COMPLETE for Building Review

CONSTRUCTION TYPE PT WOOD
 OCCUPANCY GROUP Comm Res: Single Fam Multi Fam
 #BLDG. _____ #UNITS _____ #STORIES _____ TOTAL SQ.FT. _____
 MAX. FLOOR LOAD _____ MAX. OCCUPANCY _____
 MIN. FLOOR ELEV. _____ LOW FLOOR ELEV. _____
 WATER SERVICE WELL SEPTIC

BUILDING REVIEWER [Signature] DATE 7/23/2013
 NOTES _____

Per FSS 105.3.3:
 An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

Waste Management is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may contact Waste Management at 407-788-0800 to setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from Waste Management. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

Wind Load Category: A ___ B ___ C ___ D ___

SPRINKLERS REQ'D	Y	N	
If Required – SUBMIT COPY OF PLANS FOR FIRE REVIEW			
	Date: Sent _____	RCD _____	
ZONING	Y	N	\$ <u>165.00</u>
CERT OF OCC	Y	N	\$ _____
TRAFFIC	Y	N	\$ _____
SCHOOL	Y	N	\$ _____
FIRE	Y	N	\$ _____
SWIMMING POOL	Y	N	\$ _____
POOL ENCLOSURE	Y	N	\$ _____
BOAT DOCK	<input checked="" type="checkbox"/>	N	\$ <u>287.50</u>
BUILDING	Y	N	\$ _____
WINDOW(S)	Y	N	\$ _____
DOOR(S)	Y	N	\$ _____
OTHER	Y	N	\$ _____
3% FL SURCHARGE			<u>8.68</u>
TOTAL			<u>463.18</u>
By Owner Form	Y	NA	
Notice of Commencement	Y	NA	
Power of Attorney	Y	NA	
Contractor Packet On File?	Y	N	
OTHER PERMITS REQUIRED:			
ELECTRICAL	Y	NA	
PREPOWER	Y	NA	
MECHANICAL	Y	NA	
PLUMBING	Y	NA	
ROOFING	Y	NA	
GAS	Y	NA	
OTHER:			_____



City of Belle Isle

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Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleislefl.org

Building Permit (Land Use) Application

To be completed as required by State Statute Section 713 and other applicable sections.

PERMIT # 2013-07-068

Owner's Name MICHAEL K HARLEY, TR
Owner's Address 1307 E WALLACE ST, BELLE ISLE, FL 32809-5179
Fee Simple Titleholder's Name (if other than owner's)
Address City State Zip Code

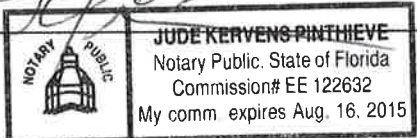
Table with 2 columns: Contractor's Name, Address, City, State, ZIP, License #, Contact Phone/Cell, Contact Email. Rows include MJ CONST., INC./DOCKS N SEAWALLS and THOMPSON ENG. GRP.

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A notice of commencement must be recorded if job is \$2500(+) or if A/C Replacement \$7500(+) and posted on the job site before the first inspection.

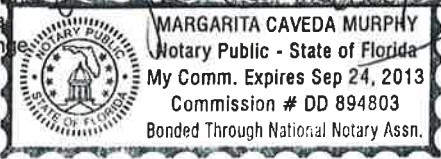
I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations (www.floridabuilding.org) and City Ordinances (www.municode.com) regulating same and in accordance with plans submitted.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner Signature Michael K. Harley
The foregoing instrument was acknowledged before me this 7/20/2013 by Michael K. Harley who is personally known to me and who produced Florida Driver's License as identification and who did not take an oath.



Contractor Signature Rafael A. Valle
COMPANY NAME DOCKS N SEAWALLS
The foregoing instrument was acknowledged before me this 7/22/13 by Rafael A. Valle who is personally known to me and who produced FL V400-122661-122-0 as identification and who did not take an oath.



Impervious Surface Ratio Worksheet
Development Zoned A-1, A-2, R-1-AAA, R-1-AA, R-1-A, R-1 per Section 50-74 Impervious Surface Ratio of the City Code
1. Total Lot Area (sqft) X 0.35 = Allowable Impervious Area (BASE).
2. Calculate the "proposed" impervious area on the lot. This includes the sum of all areas that do not allow direct percolation of rainwater.
3. If AIA is less than BASE, subtract AIA from BASE to determine the amount of impervious area that may be added without providing onsite retention.
4. If AIA is greater than BASE, then onsite retention must be provided.
Assuming 7.5 inches of rainfall based on a 24hr 10 year Rain Event (TP40), the formula is: (7.5 inches rainfall/12 inches p/foot) X (result from line 4) = cubic feet of storage volume needed



City of Belle Isle
 1600 Nela Avenue, Belle Isle, FL 32809
 Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleislefl.org
Boat Dock Zoning Review Application
PLEASE REFER TO WWW.MUNICODE.COM FOR CODE COMPLIANCE
SUBMIT LANDUSE APPLICATION WITH THIS FORM

Date 7/22/13	Permit #	Cost \$ 42,775 -
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APPLICANT Property Owner's Name MICHAEL K & PATRICIA H HAFLEY	SITE ADDRESS Site Address SAME
Mailing Address 1307 E WALLACE ST	Land Use Classification O130-5FR - LAKEFRONT
City, State, Zip BELLE ISLE, FL 32809-5179	Zoning District R 1 AA
REQUIREMENTS TO BE SUBMITTED WITH APPLICATION <ul style="list-style-type: none"> \$165.00 ZONING APPLICATION FEE DEP CLEARANCE FORM <p>COMPLETION OF AN APPLICATION IS REQUIRED AND APPLICANT IS SUBJECT TO ALL COUNTY, STATE AND/OR EPD REQUIREMENTS AND FEES. APPROVAL OF THIS APPLICATION DOES NOT GUARANTEE THE ISSUANCE OF A BUILDING PERMIT FROM THE CITY'S BUILDING DEPARTMENT.</p>	Legal Description LOT: SUB OF HARNEY HOMESTEAD C/53 Block: FR SW COR OF LOT 10 RUN E 763' N 300' E 375' FOR A POB THE Subdivision: 380.03' N 5° E 100.5' N 59° E 19.46' N 59° E 30.84' N 57° W 174.10' W 298.13' S 109.8' S 10' S 04° W 100.25' TO POB

PROPOSED BOAT DOCK INFORMATION	
Length Waterward from 86.9 NHWE Contour Line: 133.5'	<ol style="list-style-type: none"> Applicant brings completed application packet: <ol style="list-style-type: none"> \$165.00 review fee 3 sets of drawings, and 3 boundary surveys to City Hall. Application packets are available on our website www.cityofbelleislefl.org or can be picked up at City Hall - Monday thru Friday from 8:00am to 5:00pm. City's Planning & Zoning reviews documents and issues one of the following: <ol style="list-style-type: none"> Letter indicating zoning compliance with the Code Letter indicating additional documentation is needed and/or reason the application is not in compliance with the Code. If the application meets criteria for zoning compliance, it will be forwarded to the Building Department for review and completion of the permit process. If the application does not meet the requirements of the Belle Isle Code, (i.e. setbacks, height, etc) the applicant is faxed a copy of the review letter citing the reasons for non-compliance with the Code and is given 2 options: <ol style="list-style-type: none"> Applying for a variance from the City of Belle Isle Planning and Zoning Board Revising the drawings to meet the requirements of the Code. If the applicant chooses to <u>apply for the variance</u>, the City provides assistance with the variance process. Please call City Hall at 407-851-7730 for further information and deadline dates. If the applicant chooses to make revisions to the drawings to meet the requirements of the Code, the additional information is reviewed for compliance. Once the application meets criteria for zoning compliance, it will be forwarded to the Building Department for review and completion. The City keeps one complete set of drawings, a copy of the application and the engineering review letter. The Developer or Property Owner must pay all costs and fees associates with the City Engineer's and/or the City Attorney's review of the applicants application and plans. <p align="center">PLEASE REFER TO WWW.MUNICODE.COM FOR CODE COMPLIANCE</p>
Square Footage Waterward from 86.9 NHWE contour line 5x DOCK 769.5 WALKWAY 426	
Side Setback from Property Line 5'	
Total Square Footage 1195.5	
Applicant/Agent Signature <i>M. Hafley</i>	

Parcel Information - 24-23-29-3400-00-078

Orange County Property Appraiser • <http://www.ocpafl.org>

Property Summary

Property Name

1307 E Wallace St

Names

Hafley Michael K Tr
Hafley Patricia H Tr

Municipality

BI - Belle Isle

Property Use

0130 - Sfr - Lake Front

Mailing Address

1307 E Wallace St
Belle Isle, FL 32809-5179

Physical Address

1307 E Wallace St
Orlando, FL 32809



QR Code For Mobile Phone



292324340000078 10/04/2006



Property Features

Property Description

SUB OF HARNEY HOMESTEAD C/53 FROM SW COR OF LOT 10 RUN E 763 FT N 300 FT E 375 FT FOR A POB TH E 380.03 FT N 5 DEG E 100.5 FT N 59 DEG E 19.46 FT N 59 DEG E 30.84 FT N 57 DEG W 174.10 FT W 298.13 FT S 109.8 FT S 10 FT S 04 DEG W 100.25 FT TO POB

Total Land Area

80,996 sqft (+/-)



1.86 acres (+/-)

GIS Calculated

Land

Land Use Code	Zoning	Land Units	Unit Price	Land Value	Class	Unit Price	Class Value
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0130 - Sfr - Lake Front	R-1-AA 1 LOT(S)	\$290,000.00	\$290,000	\$0.00	\$290,000
0030 - Vacant Water	R-1-AA 1 LOT(S)	\$230,000.00	\$230,000	\$0.00	\$230,000

Buildings

Model Code	01 - Single Fam Residence	Subarea Description	Sqft	Value
Type Code	0101 - Single Family	BAS - Base Area	2536	\$135,296
Building Value	\$89,746	FGR - Fin Garage	775	\$20,700
Estimated New Cost	\$172,588	FOP - F/Opn Prch	100	\$1,334
Actual Year Built	1974	FSP - F/Scr Prch	340	\$6,349
Beds	4	UDG - Unf Dt Grg	418	\$8,909
Baths	3.0			
Floors	1			
Gross Area	4169 sqft			
Living Area	2536 sqft			
Exterior Wall	Brd.Btn.Av			
Interior Wall	Drywall			

Extra Features

Description	Date Built	Units	Unit Price	XFOB Value
FPL1 - Basic Fireplace	01/01/1974	1 Unit(s)	\$1,500.00	\$1,500
PT2 - Patio 2	01/01/2005	1 Unit(s)	\$2,000.00	\$2,000



Vista Construction Team, Inc.

June 3, 2013

Mike & Patty Hafley
 1307 E Wallace Dr
 Orlando, FL 32809

Hand Delivered

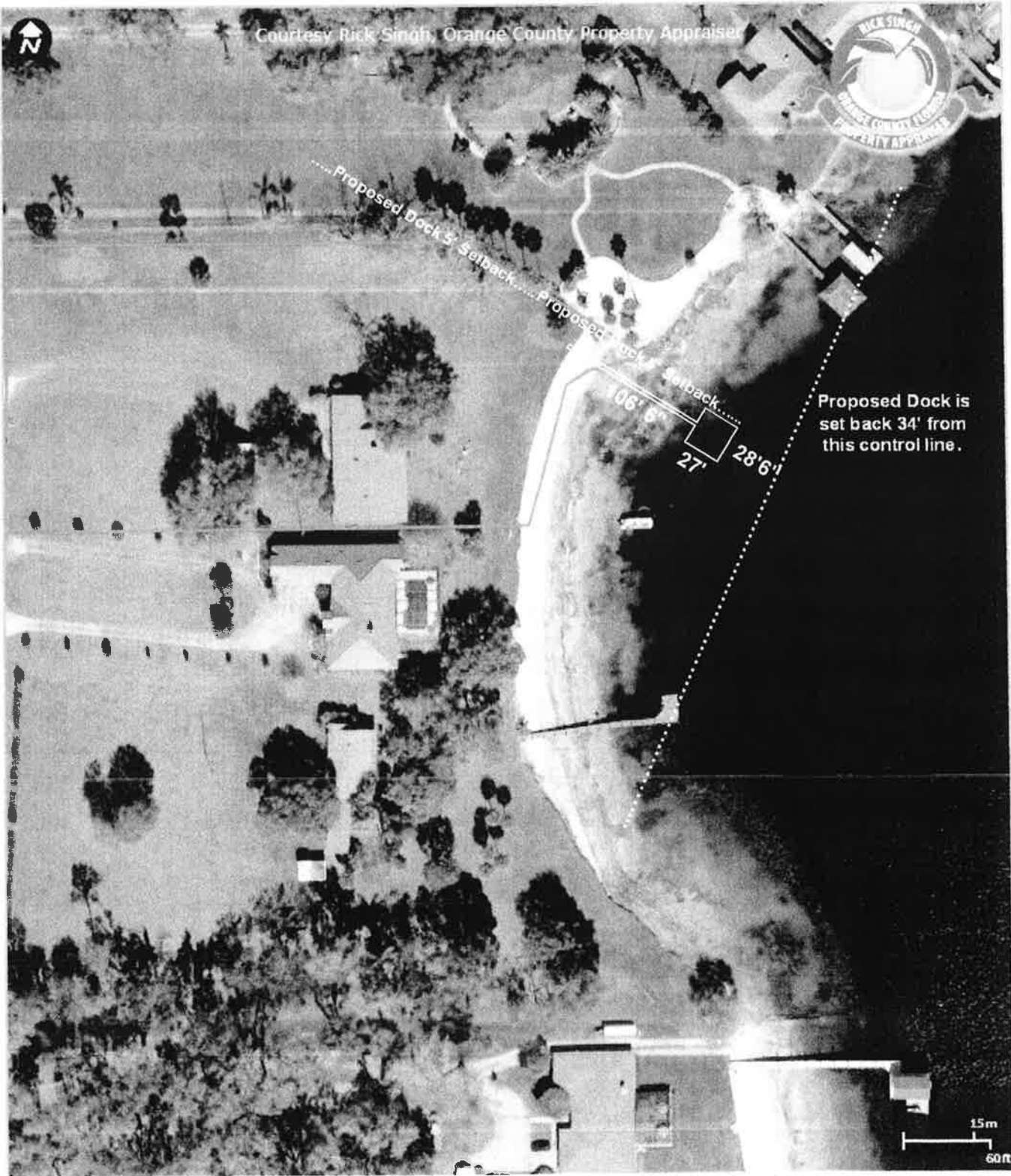
Rafael Valle of Docks N Seawalls, Inc. with MJ Construction, CBC 057624, present the following proposal to construct a new boat dock.

SCOPE OF WORK...PH 770-L	
Boat Dock,...does not include Metal Roofing	\$42,775
Custom dock design to meet client needs and property geography	
Final P.E. signed and sealed design drawings.	
Secure permits; State and Local only (as required).	
WALKWAY: install an 88' X 4' Walkway. Poles 3.5' above decking.	
DOCK: A 13' X 26.5' Boat House, 13' Roof over Activity Deck. An 10' X 25' Activity Deck, 13' is covered. All decking will be skirted to conceal cut ends.	
ROOF: Construct an L-shaped Hip style roof with 1' overhang.	
Trusses installed 24" on center. Roof double sheathed featuring downward facing decorative T1-11. Roof headers will be bolted . Double 2x10 outside beams, a single 2x10 inside beam with a trough plate. Poles will be trimmed top and bottom with decorative blocking.	
Upgrade to Trex Transcend, Rope Swing & Hidden Fasteners	\$5,060
Rope Handrail: 2" Unmanila, a natural looking, synthetic. Approx 88'	\$1,750
Lift System: 1HP Motor, 1/4"SS Cables, Aluminum Cradle, Installed	\$3,000
Water Line: Installed from beginning of dock to dock spigot	\$400
Scope of Materials Dock: "Sundeck" engineered Pressure Treated wood with routed edges for decking nailed down. Pilings 6"x6" PT. All materials are PT wood and Hot Dipped Galvanized fasteners.	
Scope of Materials Roof: Not included in pricing. Will coordinate with Roofer for house construction.	Not Included
Furnish all materials, tools, equipment and labor necessary to complete work as per Plans. Clean up and removal of all debris.	
EXCLUSIONS; a) irrigation, b) electrical, c) backfill, d) landscaping, e) rock revetment, f) compensating storage, g) mitigation If necessary, h) Surveys i) Variance Fees j)any State Permit fees	
\$2,000Deposit to begin Permitting. Draw schedule to be determined upon approval	

Docks N Seawalls, Inc.
 4409 Hoffner Ave. Suite 339, Orlando, FL 32812
 Phone; 321-202-0478

OCPA Web Map

Florida Turnpike	Major Roads	Proposed Road	Residential	Continental Industrial/Vacant Land	Parks	Lot Number
Interstate 4	Public Roads	Brock Road	Agriculture	Agricultural Outillage	Lakes and Rivers	Parcel Number
Toll Road	Gated Roads	Block Line	Commercial/Institutional	Hydro	Building	Parcel Address
Road Under Construction	Road Under Construction	Lot Line	Governmental/Institutional/Misc	Waste Land	Block Number	Parcel Dimens



REVIEWED 7/01/2013

[Handwritten signature]

LIMITED POWER OF ATTORNEY FORM

(with Durable Provision)

TO ALL PERSONS, be it known, that I, Mark D. Jensen of M J Carpentry Inc, CBC0057624, as Grantor, do hereby make and grant limited and specific Power of Attorney to RAFAEL A. VALLE and appoint and constitute said individual as my attorney-in-fact.

My named attorney-in-fact shall have full power and authority to undertake, commit and perform only the following acts on my behalf to the same extent as if I had done so personally, all with full power of substitution and revocation in the presence.

Describe the specific authority below:

To sign documents relating to the building permit(s) on the following job:


Parcel Tax ID: 24-23-29-3400-00-078 SUB OF HARNEY HOMESTEAD C/53
Project Address: 1307 E Wallace St., Belle Isle, FL 32809
Property Owner: Michael K Hafley & Patricia H Hafley

The authority granted shall include such incidental acts as are reasonable required or necessary to carry out and perform the specific authorities and duties stated or contemplated herein.

My attorney-in-fact agrees to accept this appointment to subject to its terms, and agrees to act and perform in said fiduciary capacity consistent with my best interests as he in his discretion deems advisable, and I thereupon ratify all acts so carried out.

Special durable provision: This power of attorney shall not be affected by the disability of the Grantor, and shall become null and void after 7/29/2014.

Signed under seal this 22nd day of July, 2013



Grantor's Signature

Then personally appeared Mark D Jensen, the above named Grantor, who known to me, or provided personal identification FL DL 5525.544.62.018.0, signed or acknowledged the foregoing power of attorney as his or her free act and deed, before me.

Notary Public:

Margarita Cavada Murphy
Printed Name


Signature



Commission Expiration Date



City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809
 Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleislefl.org

Product Approval Form

DATE: 7/22/13

PERMIT # 2013-07-068

PROJECT ADDRESS 1307 E WALLACE ST, Belle Isle, FL 32809 ~~32812~~

As required by Florida Statue 553.842 and Florida Administrative Code 9B-72m, please provide the information and approval numbers of the building components listed below if they will be utilized on the building or structure. FL Approved products are listed online at www.floridabuilding.org or can be obtained from the local product supplier. The following information must be turned in with permit application and available onsite for inspections:

1. This Product Approval Cover Sheet
2. Internet screen showing PA#, approval and code edition stamped
3. Manufacturer's installation details and requirements for each product stamped

Product Type	Manufacturer	Model/Series	FL Product Approval #	Product Type	Manufacturer	Model/Series	FL Product Approval #
EXTERIOR DOORS				WALL PANELS			
Swinging				Sliding			
Sliding				Soffits			
Sectional/Rollup				Storefront			
Other				Glass Block			
				Other			
WINDOWS				ROOFING PRODUCTS			
Single/Dbl Hung				Asphalt Shingles			
Horizontal Slider				Non Struct Metal			
Casement				Roofing Tiles	BERRI DGE	ZEE LOCK	FL11159-R3
Fixed				Single Ply Roof			
Mullion				Other			
Skylights							
Other							
STRUCTURAL COMPONENTS				OTHER			
Wood Connectors							
Wood Anchors							
Truss Plates							
Insulation Forms							
Lintels							
Other							

It is the applicant's responsibility to verify that specific products have been installed in accordance with their limitations and with the minimum required design pressures for the structure. Specific compliance will be verified during field inspections.

Applicant Signature [Signature]

Date 7/22/13

RETAIN A COPY FOR OFFICE USE AND RETURN ORIGINAL TO APPLICANT

Updated 12-2012 FORM #PRODAPP012



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Business Professional



Product Approval
USER: Public User

License efficiently. Regulate fairly.

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 Application Detail

FL #	FL11159-R3									
Application Type	Editorial Change									
Code Version	2010									
Application Status	Approved									
Comments	Archived									
Product Manufacturer	Berridge Manufacturing Co.									
Address/Phone/Email	1720 Maury Houston, TX 77026 (800) 231-8127 Ext 215 bmarks@berridge.com									
Authorized Signature	James L. Buckner P.E.@CBUCK Engineering jimmy@cbuckinc.net									
Technical Representative	Robert Marks, Jr.									
Address/Phone/Email	1720 Maury Houston, TX 77479 (713) 223-4971 bmarks@berridge.com									
Quality Assurance Representative										
Address/Phone/Email										
Category	Roofing									
Subcategory	Metal Roofing									
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received									
Florida Engineer or Architect Name who developed the Evaluation Report	James L. Buckner, P.E @ CBUCK, Inc.									
Florida License	PE-31242									
Quality Assurance Entity	UL LLC									
Quality Assurance Contract Expiration Date	12/31/2015									
Validated By	Steven M. Urich, PE									
	<input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received									
Certificate of Independence	FL11159_R3_COI_CerOfIndepend.pdf									
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th>Standard</th> <th>Year</th> </tr> </thead> <tbody> <tr> <td>TAS 125</td> <td>2003</td> </tr> <tr> <td>UL 1897</td> <td>2004</td> </tr> <tr> <td>UL 580</td> <td>2006</td> </tr> </tbody> </table>	Standard	Year	TAS 125	2003	UL 1897	2004	UL 580	2006	
Standard	Year									
TAS 125	2003									
UL 1897	2004									
UL 580	2006									
Equivalence of Product Standards Certified By	Florida Licensed Professional Engineer or Architect FL11159_R3_Equiv_Test_Standard_Equiv.pdf									
Sections from the Code										
Product Approval Method	Method 1 Option D									

Date Submitted 04/18/2012
 Date Validated 04/20/2012
 Date Pending FBC Approval 04/30/2012
 Date Approved 06/11/2012

Summary of Products

FL #	Model, Number or Name	Description
11159.1	1 - "Zee-Lock" or "Curved Zee-Lock" Panel	24 Gauge Steel Roof Panel Attached to Plywood Deck
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +N/A/-174 max. Other: Refer to Evaluation Report for Conditions & Limitations of Use. Refer to manufacturer's installation instructions as a supplemental guide.		Installation Instructions 11159.1.1 Zee-Lock Iron WoodDeck EvalREPORT.pdf Verified By: James L. Buckner, P.E. @ CBUCK, Inc P.E. #31242 Created by Independent Third Party: Yes Evaluation Reports 11159.1.1 Zee-Lock Iron WoodDeck EvalREPORT.pdf Created by Independent Third Party: Yes
11159.2	2 - "Zee-Lock" or "Curved Zee-Lock" Panel	24 Gauge Steel Roof Panel Attached to Steel Deck
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +N/A/-183 max. Other: Refer to Evaluation Report for Conditions & Limitations of Use. Refer to manufacturer's installation instructions as a supplemental guide.		Installation Instructions 11159.2.1 Zee-Lock Steel Deck EvalREPORT.pdf Verified By: James L. Buckner, P.E. @ CBUCK, Inc P.E. #31242 Created by Independent Third Party: Yes Evaluation Reports 11159.2.1 Zee-Lock Steel Deck EvalREPORT.pdf Created by Independent Third Party: Yes
11159.3	3 - "Zee-Lock" Panel	22 Gauge Steel Roof Panel Attached to Steel Deck
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +N/A/-213 max. Other: Refer to Evaluation Report for Conditions & Limitations of Use. Refer to manufacturer's installation instructions as a supplemental guide.		Installation Instructions 11159.3.1 Zee-Lock Non SteelDeck EvalREPORT.pdf Verified By: James L. Buckner, P.E. @ CBUCK, Inc P.E. #31242 Created by Independent Third Party: Yes Evaluation Reports 11159.3.1 Zee-Lock Non SteelDeck EvalREPORT.pdf Created by Independent Third Party: Yes

Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 phone: 850-487-1824

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Product Approval Accepts:



Evaluation Report
“Zee-Lock Panel or Curved Zee-Lock Panel”
With Continuous Zee-Rib Clip
Metal Roof Assembly

Manufacturer:
Berridge Manufacturing Company
1720 Maury Road
Houston, TX 77026
(800) 231-8127

for

Florida Product Approval
FL 11159.1 R3
Florida Building Code 2010
Per Rule 9N-3

Method: 1 - D
Category: Roofing
Sub - Category: Metal Roofing

Product: Zee-Lock” Roof Panel
Material: Steel
Panel Thickness: 24 gauge
Panel Width: 16”
Support: Wood Deck

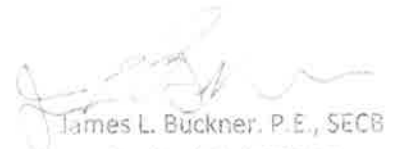
Prepared by:
James L. Buckner, P.E., S.E.C.B.
Florida Professional Engineer # 31242
Florida Evaluation ANE ID: 1916
Project Manager: Diana Galloway
Report No. 11-187-ZL-S4W-ER
Date: 11 / 25 / 11

Contents:

Evaluation Report Pages 1 – 9

CBUCK, Inc.

1399 N. Killian Drive, Suite 4, West Palm Beach, Florida 33403
Phone: (561)491-9927 Fax: (561)491-9928 Website: www.cbuckinc.net


James L. Buckner, P.E., SECB
Florida P.E. # 31242
4/18/12

Manufacturer: Berridge Manufacturing Company

Product Name: "Zee-Lock" or "Curved Zee-Lock"

Product Category: Roofing

Product Sub-Category: Metal Roofing

Compliance Method: State Product Approval Rule 9N-3.005 (1) (d)

Product/System Description: "Zee-Lock" or "Curved Zee-Lock" Double Lock Standing Seam Roof Panel 2" Rib Height, 16" wide, 24 gauge Steel roof panel restrained by continuous "Zee-Rib" continuous panel clips, fastened into 15/32" Plywood Deck.

Product Assembly as Evaluated: Refer to Page 4 of this report for product assembly components/materials & standards:

1. Roof Panel
2. Panel Clip
3. Fasteners
4. Underlayment
5. Insulation (Optional)

Support:

Type:
Wood Deck
(Design of support and its attachment to support framing is outside the scope of this evaluation.)

Description:

- 15/32 or greater plywood,
- or Wood plank (min. specific gravity of 0.42)

Slope: Minimum slope shall be in accordance with manufacturer's recommendations, FBC Section 1507.4.2 and applicable code sections.

Arched Min. Radius for Curved Panel: 20 Feet

Performance:

Wind Uplift Resistance:

- Design Uplift Pressure: **METHOD 1: - 101 PSF**
(Refer to "Table A" attachment details herein) **METHOD 2: - 174.25 PSF**

- Performance Standards:** The product described herein has demonstrated compliance with:
- UL580-06 – *Test for Uplift Resistance of Roof Assemblies*
 - UL 1897-04 – *Uplift test for roof covering systems*
- Standards Equivalency:** The UL 580-94 & UL 1897-98 standard version used to test the evaluated product assembly is equivalent with the prescribed standards in UL 580-06 & UL 1897-04 adopted by the Florida Building Code 2010.
- Code Compliance:** The product described herein has demonstrated compliance with Florida Building Code 2010, Section 1504.3.2.
- Evaluation Report Scope:** This product evaluation is limited to compliance with the structural requirements of the Florida Building Code, as related to the scope section to Florida Product Approval Rule 9N-3.001.
- Limitations and Conditions of Use:**
- Scope of “Limitations and Conditions of Use” for this evaluation:
This evaluation report for “Optional Statewide Approval” contains technical documentation, specifications and installation method(s) which include “Limitations and Conditions of Use” throughout the report in accordance with Rule 9N-3.005. Per Rule 9N-3.004, the Florida Building Commission is the authority to approve products under “Optional Statewide Approval”.
 - Option for application outside “Limitations and Conditions of Use”
Rule 9N-3.005(1)(e) allows engineering analysis for “project specific approval by the local authorities having jurisdiction in accordance with the alternate methods and materials authorized in the Code”. Any modification of the product as evaluated in this report and approved by the Florida Building Commission is outside the scope of this evaluation and will be the responsibility of others.
 - Design of support system is outside the scope of this report.
 - Fire Classification is outside the scope of Rule 9N-3, and is therefore not included in this evaluation.
 - This evaluation report does not evaluate the use of this product for use in the High Velocity Hurricane Zone code section. (Dade & Broward Counties)
- Quality Assurance:** The manufacturer has demonstrated compliance of roof panel products in accordance with the Florida Building Code and Rule 9N-3.0005 (3) for manufacturing under a quality assurance program audited by an approved quality assurance entity through **Underwriter’s Laboratories, Inc.** (FBC Organization #: QUA 1743)

**Components/Materials
(by Manufacturer):**

Roof Panel: Berridge "Zee-Lock"
Material: Steel
Thickness: 24 gauge (min.)
Panel Width: 16" (max.) Coverage
Rib Height: 2"
Yield Strength: 40 ksi min.
Steel Grade: 40
Corrosion Resistance: In compliance with FBC Section 1507.4.3:

- ASTM A792 coated, or
- ASTM A653 G90 galvanized steel

Roof Panel Clips: Berridge "Zee-Rib"
Type: One-Piece, continuous fixed clip
Material: Steel
Thickness: 24 Gauge
Yield Strength: 2"(tall) x 1-3/8"(wide) x continuous (w/panel length)
Dimensions: 40 ksi min.
Corrosion Resistance: Per FBC Section 1506.7

Fastener:
Type: Pancake-Head Wood Screw
Size : #12 - 11 x 1"
Corrosion Resistance: Per FBC Section 1506.6 and 1507.4.4
Standard: Per ANSI/ASME B18.6.1

Underlayment:
Per roofing manufacturer's guidelines in compliance with FBC Section 1507.4.5

**Components& Materials:
(by Others)** **Insulation (Optional):**

Type: Rigid Insulation Board
Thickness: 3" (max.)
Properties:
Density: 2.25 pcf (lbs/ft³) min.
Or Compressive Strength: 20 psi min.

Insulation shall comply with FBC Section 1508. When insulation is incorporated, fastener length shall conform to penetrate thru bottom of support a minimum of 3/16".

Installation:

Installation Method:

(Refer to "TABLE A" below and drawings on Pages 6-9 of this report.)

- Fastener Spacing Along Continuous Clip: Refer to "TABLE A" Below (along the length of the panel)
- Rib Interlock: Mechanically seamed 180° (DOUBLE-LOCK)
- Minimum fastener penetration thru bottom of support, 3/16".
- For panel construction at the end of panels, refer to manufacturer's instructions and any site specific design.

TABLE "A"			
	Fastener Spacing	Panel Seam	Design Pressure
METHOD 1	16"	Double Lock	- 101 PSF
METHOD 2	8"	Double Lock	- 174.25 PSF

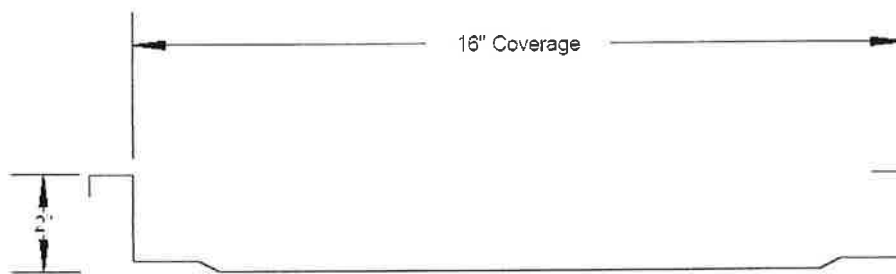
Install the "Zee-Lock" roof panel assembly in compliance with the installation method listed in this report and applicable code sections of FBC 2010. The installation method described herein is in accordance with the scope of this evaluation report. Refer to manufacturer's installation instructions as a supplemental guide for attachment.

Referenced Data:

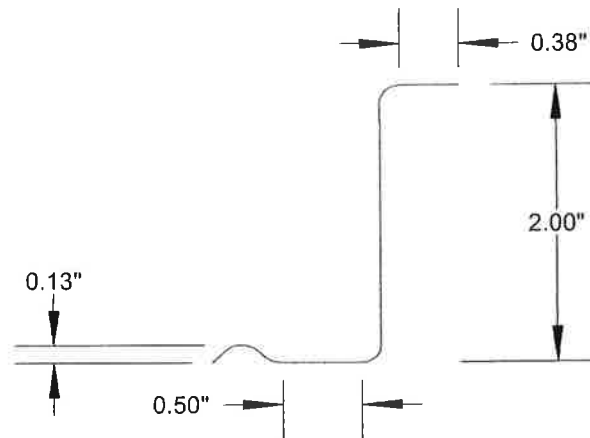
1. TAS 125-03 Uplift Test (Per UL580-94 and UL 1897-98)
 By Force Engineering & Testing Inc., Inc. (TST ID: 5328)
 - Report # 49-0008T07A-C, Report Date: 2/16/07, Test Specimen(s) # A-B (Method 1)
 - Report # 49-0008T07A-C, Report Date: 2/16/07 Test Specimen(s) #C (Method 2)
2. Quality Assurance
 Underwriter's Laboratories, Inc. (FBC Organization #: QUA 1743)
3. Equivalency of Test Standard Certification
 By James L. Buckner, P.E. @ CBUCK Engineering (FBC Organization # ANE 1916)
4. Certification of Independence
 By James L. Buckner, P.E. @ CBUCK Engineering (FBC Organization # ANE 1916)
5. Engineering Analysis
 By CBUCK Engineering

Installation Method
Berridge Manufacturing Company
"Zee-Lock" (24 gauge Steel) Roof Panel attached to Wood Deck

Drawings

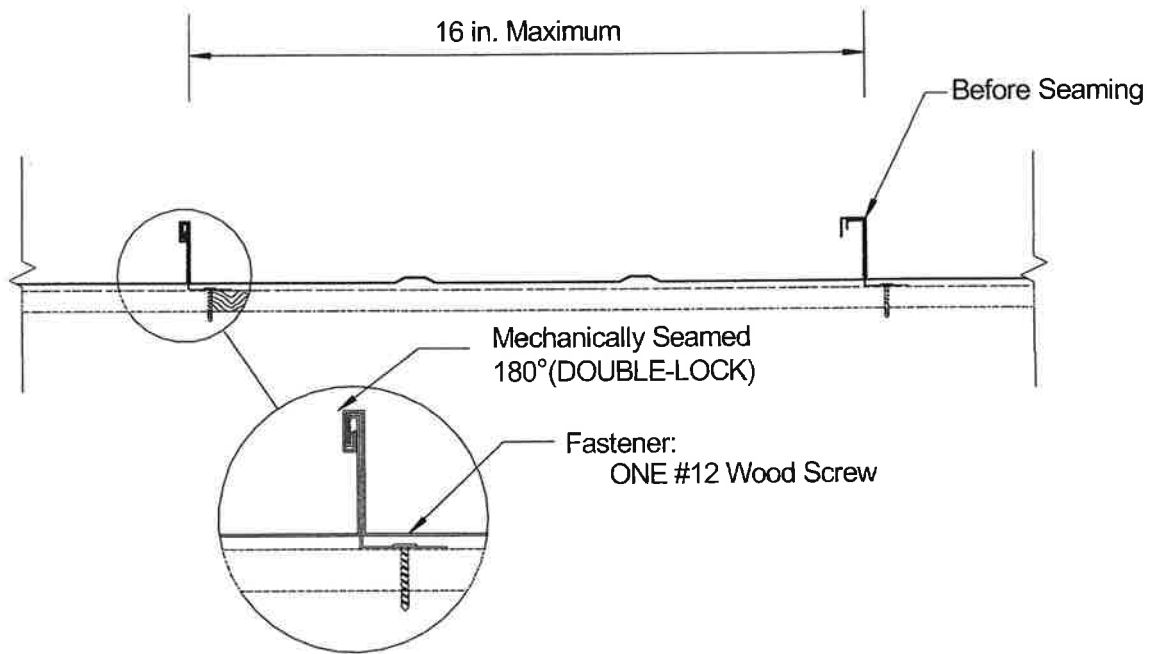


Typical Panel Profile

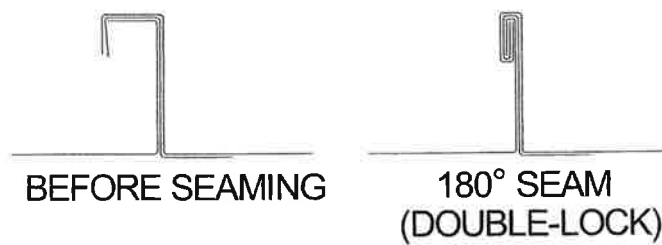


Continuous "Zee-Rib" Panel Clip
Profile Side View

Installation Method
Berridge Manufacturing Company
"Zee-Lock" (24 gauge Steel) Roof Panel attached to Wood Deck

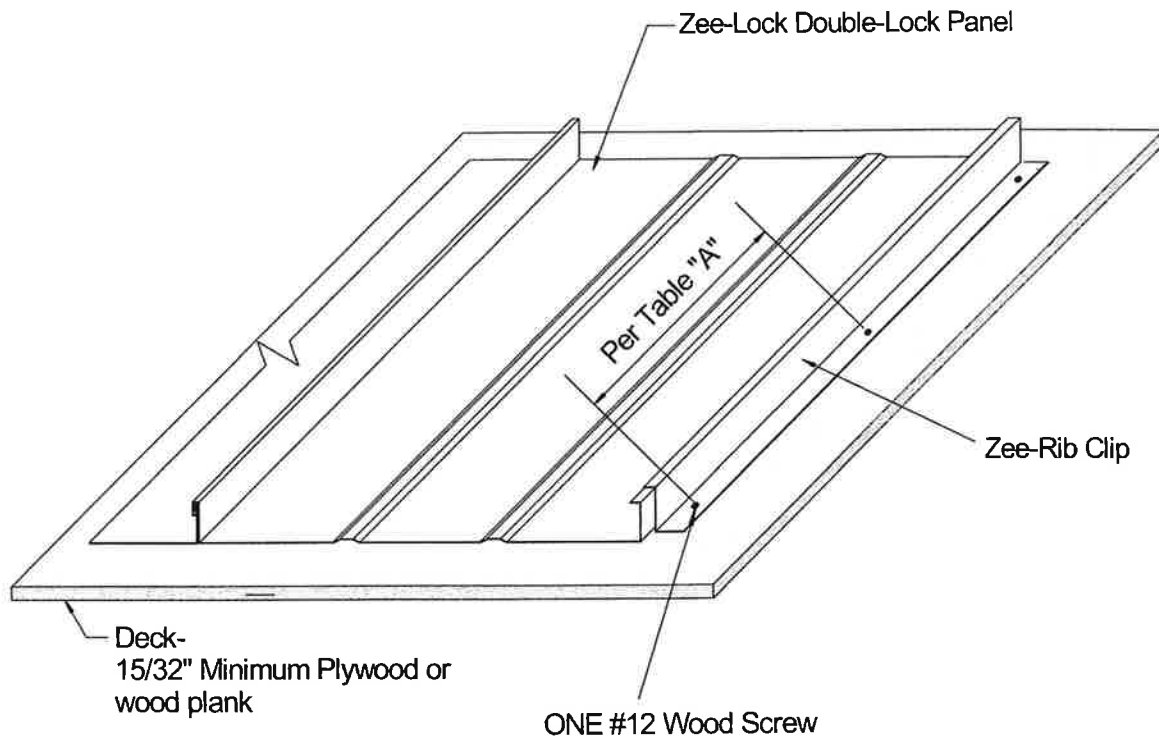


Typical Assembly Profile View
(Typical Fastening Pattern Across Width)



Typical Panel Seams

Installation Method
Berridge Manufacturing Company
"Zee-Lock" (24 gauge Steel) Roof Panel attached to Wood Deck

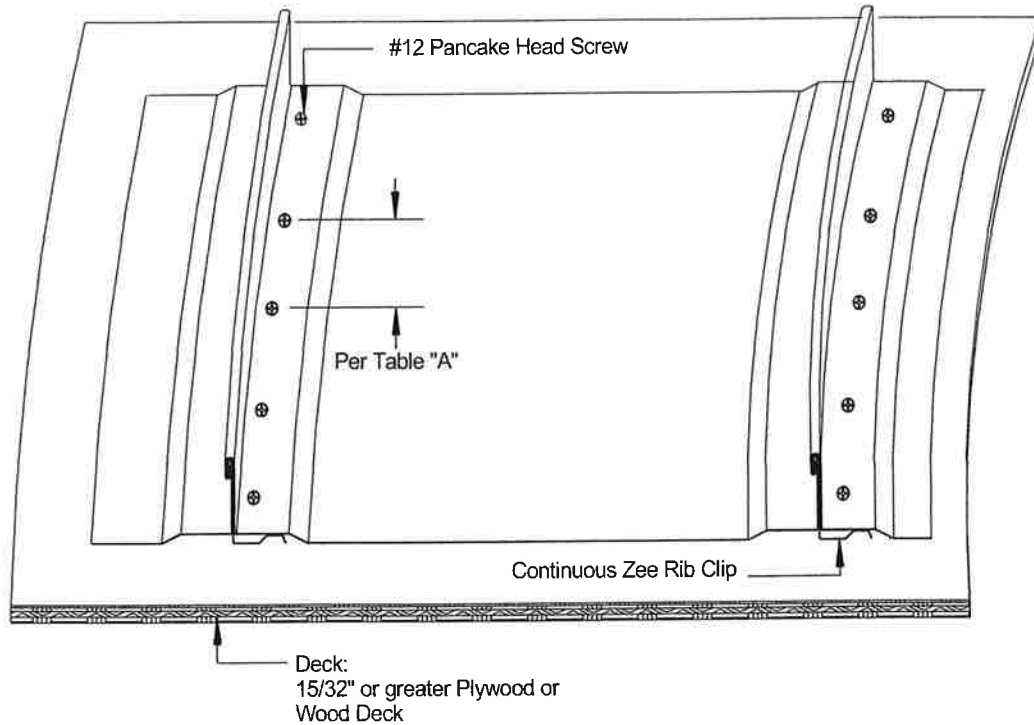


Typical Roof Assembly
Isometric View

(Optional) Rigid Insulation Board per Page 4 of this report.

TABLE "A"			
	Fastener Spacing	Panel Seam	Design Pressure
METHOD 1	16"	Double Lock	- 101 PSF
METHOD 2	8"	Double Lock	- 174.25 PSF

**Installation Method
 Berridge Manufacturing Company
 "Zee-Lock" (24 gauge Steel) Roof Panel attached to Wood Deck**



**Typical Curved Roof Assembly
 Isometric View**

(Optional) Rigid Insulation Board per Page 4 of this report.

TABLE "A"			
	Fastener Spacing	Panel Seam	Design Pressure
METHOD 1	16"	Double Lock	- 101 PSF
METHOD 2	8"	Double Lock	- 174.25 PSF



Florida Department of Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Rick Scott
Governor

Harold F. Taylor III
Deputy Governor

SELF CERTIFICATION FOR CONSTRUCTION OF A PRIVATE, RESIDENTIAL SINGLE-FAMILY DOCK

Self Certification File No.: **0320118001EE**
File Name: **1307 E Wallace St Belle Isle, FL 32809**
- **Self Cert Exempt Dock with Boat Lift(s) (General)**

Dear **RAFAEL VALLE**: On, **07/22/2013**, you used the Department's electronic Self Certification Process to certify compliance with the terms and conditions necessary for construction of a private, residential single-family dock, at a detached, single-family residence located at:

LAT - Degrees: 28 Minutes: 28 Seconds: 21.5853
LONG - Degrees: -81 Minutes: 21 Seconds: 40.2435
SITE ADDRESS: 1307 E Wallace St Belle Isle, FL 32809
COUNTY: Orange

For:

PATRICIA HAFLEY
1307 E WALLACE ST

Orlando, FL 32809

You have certified that the dock you propose to construct at the above location meets all the conditions of the Self Certification Process. A dock that is built in conformance to those conditions (attached for reference) will:

1. Qualify for a regulatory exemption under Part IV of Chapter 373 and Section 403.813(2)(b) of the Florida Statutes, and Chapters 62-330, and 62-343 of the Florida Administrative Code (F.A.C.). As such, it is exempt from the need to obtain a DEP Environmental Resource Permit.
2. Qualify for a consent by rule to use submerged lands under Chapter 253 of the Florida Statutes and Chapter 18-21 of the Florida Administrative Code, when the dock is located on submerged lands owned by the State of Florida.

Your Self Certification is based solely on the information you provided under this process, and applies only to the statutes and rules in effect when your certification was completed. The certification is effective only for the specific dock proposed, and only if the dock is constructed, operated, and maintained in conformance with all the terms, conditions, and limitations stated in the Self Certification Process. In addition, any

substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required.

You have acknowledged that this Self Certification will automatically expire if:

1. Construction of the dock is not completed within one year from the self certification date;
2. site conditions materially change;
3. the terms, conditions, and limitations of the Self Certification are not followed; or
4. the governing statutes or rules are amended before construction of the project.

Completion of the Self Certification constitutes your authorization for Department personnel to enter the property for purposes of inspecting for compliance.

Receipt of this Self Certification constitutes letter of consent required by rule 18-21.004(7) F.A.C.

ADDITIONAL INFORMATION

This Self Certification Process does not relieve you from the responsibility of obtaining other permits or authorizations from other agencies (federal, state, Water Management District, or local) that may be required for the project. Construction of the dock may require federal authorization. The Corps has been furnished a copy of your Self Certification letter. They will contact you with further information about their process. If you do not hear from them, please contact them directly. Jacksonville District contact information can be found at: <http://www.saj.usace.army.mil/Missions/Regulatory.aspx>. Failure to obtain all applicable authorizations prior to construction of the dock may result in enforcement.

If you have any questions, please contact your local Department District Office. Contact information can be found at: http://www.dep.state.fl.us/water/wetlands/docs/sler_contacts.pdf. When referring to your project, please use the Self Certification file number listed above.

Sincerely,
Florida Department of Environmental Protection

Enclosures:

- Single Family Dock Criteria
- General Conditions for Sovereignty/State-Owned Submerged Lands Authorization
- Manatee Conditions

Private residential single family docks are subject to the following criteria in accordance with Section 403.813(1)(b), F.S. The dock to be constructed:

1. Has 1,000 square feet or less over water surface (includes adjacent wetlands) in accordance with Chapter 62-340, F.A.C.;
2. Is constructed on or held in place by pilings and is constructed so as not to involve filling or dredging other than that necessary to install the pilings;
3. Will not substantially impede the flow of water, cause water pollution, or create a navigational hazard;
4. Is used ONLY for recreational, noncommercial activities associated with the mooring or storage of boats and boat paraphernalia;
5. Is the sole dock on the parcel; and

6. Must not be subject to any conservation easement or restrictive covenant of record prohibiting the activity.

Boat lifts are subject to the following additional conditions:

1. Is to be installed in an existing slip or, at or adjacent to the waterward end of the dock;
2. With other mooring will not result in the mooring of more than two vessels (including jet skis);
3. Will not be located in areas prohibited for mooring by a previously issued permit or other form of authorization issued by a local government;

General Conditions for Sovereignty/State-Owned Submerged Lands Authorization

Any use of sovereignty/state-owned submerged lands is subject to the following general conditions that are binding upon the applicant and are enforceable under Chapters 253 or 258, F.S.:

1. Sovereignty/state-owned submerged lands may be used only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use will constitute a violation. Violation of the authorization will result in suspension or revocation of the applicant's use of the sovereignty/state-owned submerged lands unless cured to the satisfaction of the Board of Trustees of the Internal Improvement Trust Fund (Board).
2. Authorization under Rule 18-21.005, F.A.C., conveys no title to sovereignty/state-owned submerged lands or water column, nor does it constitute recognition or acknowledgment of any other person's title to such land or water.
3. Authorizations under Rule 18-21.005, F.A.C., may be modified, suspended or revoked in accordance with its terms or the remedies provided in Sections 253.04, F.S. or Chapter 18-14, F.A.C.
4. Structures or activities will be constructed and used to avoid or minimize adverse impacts to resources.
5. Construction, use, or operation of the structure or activity will not adversely affect any species which is endangered, threatened or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.
6. Structures or activities will not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity will be modified in accordance with the court's decision.
7. Structures or activities will not create a navigational hazard.
8. Structures will be maintained in a functional condition and will be repaired or removed if they become dilapidated to such an extent that they are no longer functional.
9. Structures or activities will be constructed, operated, and maintained solely for water dependent purposes.
10. The applicant agrees to indemnify, defend and hold harmless the Board and the State of Florida from

all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty/state-owned submerged lands or the applicant's use and construction of structures on sovereignty/state-owned submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.

11. Failure by the Board to enforce any violation of the authorization or waiver by the Board of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure or waiver prevent the Board from enforcing the waived or unenforced provision in the event of a future violation of that provision.
12. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.
13. All costs incurred by the Board in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board in writing of any change of address at least ten days before the change becomes effective.
14. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant of record that prohibits the activity.

Manatee Conditions

The following conditions are intended to protect manatees from direct project effects; THESE CONDITIONS APPLY ONLY IN WATERS THAT ARE ACCESSIBLE TO MANATEES:

1. All personnel associated with the project will be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee will advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
2. All vessels associated with the construction project will operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
3. Siltation or turbidity barriers will be made of material in which manatees cannot become entangled, will be properly secured, and will be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
4. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot

radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.

5. Any collision with or injury to a manatee will be reported immediately to the FWC Hotline at 1-888-404-FWCC. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida.
6. Temporary signs concerning manatees will be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Awareness signs that have already been approved for this use by the Florida Fish and Wildlife Conservation Commission (FWC) must be used (see MyFWC.com). One sign which reads Caution: Boaters must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities.



City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809 * Tel 407-851-7730 * Fax 407-240-2222 * www.cityofbelleislefl.org

PERMIT – PLEASE POST AT JOB SITE

THIS DOCUMENT BECOMES YOUR PERMIT WHEN PROPERLY VALIDATED

Per FBC 105.3.3: An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies." The issuance of this permit does not grant permission to violate any applicable Town, Orange County, State of Florida and/or Federal codes and/or ordinances. Separate permits are required for Signs, Electrical, Gas, Plumbing and Mechanical services. This permit becomes VOID if the work authorized is not commenced within 6 months, or is suspended or abandoned for a period of 6 months after commencement. **WORK SHALL BE CONSIDERED SUSPENDED IF AN APPROVED INSPECTION HAS NOT BEEN MADE WITHIN A 6 MONTH PERIOD.** PERMISSION IS GRANTED TO DO THE FOLLOWING WORK ACCORDING TO THE CONDITIONS HEREON AND THE APPROVED PLANS AND SPECIFICATIONS, SUBJECT TO COMPLIANCE WITH THE ORDINANCES OF THE CITY OF BELLE ISLE, FLORIDA.

Project Information:		Permit Number: 2013-07-068	
Scope of Work	NEW BOAT DOCK: 1195.5 SQ FT	Date of Application	07/22/2013
Address	1307 E. Wallace Street, Belle Isle	Date Permit Issued	07/25/2013
Parcel ID	24-23-29-3400-00-078	WARNING TO OWNER: "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT." ON THE JOB INSPECTION(S) MUST BE MADE BEFORE PROCEEDING WITH SUBSEQUENT WORK. THIS CARD MUST BE DISPLAYED OUTSIDE AND BE PROTECTED FROM THE WEATHER WHILE BEING VISIBLE FROM THE STREET UNTIL THE FINAL INSPECTIONS HAVE BEEN APPROVED.	
Property Owner	Michael & Patty Hafley		
Phone	727-687-2518		
Contractor	MJ CONSTRUCTION INC/ DOCKS & SEAWAL		
Name	RAFAEL VALLE		
License Number	CBC057624		
Address	4409 FLORALWOOD CT, ORLANDO		
Phone Number	321-202-0478		

BUILDING FEATURES

<p>IMPACT FEES</p> <p>School _____</p> <p>Traffic _____</p> <p>CITY OF BELLE ISLE - ZONING FEES</p> <p>Zoning Fee _____ 165.00</p> <p>Tree Removal _____</p> <p>Fence _____</p> <p>Driveway _____</p> <p>Pavers _____</p> <p>UNIVERSAL ENG - BUILDING FEES</p> <p>Pre-Demo _____</p> <p>Building Fee _____ 289.50</p> <p>Cert of Occupancy _____</p> <p>Prepower _____</p> <p>Electrical Fee _____</p> <p>Temp Pole _____</p> <p>Plumbing Fee _____</p> <p>Mechanical Fee _____</p> <p>Gas Fee _____</p> <p>Revision Fee _____</p> <p>Roofing _____</p> <p>SURCHARGE FEES</p> <p>Surcharge Fee _____ 8.68</p> <p>TOTAL FEES \$463.18</p> <p>Date Paid 7/25/13</p> <p>Check # 1356</p> <p>CITY OF BELLE ISLE BUILDING DEPARTMENT</p> <p>RGD: _____</p> <p>PERIMETER CONTROL:</p>	<p style="text-align: center;">BUILDING INSPECTOR USE ONLY</p> <p>IF APPLICABLE: Silt fencing in place? YES <input type="checkbox"/> NO <input type="checkbox"/> Turbidity Barrier in place? YES <input type="checkbox"/> NO <input type="checkbox"/></p> <p>BUILDING/ROOFING</p> <p>ROOFING Dry-in/Flashing _____</p> <p>ROOFING Other /FINAL _____</p> <p>1st _____ (Footing/Foundation)</p> <p>Survey specific foundation plan must be submitted and approved by the City before slab pour.</p> <p>Approved Plan on Site? _____</p> <p>2nd _____ (Slab)</p> <p>3rd _____ (Lintel)(Wall Reinforcing on Masonry Building)</p> <p>4th _____ (Exterior Framing)(Roof/Wall Sheathing)</p> <p>5th _____ (Framing) (To be made after Plumbing/ Mechanical/ Electrical Rough-Ins & Windows/Doors Installed)</p> <p>6th _____ (Insulation to be Made After Roof Installed)</p> <p>7th _____ (Sidewalk/Driveway)</p> <p>8th _____ (Other)</p> <p>9th _____ (Final to be Made After Plumb/ Mech/Elect Finals)</p> <p>PLUMBING (INCL–Pool-Piping, Solar, Irrigation and Water Treatment Equip.)</p> <p>1ST _____ (Underground) 2nd _____ (Sewer)</p> <p>3rd _____ (Rough-In/Tub Set) 4th _____ (Final)</p> <p>CHECK APPROPRIATE BOX</p> <p>GAS <input type="checkbox"/> Natural <input type="checkbox"/> LP <input type="checkbox"/> HOOD VENTILATION <input type="checkbox"/> REFRIGERATION</p> <p><input type="checkbox"/> MECHANICAL <input type="checkbox"/> ELECTRICAL <input type="checkbox"/> LOW VOLTAGE</p> <p>1st _____ (Rough-In) 2nd _____ (Final)</p> <p>If work is being performed on a lakefront property, you are required to call 407-851-7730 for inspection of your silt fencing and/or turbidity barrier PRIOR TO COMMENCING WORK. If this is not done, a Stop Work Order will be issued. Barrier must be trenched 6-8" into the ground!!</p>
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The person accepting the listed permit shall conform to the terms of the applications on file in the City Office and construction shall conform to the requirements of the FI Building Codes. To schedule an inspection please email your request to: BI scheduling@UniversalEngineering.com a confirmation email reply will follow. **INSPECTION REQUESTS can be made from 8:00am-1:00pm Monday-Friday.** It is requested that inspections be scheduled 24 hours in advance via email. Please include the following in your request: Permit #, current date, project address & lot number, the builder name, the date of the inspection, a contact name & phone number for someone on site should our inspector need to reach them, requested time frame of inspection – A.M. or P.M.

Updated: 07/2012 - FORM #PERMIT001

BOAT DOCK PLANS

HAFLEY'S BOAT DOCK

Prepared For

DOCK-N-SEAWALL

Prepared By

 **THOMPSON ENGINEERING GROUP, INC**

Engineer: Michael Thompson, MSc, P.E. (#47509)

5200 Vineland Road, Suite 250

Orlando, Florida 32811


Ph: 407-529-3306

Fax: 407-529-3306

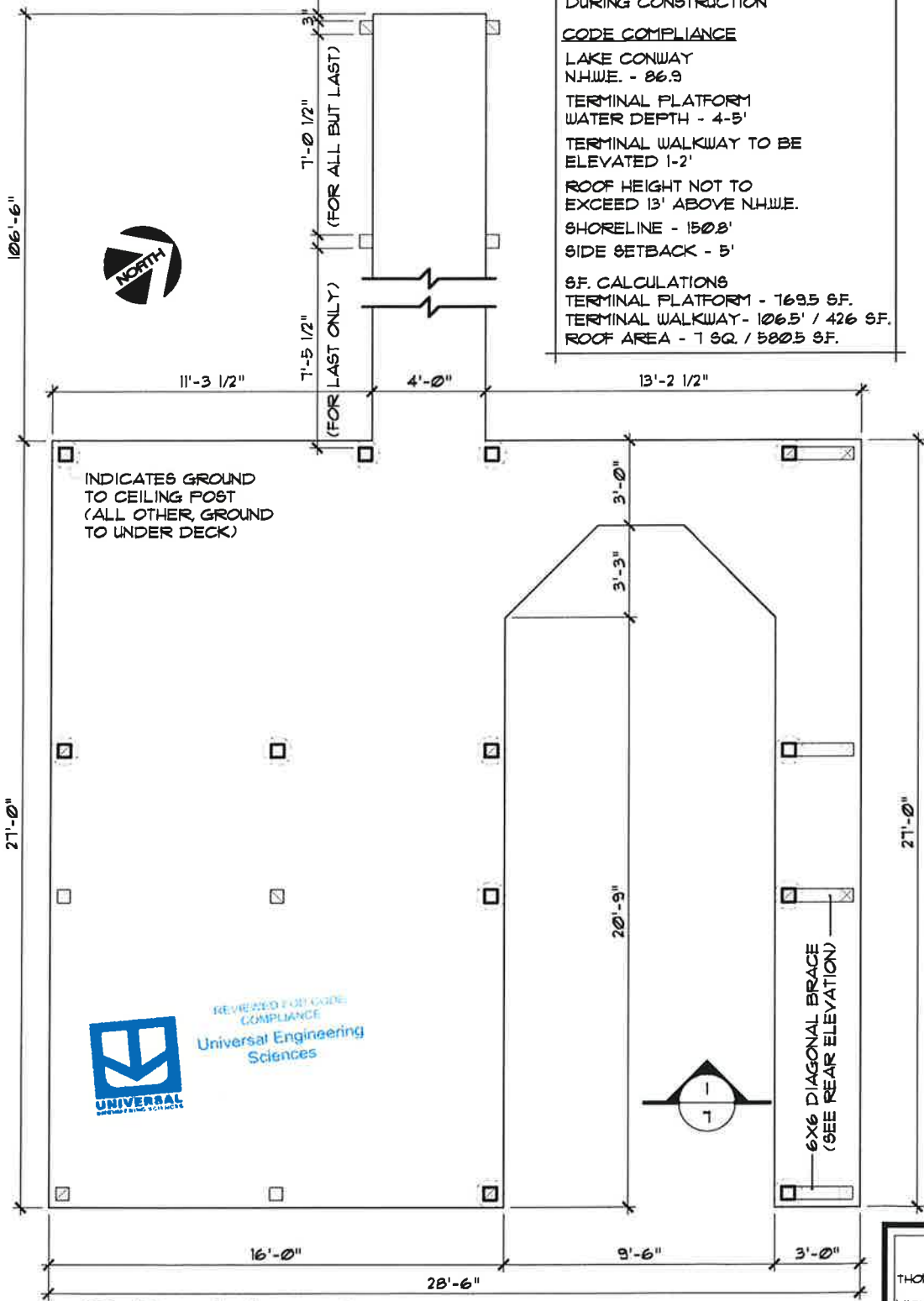
Certificate of Authorization No. 30060

www.thompsoneng.com

July, 2013

 UNIVERSAL
REVIEWED FOR CODE
COMPLIANCE
Universal Engineering
Sciences
7/23/2013

7/10/13



CONSTRUCTION NOTE
 PROVIDE TURBIDITY BARRIER DURING CONSTRUCTION

CODE COMPLIANCE
 LAKE CONWAY
 N.H.W.E. - 86.9
 TERMINAL PLATFORM
 WATER DEPTH - 4-5'
 TERMINAL WALKWAY TO BE ELEVATED 1-2'
 ROOF HEIGHT NOT TO EXCEED 13' ABOVE N.H.W.E.
 SHORELINE - 150.9'
 SIDE SETBACK - 5'

SF. CALCULATIONS
 TERMINAL PLATFORM - 769.5 SF.
 TERMINAL WALKWAY - 106.5' / 426 SF.
 ROOF AREA - 7 SQ. / 580.5 SF.

INDICATES GROUND TO CEILING POST (ALL OTHER GROUND TO UNDER DECK)

REVIEWED FOR CODE COMPLIANCE
Universal Engineering Sciences

Dock layout
 SCALE: 3/16" = 1'-0"

DESIGN CRITERIA
 CATEGORY I ZONE D
 IMPORTANCE FACTOR 0.51
 LIVE LOAD 60 PSF

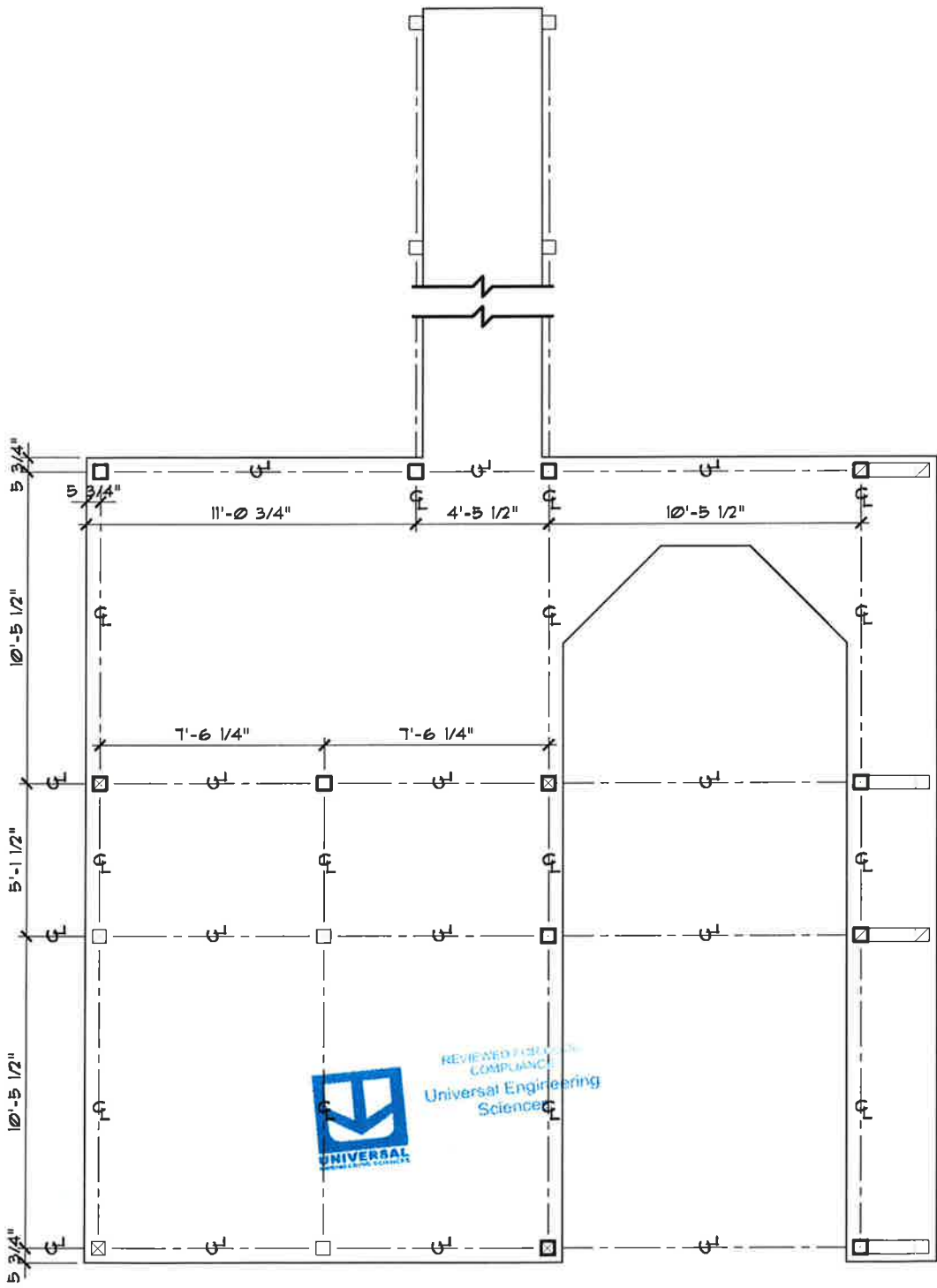
THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF SECTION 703.1 OF THE 2010 FLORIDA BUILDING CODE, RESIDENTIAL EDITION, AT 140 MPH SPEED.

seal
 THOMPSON ENGINEERING GROUP (TEG)
 MICHAEL THOMPSON, PE
 FL # 47509
 5200 VINELAND ROAD
 SUITE 250
 ORLANDO, FL 32811
 Ph. (407) 529-3300

HAFLEY DOCK - 1307 EAST WALLACE STREET, ORLANDO

DATE: 06/28/13

Handwritten signature and date: J. Thompson 6/28/13



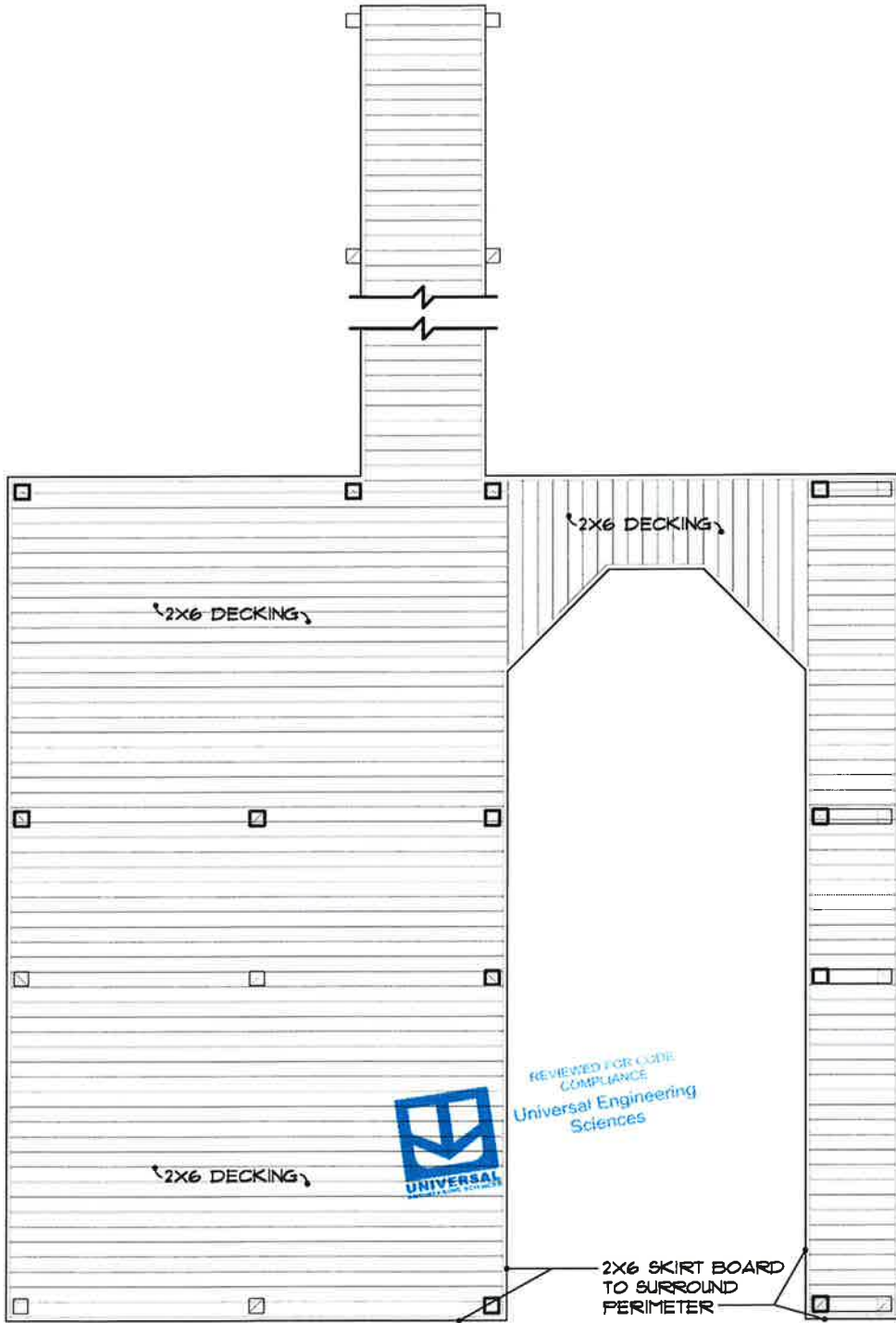
1 6"X6" Post Layout
 2 SCALE: 3/16" = 1'-0"

HAFLEY DOCK - 1307 EAST WALLACE STREET, ORLANDO

DATE: 06/25/13

seal
 THOMPSON ENGINEERING GROUP (TEG)
 MICHAEL THOMPSON, PE
 FL # 41509
 5200 VINELAND ROAD
 SUITE 250
 ORLANDO, FL 32811
 Ph. (407) 529-3300

Handwritten signature and date: J. H. 6/13



HAFLEY DOCK - 1307 EAST WALLACE STREET, ORLANDO

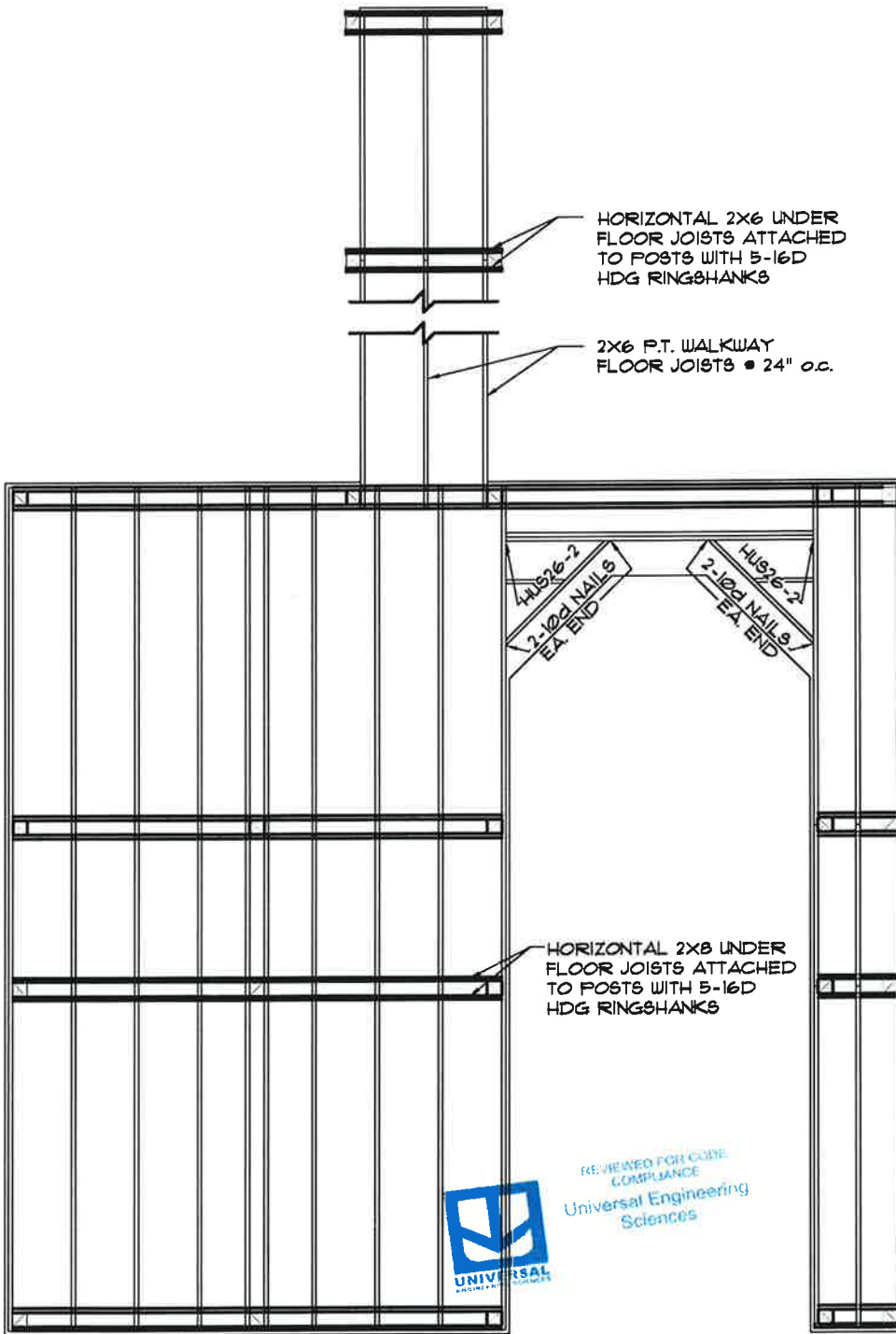
DATE: 06/28/13

1 Deck Floor Layout
3 SCALE: 3/16" = 1'-0"

seal
 THOMPSON ENGINEERING GROUP (TEG)
 MICHAEL THOMPSON, P.E.
 FL # 47503
 5200 VINELAND ROAD
 SUITE 250
 ORLANDO, FL 32811
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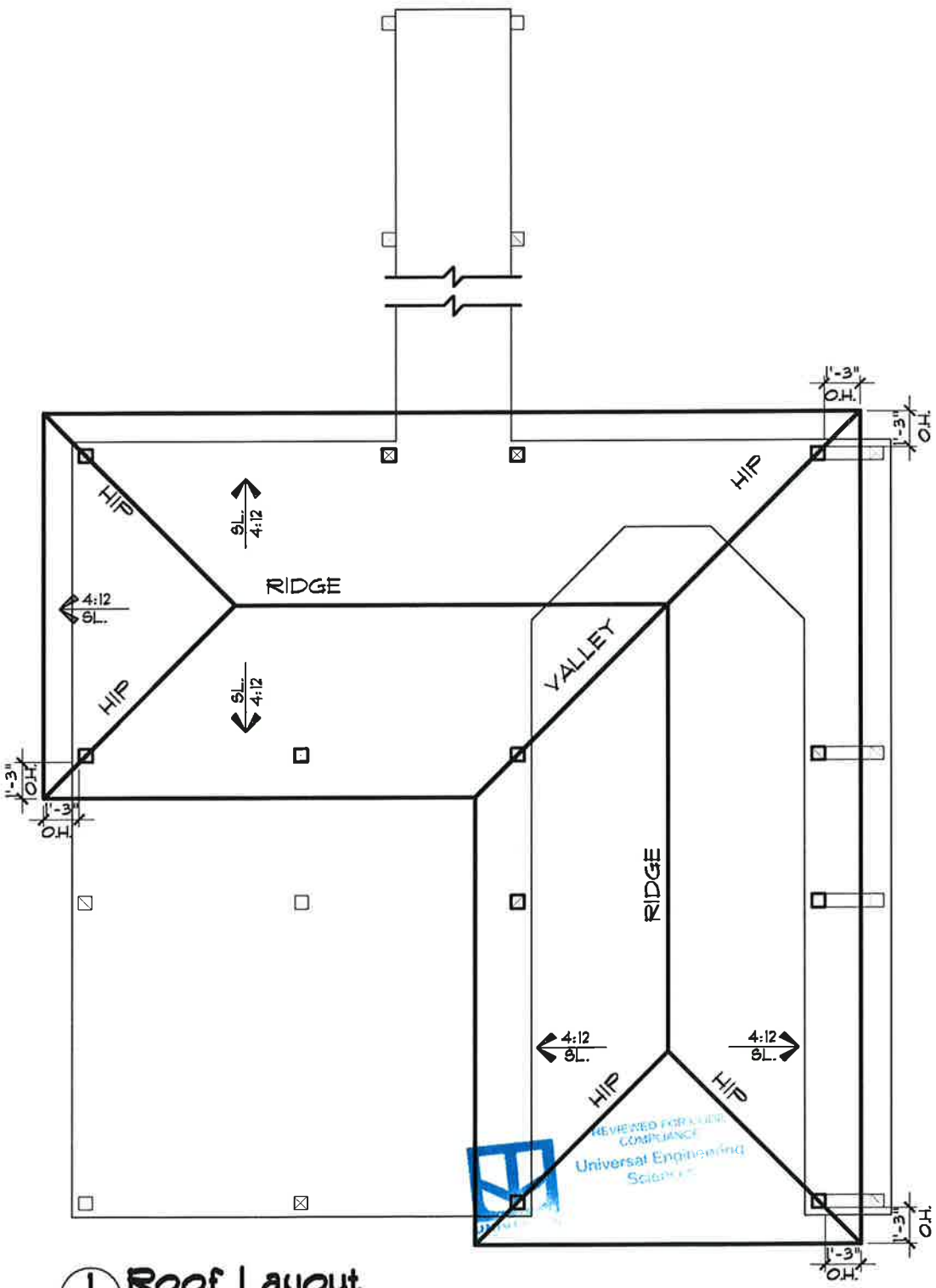
REVIEWED FOR CODE COMPLIANCE
Universal Engineering Sciences

1 Floor Joist Plan
4 SCALE: 3/16" = 1'-0"

DATE: 06/28/13

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FL # 41509
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SUITE 250
ORLANDO, FL 32811
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1 Roof Layout
5 SCALE: 3/16" = 1'-0"

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Universal Engineering
Scientists

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DATE: 06/28/13

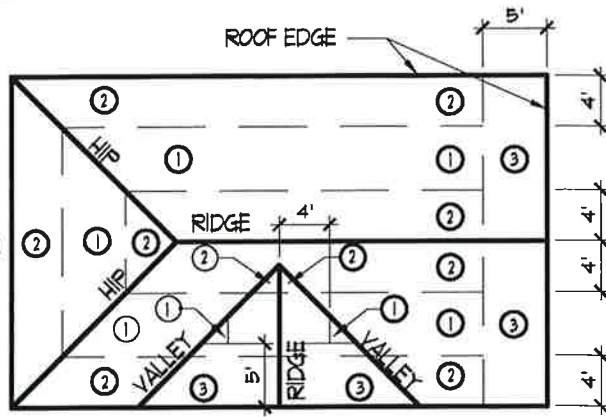
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MICHAEL THOMPSON, P.E.
FL # 41509
5200 VINELAND ROAD
SUITE 250
ORLANDO, FL 32811
Ph. (407) 529-3300

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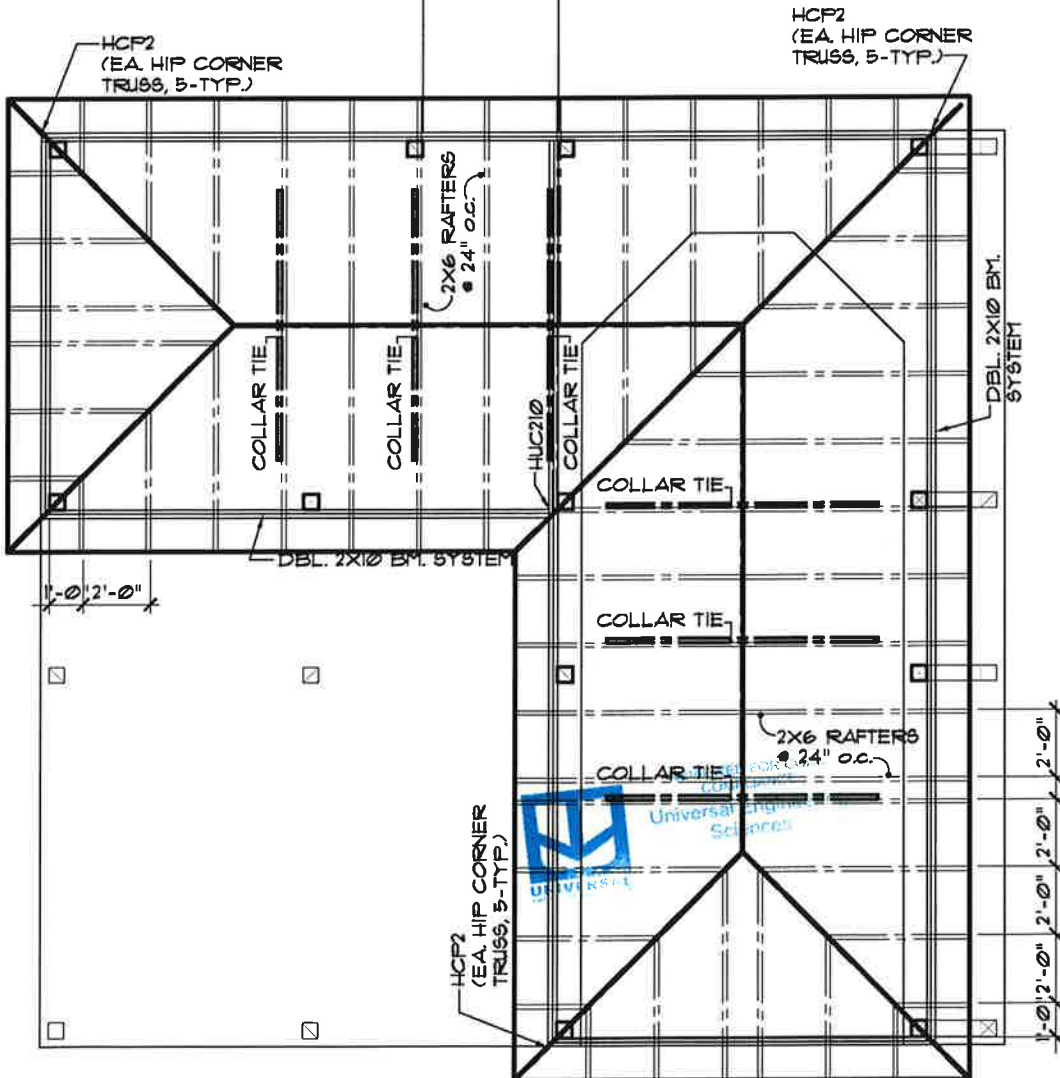
NAIL REQUIREMENTS:

SIZE	HEAD	LENGTH	DIA.	TENSIL STR.
8d	ROUND, MODIFIED OR T	1½"	.131	170,000
10d	"	1½" OR 3"	.148	170,000

NOTES: 1- NAILS TO BE MFG. OF INT. STAPLE, NAIL, AND TOOL ASSOCIATION
 2- GUN NAILS SHALL BE PERMITTED AS AN ACCEPTABLE FASTENER PER ANY MANUF. # F.B.C.



- ① ZONE 1-USE 8d NAILS @ 6" (EDGE), 12" O.C. (FIELD)
- ② ZONE 2-USE 8d NAILS @ 4" (EDGE), 6" O.C. (FIELD)
- ③ ZONE 3-USE 8d NAILS @ 4" O.C.



1 Roof Plan
 6 SCALE: 3/16" = 1'-0"

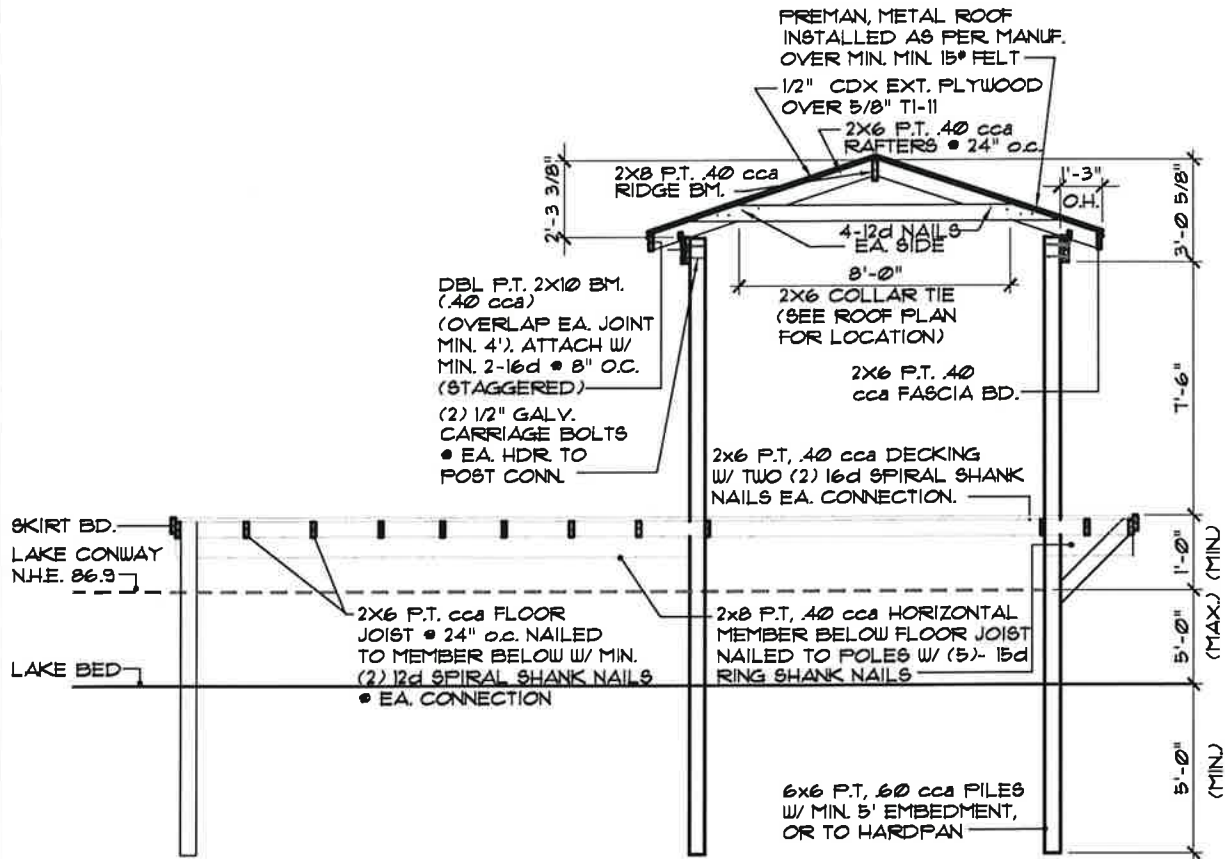
HAFLEY DOCK - 1307 EAST WALLACE STREET, ORLANDO

DATE: 06/28/13

seal
 THOMPSON ENGINEERING GROUP (TEG)
 MICHAEL THOMPSON, P.E.
 FL # 41509
 5200 VINELAND ROAD
 SUITE 250
 ORLANDO, FL 32811
 Ph. (407) 529-3300

Handwritten signature and date: 7/1/13

HAFLEY DOCK - 1307 EAST WALLACE STREET, ORLANDO



Section
SCALE: 3/16" = 1'-0"



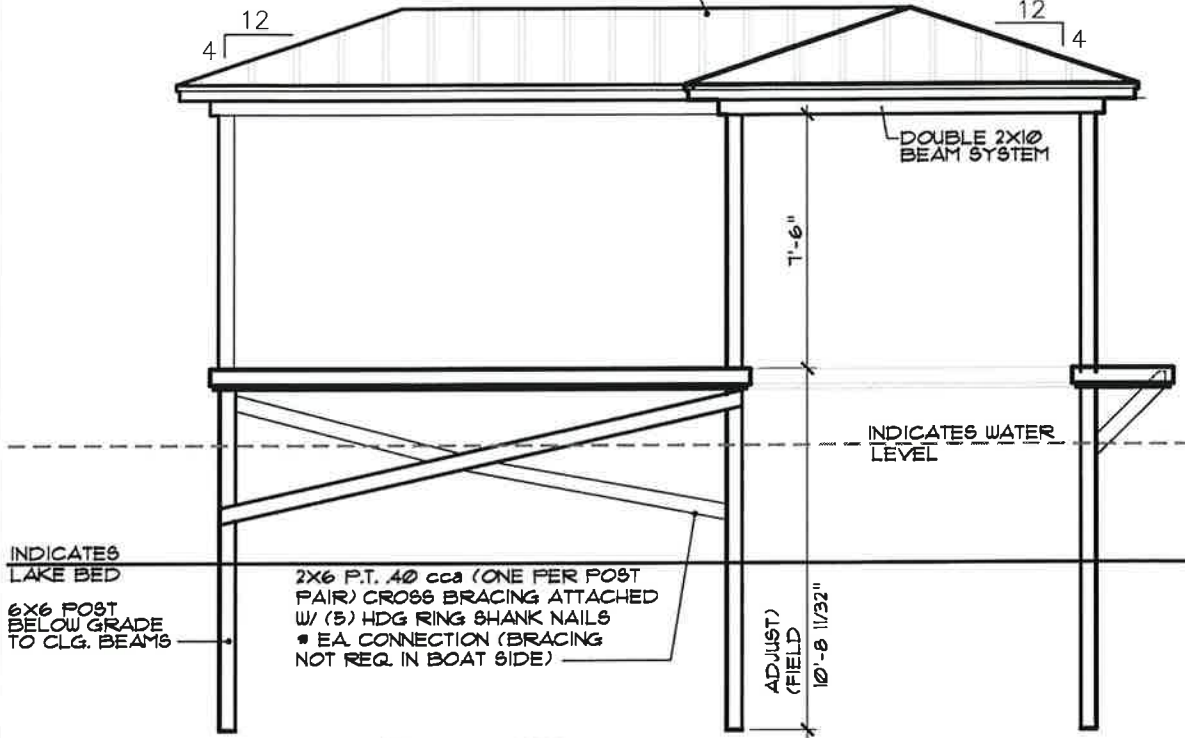
REVIEWED FOR CODE
COMPLIANCE
Universal Engineering
E.C.

DATE:
06/28/13

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THOMPSON ENGINEERING
GROUP (TEG)
MICHAEL THOMPSON, P.E.
FL # 47509
5200 VINELAND ROAD
SUITE 250
ORLANDO, FL 32811
PH. (407) 529-3300

Handwritten signature and initials (MPB)

METAL ROOF INSTALLED AS PER MANUF.



INDICATES LAKE BED

6X6 POST BELOW GRADE TO CLG. BEAMS

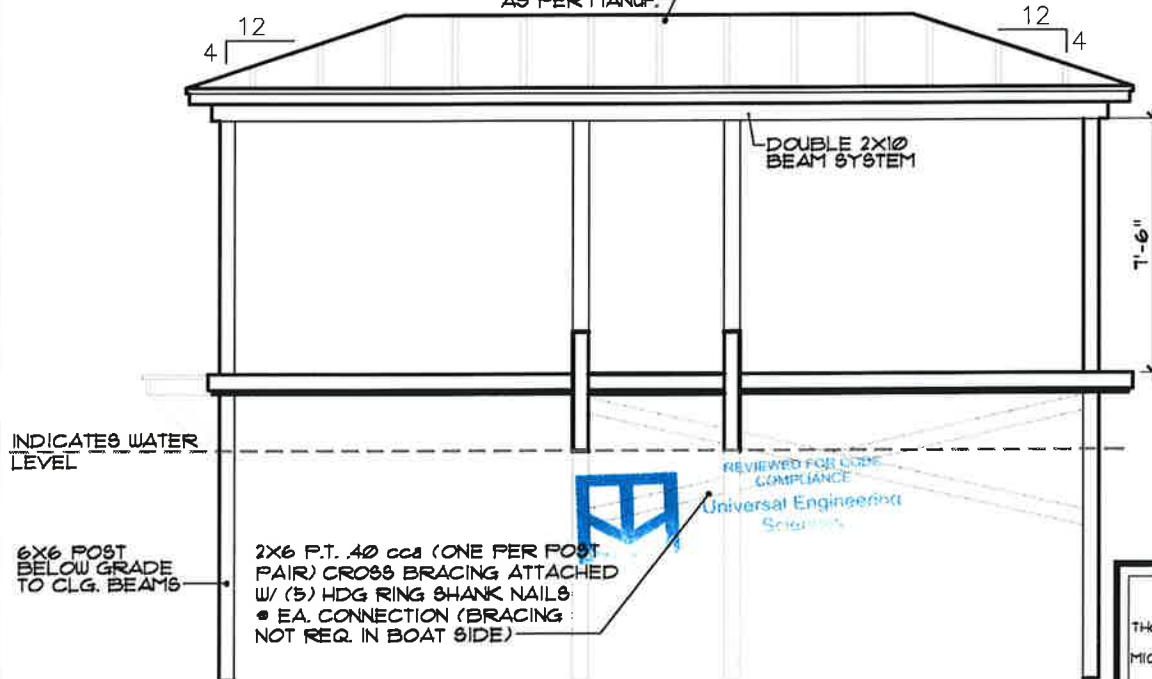
2X6 P.T. 40 cca (ONE PER POST PAIR) CROSS BRACING ATTACHED W/ (5) HDG RING SHANK NAILS
• EA. CONNECTION (BRACING NOT REQ. IN BOAT SIDE)

ADJUST (FIELD) 10'-8 1/32"

INDICATES WATER LEVEL

1 Front Elevation
SCALE: 3/16" = 1'-0"

METAL ROOF INSTALLED AS PER MANUF.



INDICATES WATER LEVEL

6X6 POST BELOW GRADE TO CLG. BEAMS

2X6 P.T. 40 cca (ONE PER POST PAIR) CROSS BRACING ATTACHED W/ (5) HDG RING SHANK NAILS
• EA. CONNECTION (BRACING NOT REQ. IN BOAT SIDE)

DOUBLE 2X10 BEAM SYSTEM

1'-6"

REVIEWED FOR CODE COMPLIANCE
Universal Engineering Solutions

2 Rear Elevation
SCALE: 3/16" = 1'-0"

HAFLEY DOCK - 1307 EAST WALLACE STREET, ORLANDO

DATE: 06/28/13

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THOMPSON ENGINEERING GROUP (TEG)
MICHAEL THOMPSON, P.E.
FL # 41509
5200 VINELAND ROAD
SUITE 250
ORLANDO, FL 32811
PH. (407) 529-3300

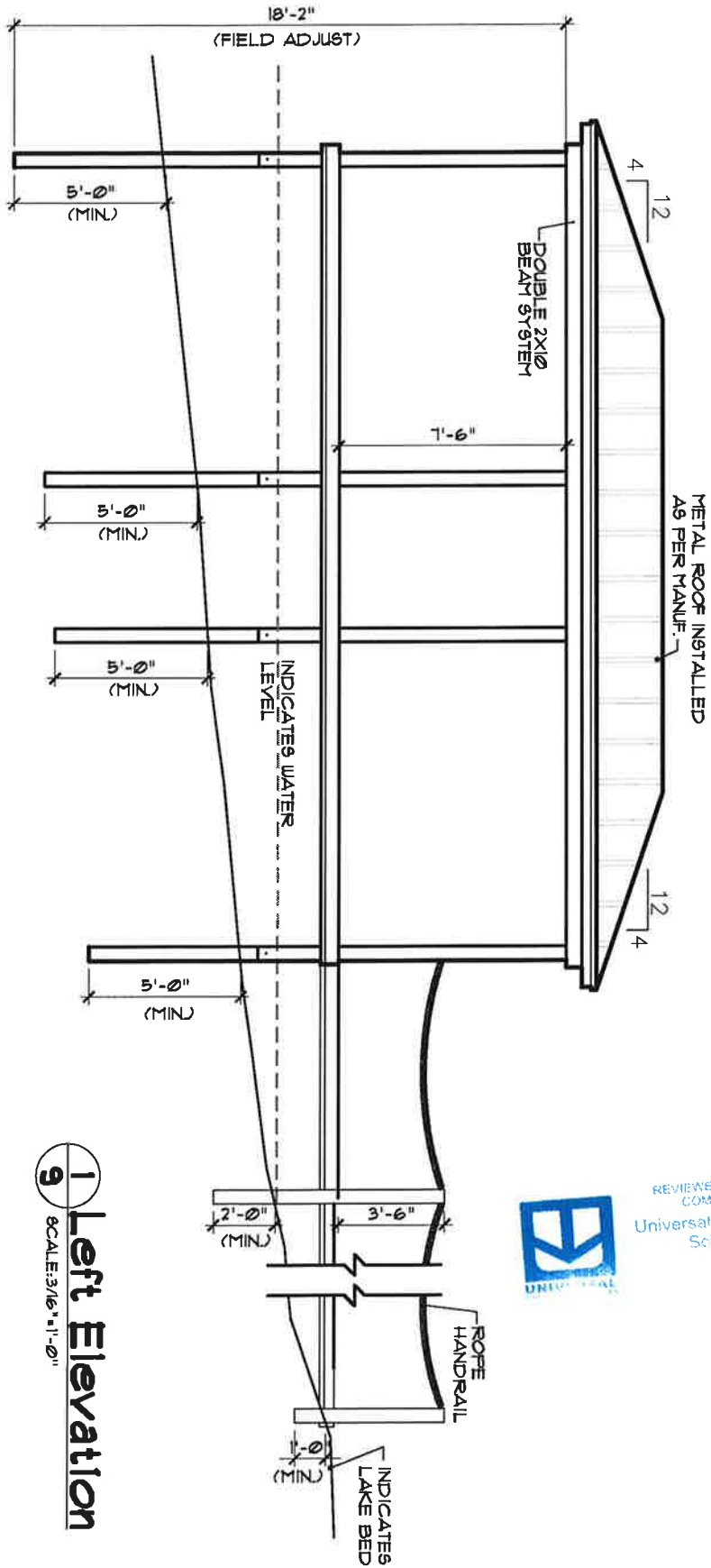
Handwritten signature and date: 7/1/13

THOMPSON ENGINEERING
 GROUP (TEG)
 MICHAEL THOMPSON, P.E.
 FL. # 47809
 5200 VINELAND ROAD
 SUITE 250
 ORLANDO, FL 32811
 PH. (407) 529-3300

sec'd

DATE:
 06/28/13

HAFLEY DOCK - 1307 EAST WALLACE STREET, ORLANDO



1
 9 Left Elevation
 SCALE: 3/16" = 1'-0"



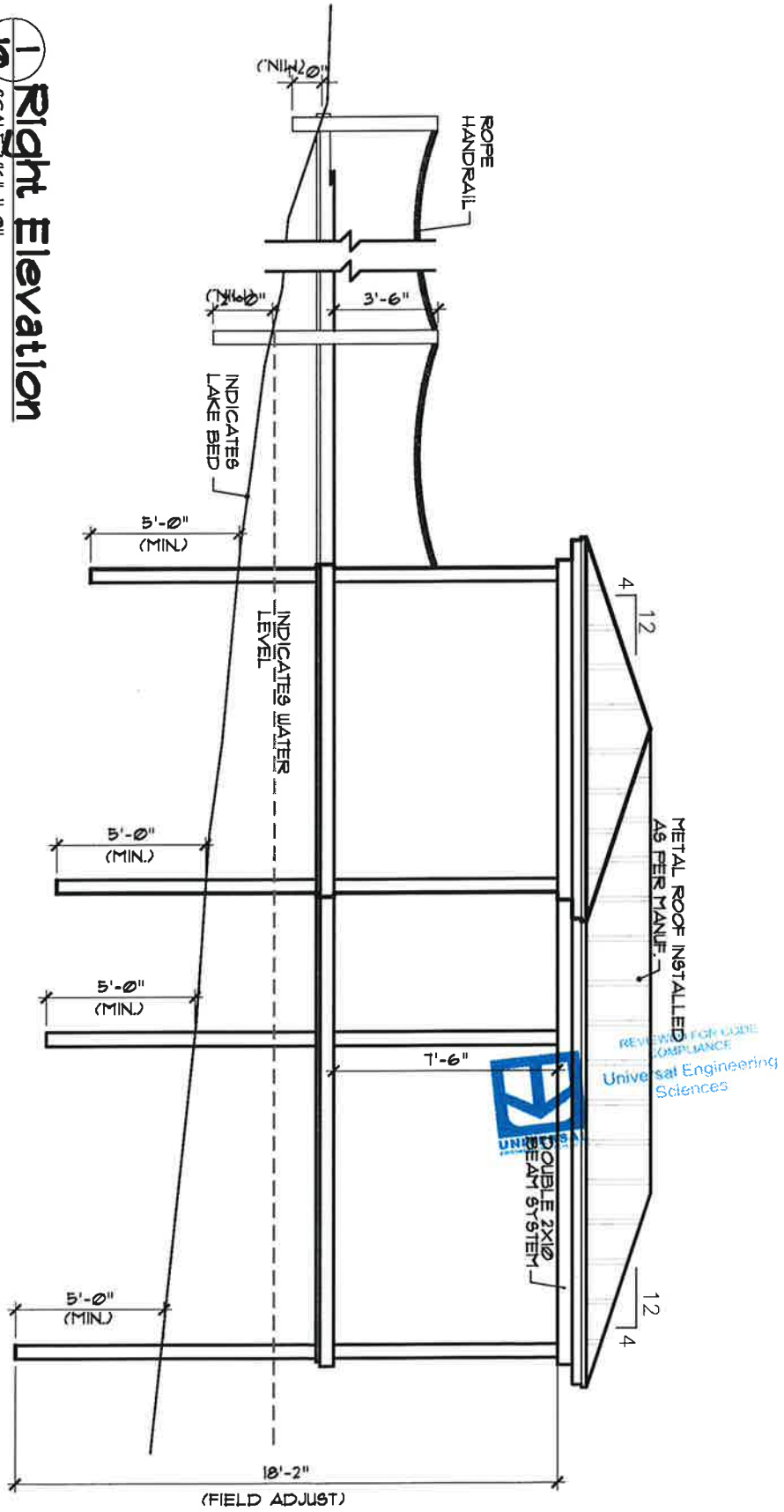
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 Science

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SUITE 250
ORLANDO, FL 32811
PH. (407) 525-3300

sec'd

1 Right Elevation
SCALE: 3/16" = 1'-0"



DATE: 06/28/13

HAFLEY DOCK - 1301 EAST WALLACE STREET, ORLANDO

Handwritten signature and date: 7/11/13